



CITY COMMISSION

AGENDA

(*Revised 10/20/2020)

REMOTE ELECTRONIC ATTENDANCE

As per State of Florida – Office of the Governor

EXECUTIVE ORDER NUMBER 20-69

(Visit link below for details to join this meeting or offer Public Comment)

<http://www.cwgdn.com/Calendar.aspx?EID=1050>

OR IN-PERSON AT

CITY HALL COMMISSION CHAMBERS

300 W. Plant Street

Winter Garden, Florida

WORKSHOP

5:30 p.m.

Ethics, Public Records, and Sunshine Law by City Attorney

REGULAR MEETING

October 22, 2020

6:30 p.m.

CALL TO ORDER

Determination of a Quorum

Opening Invocation and Pledge of Allegiance

1. APPROVAL OF MINUTES

Regular Meeting Minutes – October 8, 2020

2. PRESENTATION

A. **PROCLAMATION 20-05**: Proclaiming Week of the Family – **Mayor Rees**

3. FIRST READING AND PUBLIC HEARING OF PROPOSED ORDINANCES

A. **Ordinance 20-19**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.07 +/- ACRES OF LAND GENERALLY LOCATED AT 199 S MAIN STREET AND 158 S WOODLAND STREET ON THE NORTHEAST CORNER OF S MAIN STREET AND E SMITH STREET, FROM C-1 (CENTRAL COMMERCIAL DISTRICT) TO PUD (PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE SMITH STREET LUXURY STUDIOS PUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE – **Second reading and public hearing November 12, 2020** – **Community Development Director Pash**

B. **Ordinance 20-37**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 15.83 ± ACRES OF CERTAIN REAL PROPERTY GENERALLY LOCATED ON WEST PLANT STREET, WEST OF LAKEVIEW ROAD AND SOUTH OF TILDENVILLE SCHOOL ROAD, FROM R-2 (RESIDENTIAL DISTRICT) TO PUD (PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE A FOUND LIFE PUD; PROVIDING FOR NONSEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE – **Second reading and public hearing November 12, 2020** – **Community Development Director Pash**

4. SECOND READING AND PUBLIC HEARING OF PROPOSED ORDINANCES

A. **Ordinance 20-46**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE CITY CODE WITH RESPECT TO STORMWATER UTILITY FEES AND USE THEREOF; PROVIDING FOR INCREASE OF THE STORMWATER UTILITY FEE FOR THE YEARS 2021 THROUGH 2025; CLARIFYING CITY AUTHORITY TO MAINTAIN, REPAIR, AND REPLACE CERTAIN NON-PUBLIC STORMWATER IMPROVEMENTS AND TO EXPEND FUNDS COLLECTED VIA THE CITY'S STORMWATER FEE THEREON; PROVIDING FOR CODIFICATION,

SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE – Assistant City Manager of Public Services

- B. **Ordinance 20-47:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 5.83 +/- ACRES OF LAND GENERALLY LOCATED AT 855 & 955 SOUTH DILLARD STREET, EAST OF SOUTH DILLARD STREET, SOUTH OF EAST PALMETTO STREET, NORTH OF WEST COLONIAL DRIVE, AND WEST OF GRAND ROYAL CIRCLE; FROM C-2 (CENTRAL COMMERCIAL DISTRICT) AND FROM THE EXISTING PLANNED COMMERCIAL DEVELOPMENT (PCD) ADOPTED BY ORDINANCE 06-23, TO PCD (PLANNED COMMERCIAL DEVELOPMENT) AS SET FORTH IN THIS ORDINANCE; PROVIDING FOR CERTAIN PCD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE CENTRAL PARC AT WINTER GARDEN PCD; REPEALING AND REPLACING ORDINANCE 06-23; AND PROVIDING FOR SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE – **Community Development Director Pash**
- C. **Ordinance 20-48:** AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA VACATING A PORTION OF THE PLAT DEDICATED DRAINAGE AND UTILITY EASEMENT OVER LOT 16 OF WESTFIELD LAKES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 36, PAGE 35, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA (LOCATED AT 427 ENGLISH LAKE DRIVE, WINTER GARDEN, FLORIDA), AS MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING FOR AN EFFECTIVE DATE AND RECORDING – **Community Development Director Pash**
- D. **Ordinance 20-52:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 0.17 ± ACRES LOCATED AT 21 WEST SMITH STREET ON THE NORTHEAST CORNER OF WEST SMITH STREET AND SOUTH BOYD STREET FROM CITY R-2 RESIDENTIAL DISTRICT TO CITY C-1 CENTRAL COMMERCIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE – **Community Development Director Pash**

5. REGULAR BUSINESS

- A. ***Resolution 20-06:** A RESOLUTION OF THE CITY OF WINTER GARDEN, FLORIDA, SUPPORTING THE CREATION OF A COMMUNITY PARTNERSHIP, UPON BOARD APPROVAL ON OCTOBER 27, 2020, WITH THE WEST ORANGE HEALTHCARE DISTRICT AND OTHER COMMUNITY PARTNERS TO CONSTRUCT TUCKER RANCH HEALTH AND WELLNESS PARK AND COMMIT TO FUND THE OPERATION AND MAINTENANCE OF THE PARK AND DILIGENTLY WORK TO CONNECT THE PARK TO THE WEST ORANGE TRAIL SYSTEM ALONG COUNTY ROAD 545 – **Economic Development Director Gerhartz**
- B. Recommendation to approve **SITE PLAN** for 12301 W Colonial Drive (**Master Site Plan & Home2 Suites**), subject to conditions and Fair Share Agreement for Road Improvements – **Community Development Director Pash**
- C. Recommendation to approve **SITE PLAN** for 12301 W Colonial Drive (**7-Eleven**), subject to conditions – **Community Development Director Pash**
- D. Recommendation to approve **SITE PLAN** for 15304 Tilden Road (**Foundation Academy – Phase 2**), subject to conditions – **Community Development Director Pash**
- E. Recommendation to approve Temporary Construction License Agreement for 15304 Tilden Road (**Foundation Academy – Phase 2**) – **Community Development Director Pash**
- F. ***Recommendation** to approve Construction Plan Set for 30 N Park Avenue – **Community Development Director Pash**
- G. Recommendation to approve Agreement for Consultant Services with PaleoWest, LLC – **Community Development Director Pash**
- H. Recommendation to approve Memorandum of Understanding with Orange County Sheriff's Office for cross swearing law enforcement officers assigned to the West Orange Narcotics Task Force – **Police Chief Graham**
- I. BOARD APPOINTMENTS: **Winter Garden Police and Firefighters' Pension Board** (2) Expiring Seats (Erik Halluska and Bruce D. Schobel) – **City Clerk Grimmage**

6. MATTERS FROM PUBLIC – (Limited to 3 minutes per speaker)

7. MATTERS FROM CITY ATTORNEY - Kurt Ardaman

8. MATTERS FROM CITY MANAGER – Mike Bollhoefer

- A. Recommendation to cancel regular City Commission meetings for November 26, 2020 and December 24, 2020

9. MATTERS FROM MAYOR AND COMMISSIONERS

ADJOURN to Ethics Training (Part 2) and Regular Meeting on Thursday, November 12, 2020 at 5:30 p.m. in City Hall Commission Chambers, 300 W. Plant Street, 1st floor

NOTICES:

In accordance with Florida Statutes 286.0105, if any person decides to appeal any decision made by said body with respect to any matter considered at such meeting, he/she will need a record of the proceedings and, for that purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Winter Garden does not prepare or provide such record.

Any opening invocation that is offered before the official start of the Commission meeting shall be the voluntary offering of a private person, to and for the benefit of the Commission. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Commission or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Commission meeting are invited to stand during the opening invocation and to stand and recite the Pledge of Allegiance. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Commission Chambers or exit the City Commission Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance. (Reference Resolutions 15-04 and 16-02)

	Those needing assistance to participate in any of these proceedings should contact the City Clerk's Office at least 48 hours in advance of the meeting (407) 656-4111 x2297.		Help for the hearing impaired is available through the Assistive Listening System. Receivers can be obtained at the meeting from the Information Technology Department (407) 656-4111 x5455.
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CITY OF WINTER GARDEN

CITY COMMISSION REGULAR MEETING MINUTES

October 8, 2020

A **REGULAR MEETING** of the Winter Garden City Commission was called to order by Mayor Rees at 6:30 p.m. at City Hall, 300 West Plant Street, Winter Garden, Florida. An Opening Invocation and Pledge of Allegiance were given.

Present: Mayor John Rees and Commissioners
Lisa L. Bennett – District 1 Bob Buchanan – District 2
Mark A. Maciel – District 3 Colin Sharman – District 4

Also Present: City Manager Mike Bollhoefer, City Attorney A. Kurt Ardaman, City Clerk Angee Grimmage, Assistant City Manager of Administrative Services Frank Gilbert, Assistant City Manager of Public Services Jon Williams, Community Development Director Stephen Pash, Economic Development Director Tanja Gerhartz, Finance Director Laura Zielonka, Fire Chief Matt McGrew, Information Technology Director Chad Morrill and Police Chief Stephen Graham

1. **APPROVAL OF MINUTES**

Motion by Commissioner Buchanan to approve regular meeting minutes of September 17, 2020 as submitted. Seconded by Commissioner Sharman and carried unanimously 5-0.

2. **PRESENTATION**

- A. **Proclamation 20-07:** Proclaiming October as Outdoor Dining Month was read by Mayor Rees.
- B. **Proclamation 20-09:** Proclaiming October 15th as Blind Americans Equality Day was read by Mayor Rees.

3. **FIRST READING AND PUBLIC HEARING OF PROPOSED ORDINANCES**

- A. **Ordinance 20-19:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.07 +/- ACRES OF LAND GENERALLY LOCATED AT 199 S MAIN STREET AND 158 S WOODLAND STREET ON THE NORTHEAST CORNER OF S MAIN STREET AND E SMITH STREET, FROM C-1 (CENTRAL COMMERCIAL DISTRICT) TO PUD (PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE SMITH STREET LUXURY STUDIOS PUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

City Attorney Ardaman read Ordinance 20-19 by title only. Staff requested postponement of this item to a first reading and public hearing on October 22, 2020 at 6:30 p.m.

Motion by Commissioner Buchanan to POSTPONE Ordinance 20-19 to a first reading and public hearing on October 22, 2020 at 6:30 p.m. Seconded by Commissioner Sharman and carried unanimously 5-0.

- B. **Ordinance 20-37:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 15.83 ± ACRES OF CERTAIN REAL PROPERTY GENERALLY LOCATED ON WEST PLANT STREET, WEST OF LAKEVIEW ROAD AND SOUTH OF TILDENVILLE SCHOOL ROAD, FROM R-2 (RESIDENTIAL DISTRICT) TO PUD (PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE A FOUND LIFE PUD; PROVIDING FOR NONSEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

City Attorney Ardaman read Ordinance 20-37 by title only. Community Development Director Pash stated that the applicant requests postponement of this item to a first reading and public hearing on October 22, 2020 at 6:30 p.m.

Motion by Commissioner Sharman to POSTPONE Ordinance 20-37 to a first reading and public hearing on October 22, 2020 at 6:30 p.m. Seconded by Commissioner Bennett and carried unanimously 5-0.

- C. **Ordinance 20-46:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE CITY CODE WITH RESPECT TO STORMWATER UTILITY FEES AND USE THEREOF; PROVIDING FOR INCREASE OF THE STORMWATER UTILITY FEE FOR THE YEARS 2021 THROUGH 2025; CLARIFYING CITY AUTHORITY TO MAINTAIN, REPAIR, AND REPLACE CERTAIN NON-PUBLIC STORMWATER IMPROVEMENTS AND TO EXPEND FUNDS COLLECTED VIA THE CITY'S STORMWATER FEE THEREON; PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

City Attorney Ardaman read Ordinance 20-46 by title only. Assistant City Manager of Public Services Williams stated that Ordinance 20-46 proposes to amend sections 78-203 & 78-205 of the code to authorize the city maintain, repair or improve certain portions of a privately owned stormwater system serving a public benefit. It provides for an adjustment to the current monthly fee of \$6.00 for fiscal years 2021-2025. He noted that for the current fiscal year, staff is recommending an initial increase of \$2.00 to become effective with utility bills rendered on and after January 1, 2021 and followed by an increase of \$0.25 for fiscal years 2022 through 2025, becoming effective each October 1st. Mr. Williams recognized the City's Rate Consultant, Murray Hamilton to provide a brief presentation on the proposed rate adjustment.

Murray Hamilton, Senior Manager with Raftelis, a utility rate and financial consulting firm, gave a presentation regarding the current rate study. He noted that the last stormwater study was conducted in 2005 and was through 2010. Since 2010, the rates have not been adjusted. He spoke of some changes which had occurred over that time.

Mr. Hamilton highlighted various items from the rate study also displaying rate comparisons of other local cities, many of which he states are currently addressing their stormwater needs. Mr. Hamilton concluded with recommending the proposed rate increases to make necessary improvements to become effective with bills rendered on and after January 1, 2021 and each October 1st thereafter. Also recommending a study update within three to five years. Mr. Hamilton then recognized City Manager Bollhoefer for additional comments.

City Manager Bollhoefer addressed repairs to some stormwater systems in many communities over the years, describing drainage issues with systems and noting the inability of most Homeowner's Associations (HOA) to fix these type problems. Mr. Bollhoefer noted several repairs to stormwater systems and City-assisted repairs; specifically noting significant issues within the neighborhood of Lakeview Reserve. He expressed that with this funding, the City would be able to help communities throughout the City of Winter Garden.

Mayor Rees sought clarification on the rate, the revenue and the timeframes, noting that the citizens understand more when the City is covering its capital and expenses.

Commissioner Bennett noted issues that needed addressing in her district and how grateful the residents are that the City can assist in these efforts. Commissioner Buchanan noted additional areas that were also assisted.

Commissioner Maciel addressed potential problems with newer subdivision and inquired about the confidence of the City in Homeowner's Association (HOA) being prepared for their potential issues going forward. Mr. Bollhoefer responded that he does not feel the HOAs would be prepared to address these issues in the future as the setting aside of funding is not required and therefore is not done. Mr. Bollhoefer expressed that by doing this the City is able to get ahead of the issues.

Commissioner Maciel inquired if the City could require the HOAs, when coming in, cover these issues in their documentation. There was discussion on the inclusion of language in the ordinance to address these issues and Mr. Bollhoefer surmised that the residents would end up paying for these issues in one way or another.

Mayor Rees opened the public hearing; reading a dedicated phone number and instructions for the public's participation in this meeting.

John Davis, 219 Zachery Wade Street, Winter Garden, Florida stated that he lives at the end of Lakeview Reserve. He shared that he was a retired land use planner and he spoke in favor of this ordinance which he stated addresses the emerging issues quite efficiently. Mr. Davis complimented the City, the City Commission and City staff on the quality of life here in Winter Garden and also commended City Manager Bollhoefer.

Ron Mueller, 709 S. Lake Cove Pointe Circle, Winter Garden, Florida spoke in favor of the ordinance. He described past issues and current efforts of the Lake Cove Pointe community and their Homeowner's Association in addressing related drainage and stormwater issues.

After waiting and receiving no additional public calls or comments, he closed the public hearing.

Motion by Commissioner Sharman to approve Ordinance 20-46 with the second reading and public hearing scheduled for October 22, 2020 at 6:30 p.m. Seconded by Commissioner Bennett and carried unanimously 5-0.

- D. **Ordinance 20-47:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 5.83 +/- ACRES OF LAND GENERALLY LOCATED AT 855 & 955 SOUTH DILLARD STREET, EAST OF SOUTH DILLARD STREET, SOUTH OF EAST PALMETTO STREET, NORTH OF WEST COLONIAL DRIVE, AND WEST OF GRAND ROYAL CIRCLE; FROM C-2 (CENTRAL COMMERCIAL DISTRICT) AND FROM THE EXISTING PLANNED COMMERCIAL DEVELOPMENT (PCD) ADOPTED BY ORDINANCE 06-23, TO PCD (PLANNED COMMERCIAL DEVELOPMENT) AS SET FORTH IN THIS ORDINANCE; PROVIDING FOR CERTAIN PCD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE CENTRAL PARC AT WINTER GARDEN PCD; REPEALING AND REPLACING ORDINANCE 06-23; AND PROVIDING FOR SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

City Attorney Ardaman read Ordinance 20-47 by title only. Community Development Director Pash stated that this is a request to rezone the property located at 855 & 955 South Dillard Street from C-2 to PCD. Mr. Pash displayed and described the layout of the included proposed improvements, buffers, entrances and access. Also displayed was an elevation concept for the City Commission's review. Staff recommends approval of Ordinance 20-47.

Mayor Rees inquired about the square footage for the townhomes. Mr. Pash noted that this was not included but that they start at approximately 1900 square feet.

Commissioner Sharman inquired if the neighborhood behind this development was in favor of it. Mr. Pash responded that there had been a community meeting and most questions were directed toward improvements on Cypress Street. He noted that there were conversations about cross access and information given regarding a traffic study. Mr. Bollhoefer responded that there were no objections and noted that this location was approved for another type of development and that this one is a significant improvement.

There was discussion on the building's height and location on the property.

Mayor Rees opened the public hearing; reading a dedicated phone number and instructions for the public's participation in this meeting. After waiting and receiving no public calls or comments, he closed the public hearing.

Mayor Rees sought affirmation that the neighbors behind this development had no issues with the building height being two stories. Mr. Pash affirmed that there were no issues.

Motion by Commissioner Buchanan to approve Ordinance 20-47 with the second reading and public hearing scheduled for October 22, 2020 at 6:30 p.m. Seconded by Commissioner Sharman and carried unanimously 5-0.

- E. **Ordinance 20-48:** AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA VACATING A PORTION OF THE PLAT DEDICATED DRAINAGE AND UTILITY EASEMENT OVER LOT 16 OF WESTFIELD LAKES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 36, PAGE 35, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA (LOCATED AT 427 ENGLISH LAKE DRIVE, WINTER GARDEN, FLORIDA), AS MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING FOR AN EFFECTIVE DATE AND RECORDING.

City Attorney Ardaman read Ordinance 20-48 by title only. Community Development Director Pash stated that the owners of the property are requesting to vacate a portion of the platted dedicated drainage and utility easement over the lot. He explained that this Lot 16 was combined with the platted tract, but the existing drainage and utility easement between the two lots was never vacated. So the owner is requesting to vacate this portion of the existing easement and replace it with a new one. Staff recommends approval of Ordinance 20-48.

Mayor Rees opened the public hearing; reading a dedicated phone number and instructions for the public's participation in this meeting. After waiting and receiving no public calls or comments, he closed the public hearing.

Motion by Commissioner Maciel to approve Ordinance 20-48 with the second reading and public hearing scheduled for October 22, 2020 at 6:30 p.m. Seconded by Commissioner Sharman and carried unanimously 5-0.

- F. **Ordinance 20-52:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 0.17 ± ACRES LOCATED AT 21 WEST SMITH STREET ON THE NORTHEAST CORNER OF WEST SMITH STREET AND SOUTH BOYD STREET FROM CITY R-2 RESIDENTIAL DISTRICT TO CITY C-1 CENTRAL COMMERCIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

City Attorney Ardaman read Ordinance 20-52 by title only. Community Development Director Pash stated that the owners of 21 West Smith Street have requested to rezone the property from R-2 to C-1. He noted that this is consistent with the exiting future land use designation. They intend to build a single story office on the property which will require review by the Architectural Review and Historic Preservation Board as well as a site plan review. Staff recommends approval of Ordinance 20-52.

There was discussion on whether there were potential options for the building height to change. It was noted that a two-story building could not be approved at this location without first requesting a parking exception; controlling the issue in this is a way.

Mayor Rees opened the public hearing; reading a dedicated phone number and instructions for the public's participation in this meeting. After waiting and receiving no public calls or comments, he closed the public hearing.

Motion by Commissioner Buchanan to approve Ordinance 20-52 with the second reading and public hearing scheduled for October 22, 2020 at 6:30 p.m. Seconded by Commissioner Maciel and carried unanimously 5-0.

4. **SECOND READING AND PUBLIC HEARING OF PROPOSED ORDINANCES**

- A. **Ordinance 20-39:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 1.01 ± ACRES LOCATED AT 465 PALM STREET, EAST OF 5TH STREET, WEST OF 9TH STREET, SOUTH OF MAGNOLIA STREET, AND NORTH OF PALM STREET INTO THE CITY OF WINTER GARDEN, FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.
- B. **Ordinance 20-40:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.01 ± ACRES LOCATED AT 465 PALM STREET, EAST OF 5TH STREET, WEST OF 9TH STREET, SOUTH OF MAGNOLIA STREET, AND NORTH OF PALM STREET FROM ORANGE COUNTY LOW DENSITY RESIDENTIAL TO CITY LOW DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.
- C. **Ordinance 20-41:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.01 ± ACRES LOCATED AT 465 PALM STREET, EAST OF 5TH STREET, WEST OF 9TH STREET, SOUTH OF MAGNOLIA STREET, AND NORTH OF PALM STREET FROM ORANGE COUNTY A-1 CITRUS RURAL DISTRICT TO CITY R-1 SINGLE-FAMILY RESIDENTIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

City Attorney Ardaman read Ordinances 20-39, 20-40 and 20-41 by title only. Community Development Director Pash stated that this is a voluntary annexation and noted the location. He stated that the property would have a future land use designation of low density residential and an R-1 zoning. Staff recommends approval of Ordinances 20-39, 20-40 and 20-41.

Mayor Rees opened the public hearing; reading a dedicated phone number and instructions for the public's participation in this meeting. After waiting and receiving no public calls or comments, he closed the public hearing.

Motion by Commissioner Sharman to adopt Ordinances 20-39, 20-40 and 20-41. Seconded by Commissioner Maciel and carried unanimously 5-0.

- D. **Ordinance 20-42:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.96 ± ACRES LOCATED AT 15411, 15540, AND 15541 E OAKLAND AVE AND 841 TILDEN OAKS TRAIL, ON THE NORTHWEST, NORTHEAST, AND SOUTHWEST CORNERS OF E OAKLAND AVE AND TILDEN OAKS TRAIL, FROM LOW DENSITY RESIDENTIAL TO RESIDENTIAL NEIGHBORHOOD COMMERCIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

City Attorney Ardaman read Ordinance 20-42 by title only. Community Development Director Pash described the location of the properties. He stated that the applicant requests amending the future land use designation and change zoning from low density residential to residential neighborhood commercial. He noted that those changes are consistent with the approved Planned Unit Development (PUD). Staff recommends approval of Ordinance 20-42.

Mayor Rees opened the public hearing; reading a dedicated phone number and instructions for the public's participation in this meeting. After waiting and receiving no public calls or comments, he closed the public hearing.

Motion by Commissioner Buchanan to adopt Ordinance 20-42. Seconded by Commissioner Bennett and carried unanimously 5-0.

- E. **Ordinance 20-43:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 0.27 ± ACRES LOCATED AT 198 AND 176 NORTH WEST CROWN POINT ROAD, EAST OF HENNIS ROAD, WEST OF NORTH WEST CROWN POINT ROAD, NORTH OF PINELOCH INDUSTRIAL DRIVE, AND SOUTH OF RAILROAD AVENUE INTO THE CITY OF WINTER GARDEN, FLORIDA; REDEFINING THE CITY BOUNDARIES TO

GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

- F. **Ordinance 20-44**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.27 ± ACRES LOCATED AT 198 AND 176 NORTH WEST CROWN POINT ROAD, EAST OF HENNIS ROAD, WEST OF NORTH WEST CROWN POINT ROAD, NORTH OF PINELOCH INDUSTRIAL DRIVE, AND SOUTH OF RAILROAD AVENUE FROM ORANGE COUNTY LOW DENSITY RESIDENTIAL TO CITY COMMERCIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.
- G. **Ordinance 20-45**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 0.27 ± ACRES LOCATED AT 198 AND 176 NORTH WEST CROWN POINT ROAD, EAST OF HENNIS ROAD, WEST OF NORTH WEST CROWN POINT ROAD, NORTH OF PINELOCH INDUSTRIAL DRIVE, AND SOUTH OF RAILROAD AVENUE FROM ORANGE COUNTY R-2 RESIDENTIAL DISTRICT TO CITY C-2 ARTERIAL COMMERCIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

City Attorney Ardaman read Ordinances 20-43, 20-44 and 20-45 by title only. Community Development Director Pash stated that this is a voluntary annexation and noted the location. The property would have C-2 zoning and a commercial future land use designation. Staff recommends approval of Ordinances 20-43, 20-44 and 20-45.

There was discussion on a small office being planned for this location.

Mayor Rees opened the public hearing; reading a dedicated phone number and instructions for the public's participation in this meeting. After waiting and receiving no public calls or comments, he closed the public hearing.

Motion by Commissioner Maciel to adopt Ordinances 20-43, 20-44 and 20-45. Seconded by Commissioner Sharman and carried unanimously 5-0.

5. **REGULAR BUSINESS**

- A. **Recommendation to approve purchase of one new Automated Side Load Garbage Truck from Nextran Truck Sales utilizing the Florida Sheriff's Association & Florida Association of Counties Contract in the amount of \$283,728.60**
Fleet and Facilities Division Manager Caines stated that this is a request for the purchase of one new Automated Side Load Garbage Truck from Nextran Truck Sales utilizing the Florida Sheriff's Association & Florida Association of Counties Contract. This is a replacement vehicle with an anticipated purchase price in the amount of \$283,728.60.

Mayor Rees inquired of the remaining vehicles which require manual lifting of the recycle bins. Mr. Caines responded that the City has approximately six trucks that require manual labor and explained that there are some areas and some uses that

would require it. There was discussion on these trucks and the desire for the City to move forward in the future toward more automated trucks.

Motion by Commissioner Sharman to approve purchase of one new Automated Side Load Garbage Truck from Nextran Truck Sales utilizing the Florida Sheriff's Association & Florida Association of Counties Contract in the amount of \$283,728.60. Seconded by Commissioner Bennett and carried unanimously 5-0.

B. Recommendation to approve authorization to dispose of Surplus Vehicles and Equipment

Fleet and Facilities Division Manager Caines stated that as the City purchases newer vehicles there is the need to move some of the older ones out. Mr. Caines referred to the list in the agenda packet of vehicles that are no longer useable and equipment that has become obsolete, unusable or out of date.

There was discussion on some of the police cars and those coming out of service over this past fiscal year.

City Manager Bollhoefer noted one item that would be donated as opposed to being auctioned.

Motion by Commissioner Sharman to approve authorization to dispose of Surplus Vehicles and Equipment. Seconded by Commissioner Buchanan and carried unanimously 5-0.

C. Recommendation to approve purchases of Mack Chassis from Nextran Truck Sales and Vactor sewer cleaning machine from Environmental Products Group utilizing the Florida Sheriff's Association & Florida Association of Counties and Sourcewell Contracts in the amount of \$424,252.50

Fleet and Facilities Division Manager Caines stated that this is a request to purchase a new sewer cleaning truck. This is for sewer and stormwater and is a combined purchase. This request is for a Mack Chassis from Nextran Truck Sales utilizing the Florida Sheriff's Association & Florida Association of Counties. The Mack Chassis would be purchased on the Sourcewell contract from Environmental Products Group. The two items are for a purchase price in the amount of \$424,252.50. Mr. Caines noted that although this is a replacement truck for a 2008 model, the other truck would be kept as a spare. Staff recommends approval.

Motion by Commissioner Sharman to approve purchases of Mack Chassis from Nextran Truck Sales and Vactor sewer cleaning machine from Environmental Products Group utilizing the Florida Sheriff's Association & Florida Association of Counties and Sourcewell Contracts in the amount of \$424,252.50. Seconded by Commissioner Bennett and carried unanimously 5-0.

D. Recommendation to approve sole source purchase of one new Sewer Line TV and Video Truck from CUES Inc. in the amount of \$186,355.00

Fleet and Facilities Division Manager Caines stated that this request is for the purchase of one new Sewer Line TV and Video Truck. He explained its purpose and how it works. He noted that this is compatible with the equipment that the City currently has, allowing everything to work functionally together. The purchase price in the amount of \$186,355.00.

Commissioner Buchanan inquired if this is a remote. Mr. Caines responded yes and there was discussion on its function and remote retrieval capabilities.

Motion by Commissioner Buchanan to approve sole source purchase of one new Sewer Line TV and Video Truck from CUES Inc. in the amount of \$186,355.00. Seconded by Commissioner Sharman and carried unanimously 5-0.

E. Recommendation to approve Community Development Block Grant (CDBG) Rehab Debt Forgiveness for 500 Seminole Street (Patricia Vernosky), with public comment

City Manager Bollhoefer explained that this is a house that was rehabilitated by the Community Development Block Grant. The contract requires the debt be forgiven at the demise of the owner. He explained that this utilized Federal funds and did not cost the City. He also noted that the City does not have an option in this issue.

Motion by Commissioner Bennett to approve Community Development Block Grant (CDBG) Rehab Debt Forgiveness for 500 Seminole Street (Patricia Vernosky). Seconded by Commissioner Maciel and carried unanimously 5-0.

F. Recommendation to approve SITE PLAN for 14140 W. Colonial Drive (Dunkin), subject to conditions

Community Development Director Pash stated that this is the site plan review for 14140 W. Colonial Drive (Dunkin). The site is to be developed with at 1,590 square foot Dunkin Doughnuts with a drive-thru, parking lot and landscaping. He noted that the development is consistent with the property's PCD zoning. The site plan has been reviewed and approved by the Development Review Committee (DRC) and staff recommends approval, subject to conditions.

Commissioner Maciel disclosed that he would recuse himself from voting on this item due to conflict of interest.

There was also discussion on the types of establishments on State Road 50.

Motion by Commissioner Buchanan to approve SITE PLAN for 14140 W. Colonial Drive (Dunkin), subject to conditions. Seconded by Commissioner Sharman and carried 4-0-1; Commissioner Maciel abstained.

- G. Recommendation to approve SITE PLAN for 776 Business Park Boulevard (Lizzi Warehouse), subject to conditions

Community Development Director Pash stated that this is the site plan for 776 Business Park Boulevard. The applicant requests to develop the site with a 10,340 square foot warehouse building and various site improvements. The site plan has been reviewed and approved by the Development Review Committee (DRC) and staff recommends approval, subject to conditions.

Motion by Commissioner Sharman to approve SITE PLAN for 776 Business Park Boulevard (Lizzi Warehouse), subject to conditions. Seconded by Commissioner Bennett and carried unanimously 5-0.

- H. Recommendation to approve SITE PLAN for 14130 W. Colonial Drive (Vystar Credit Union), subject to conditions

Community Development Director Pash stated that this is the site plan for 14130 W. Colonial Drive. The applicant proposes to develop the site with a 2,800 square foot Vystar Credit Union with a drive-thru and various site improvements. The use and design are consistent with approved PCD. The site plan has been reviewed and approved by the Development Review Committee (DRC) and staff recommends approval, subject to conditions.

Commissioner Maciel disclosed that he would recuse himself from voting on this item due to conflict of interest.

Mayor Rees commented on the visual of the design structure.

Motion by Commissioner Buchanan to approve SITE PLAN for 14130 W. Colonial Drive (Vystar Credit Union), subject to conditions. Seconded by Commissioner Sharman and carried 4-0-1; Commissioner Maciel.

- I. Recommendation to approve SITE PLAN for 14580 W. Colonial Drive (Wash & Go), subject to conditions

Community Development Director Pash stated that this is the site plan for 14580 W. Colonial Drive. The applicant requests to demolish an existing vacated gas station and redevelop the site with a 4,400 square foot car wash building with 25 vacuum stations under a canopy, with landscaping and the associated site improvements. The site plan has been reviewed and approved by the Development Review Committee (DRC) and staff recommends approval, subject to conditions.

Mayor Rees commented on the difficulty in determining what the building would look like from the street and inquired as to any location that could be visited for a visual. City Manager Bollhoefer recognized the applicant in the audience who approached and shared a display of the conceptual drawing with the City Commissioners.

Motion by Commissioner Bennett to approve SITE PLAN for 14580 W. Colonial Drive (Wash & Go), subject to conditions. Seconded by Commissioner Maciel and carried unanimously 5-0.

J. Recommendation to approve Grease Trap Easement Agreement for 270 West Plant Street (Crazy Plant Holdings LLC.)

Community Development Director Pash stated that this is an easement agreement to allow the property at 270 West Plant Street to install three grease traps on City property. He noted that there is already an easement for this property to use for outdoor seating at their restaurant. Staff recommends approval.

Mayor Rees inquired as to whether this was five feet. Mr. Pash explained that there is a five foot easement for extending use of their canopies and an existing easement of five feet for the outdoor seating, for a total of ten feet.

Motion by Commissioner Buchanan to approve Grease Trap Easement Agreement for Crazy Plant Holdings LLC located at 270 West Plant Street. Seconded by Commissioner Bennett and carried unanimously 5-0.

6. **MATTERS FROM PUBLIC**

Mayor Rees opened the public hearing; reading a dedicated phone number and instructions for the public's participation in this meeting.

Joseph Richardson, 220 N. Highland Avenue, Winter Garden, Florida thanked City Manager Bollhoefer for meeting with him regarding a landscape issue and noted he would have additional comments at a later time.

Mr. Richardson voiced his opinion about an announcement made by Mayor Rees at a prior meeting regarding the appointment of Winter Garden resident, Jamie Grosshans, to the Florida Supreme Court.

Mayor Rees, after waiting and receiving no additional public calls or comments, closed the public hearing.

7. **MATTERS FROM CITY ATTORNEY** – There were no items.

8. MATTERS FROM CITY MANAGER

Update

City Manager Bollhoefer gave the City Commission an update on upcoming events and activities, noting that the City would take a wait and see approach on organizing future events. He noted that the businesses downtown are doing well and that the City is actively reviewing health and business for ensuring balance as it sets policies. Mr. Bollhoefer commended Parks and Recreation Director Laura Coar on how well the downtown looks. He noted that the City would assess the events leading up to Halloween before moving forward with recommendations for future events.

9. MATTERS FROM MAYOR AND COMMISSIONERS

Commissioner Sharman shared that West Orange High School and Olympia High School had to shut down due to issues with the spread of the COVID-19 Coronavirus as some students are not following guidelines.

Commissioner Sharman also thanked City Manager Bollhoefer and Police Chief Graham for recent traffic enforcements.

Commissioner Maciel thanked City staff for their efforts, particularly during COVID-19.

Commissioner Buchanan echoed Commissioner Maciel's comments also thanking staff and also commented on how well the City looks with its lights going up.

Commissioner Bennett thanked City Manager Bollhoefer and staff for all their efforts in resolving the drainage issues in District 1.

Mayor Rees commented on the decorations in the City and asked that it be relayed to staff how much it is appreciated.

The meeting adjourned at 7:50 p.m.

APPROVED:

Mayor John Rees

ATTEST:

City Clerk Angee Grimmage, CMC



Proclamation 20-05

Whereas, the City of Winter Garden is blessed with a multitude of families – an essential part of the cultural, social and spiritual fabric of our community; and

Whereas, the City of Winter Garden recognizes that strong families are at the center of strong communities; that children live better lives when their families are strong; and that families are strong when they live in communities that connect them to economic opportunities, social networks and services; and

Whereas, everyone has a role to play in making families successful, including neighborhood organizations, businesses, non-profit agencies, policymakers and families themselves; and

Whereas, during the Week of the Family, City residents should take time to honor the importance of families and recommit to enhancing and extending the special connections that support and strengthen them throughout the year; and

Whereas, during this week, we urge the residents of the City of Winter Garden to join other agencies and organizations throughout the State to honor and celebrate our families;

Therefore, it is my great pleasure and privilege as the Mayor of the City of Winter Garden, to hereby proclaim the week of Saturday, November 7 through Saturday, November 14, 2020, as

WEEK OF THE FAMILY

in the City of Winter Garden, and urge all citizens to share in this occasion.

In witness thereof, I have hereunto set my hand and caused the City Seal to be affixed this 22nd day of October, 2020.

Mayor John Rees



Attest:

Angela Grinnage, City Clerk



THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: September 30, 2020

Meeting Date: October 22, 2020

Subject: 199 S Main St & 158 S Woodland St
Smith Street Luxury Studios
Ordinance 20-19

PARCEL ID # 23-22-27-2888-09-064; 23-22-27-7968-00-021

Issue: For property located at 199 S Main St & 158 S Woodland St, the applicant is requesting to rezone the property from C-1 (Central Commercial District) to PUD (Planned Unit Development).

Discussion:

The applicant is requesting to rezone the +/- 1.07 acre property located on the northeast corner of S Main Street and E Smith Street to PUD to permit the development of a new two/three-story building, which will feature 38 apartment dwelling units and a small café on the first floor corner unit. The building will be situated along the adjacent road frontages to almost completely obscure the 54 parking spaces located within the site's interior areas. Parking will be numbered and assigned, limited to one spot per bedroom with additional spaces allocated for guest parking. Access to the parking lot will be off of S Woodland St. The proposed rezoning is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances (see attached Staff Report).

Recommended Action:

Staff recommends approval with the second reading, public hearing and anticipated adoption on the November 12, 2020.

Attachment(s)/References:

Location Map
Ordinance 20-19
Staff Report

LOCATION MAP

199 S Main Street & 158 S Woodland Street
PUD Rezoning

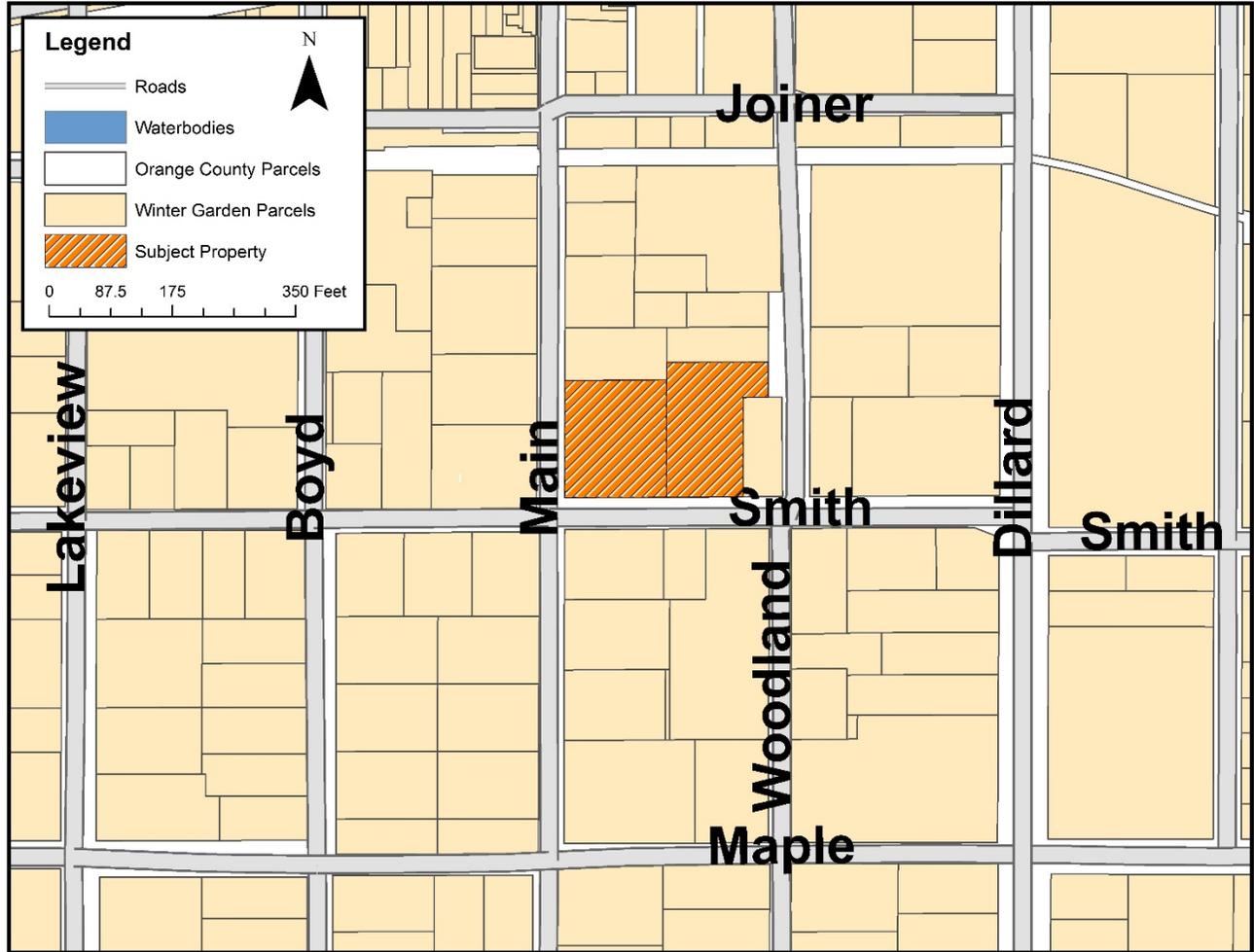


Exhibit "A"

Parcel ID: 23-22-27-2888-09-064; 23-22-27-7968-00-021

Legal Description:

THAT PART OF THE WEST 253.5 FEET OF LOT 6, BLOCK 1, FRIES PLAT OF WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK E, PAGE 16, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; AND THE SOUTH 1/2 OF LOT 2, S.P. SHEPHERD ADDITION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK G, PAGE 148, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF LOT 6, BLOCK 1, FRIES PLAT OF WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK E, PAGE 16, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, THENCE RUN N01°36'17"W, 166.50 FEET TO THE NORTHWEST CORNER OF THE SOUTH 1/2 OF LOT 2, S.P. SHEPHERD ADDITION, AS RECORDED IN PLAT BOOK G, PAGE 148, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN S88°23'43"E, 144.35 FEET TO THE NORTHEAST CORNER OF SAID SOUTH 1/2 OF LOT 2; THENCE RUN S01°31'16"W, 166.50 FEET TO THE NORTH RIGHT OF WAY OF EAST SMITH STREET; THENCE N88°23'43"W, 144.60 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.55 ACRES, MORE OR LESS.

PARCEL B

THAT PART OF THE WEST 253.5 FEET OF LOT 6, BLOCK 1, FRIES SURVEY OF WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK E, PAGE 16, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; AND LOT 3, S.P. SHEPHERD ADDITION TO WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK G, PAGE 148, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF LOT 6, BLOCK 1, FRIES SURVEY OF WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK E, PAGE 16, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, THENCE RUN S88°23'43"E ALONG THE NORTH RIGHT OF WAY LINE OF EAST SMITH STREET, A DISTANCE OF 144.60 FEET TO THE POINT OF BEGINNING. THENCE RUN N01°31'16"E 191.61 FEET TO THE NORTHWEST CORNER OF LOT 3, S.P. SHEPHERD ADDITION TO WINTER GARDEN, AS RECORDED IN PLAT BOOK G, PAGE 148, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN S88°23'35"E ALONG THE NORTH LINE OF SAID LOT 3, A DISTANCE OF 144.28 FEET TO THE WEST RIGHT OF WAY LINE OF SOUTH WOODLAND DRIVE, THENCE RUN S01°22'23"W ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 50.01 FEET; THENCE RUN N88°25'59"W, 35.49 FEET; THENCE RUN S01°36'17"W ALONG THE EAST LINE OF THE WEST 253.5 FEET OF AFORESAID LOT 6, A DISTANCE OF 141.57 FEET TO THE NORTH RIGHT OF WAY LINE OF EAST SMITH STREET; THENCE RUN N88°23'43"W, 108.72 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.52 ACRES, MORE OR LESS.

Exhibit "B"

COVER PAGE

SMITH STREET LUXURY STUDIOS PUD PLAN

(5 PAGES - ATTACHED)

BOUNDARY & TOPOGRAPHIC SURVEY

DESCRIPTION

PARCEL A

THAT PART OF THE WEST 255.5 FEET OF LOT 6, BLOCK 1, FRIES PLAT OF WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK E, PAGE 16, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, AND THE SOUTH 1/2 OF LOT 2, S.P. SHEPHERD ADDITION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK G, PAGE 148, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF LOT 6, BLOCK 1, FRIES PLAT OF WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK E, PAGE 16, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, THENCE RUN N01°28'10"W, 188.58 FEET TO THE NORTHWEST CORNER OF THE SOUTH 1/2 OF LOT 2, S.P. SHEPHERD ADDITION, AS RECORDED IN PLAT BOOK G, PAGE 148, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, THENCE RUN S88°23'43"E, 144.35 FEET TO THE NORTHEAST CORNER OF SAID SOUTH 1/2 OF LOT 2, THENCE RUN S01°31'18"W, 866.50 FEET TO THE NORTH RIGHT OF WAY OF EAST SMITH STREET, THENCE N08°23'43"W, 144.60 FEET TO THE POINT OF BEGINNING.

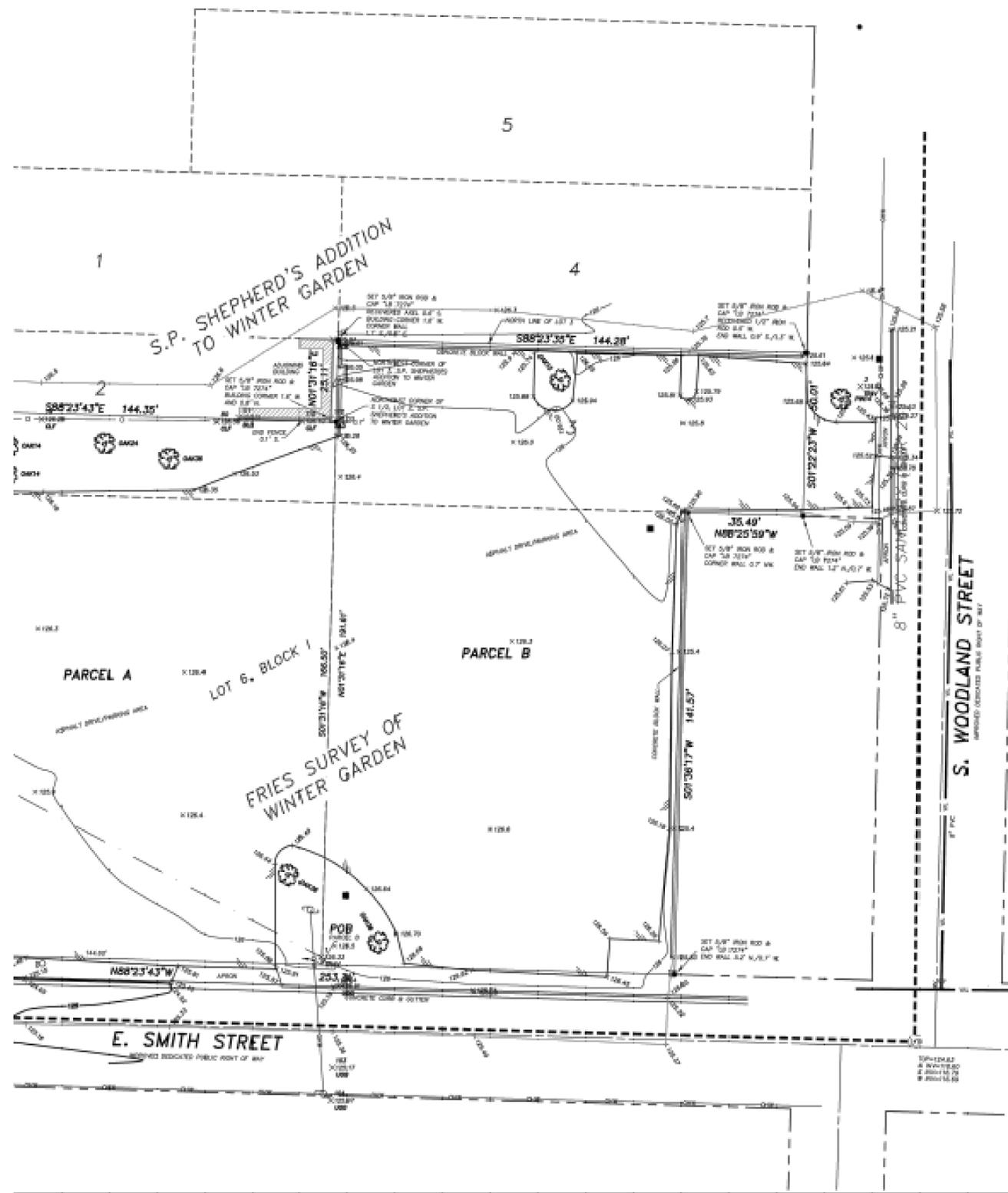
CONTAINING 0.00 ACRES, MORE OR LESS.

PARCEL B

THAT PART OF THE WEST 255.5 FEET OF LOT 6, BLOCK 1, FRIES SURVEY OF WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK E, PAGE 16, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, AND LOT 3, S.P. SHEPHERD ADDITION TO WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK G, PAGE 148, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF LOT 6, BLOCK 1, FRIES SURVEY OF WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK E, PAGE 16, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, THENCE RUN S88°23'43"E ALONG THE NORTH RIGHT OF WAY LINE OF EAST SMITH STREET, A DISTANCE OF 144.60 FEET TO THE POINT OF BEGINNING, THENCE RUN N8°31'10"E 181.60 FEET TO THE NORTHWEST CORNER OF LOT 3, S.P. SHEPHERD ADDITION TO WINTER GARDEN, AS RECORDED IN PLAT BOOK G, PAGE 148, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, THENCE RUN S88°23'33"E ALONG THE NORTH LINE OF SAID LOT 3, A DISTANCE OF 144.30 FEET TO THE WEST RIGHT OF WAY LINE OF SOUTH WOODLAND DRIVE, THENCE RUN S01°22'23"W ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 50.00 FEET, THENCE RUN N48°23'24"W, 33.48 FEET, THENCE RUN S01°24'17"W ALONG THE EAST LINE OF THE WEST 255.5 FEET OF APFORESAID LOT 6, A DISTANCE OF 141.57 FEET TO THE NORTH RIGHT OF WAY LINE OF EAST SMITH STREET, THENCE RUN N48°23'43"W, 108.78 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.00 ACRES, MORE OR LESS.



- SURVEYOR'S NOTES:**
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD, BY THIS FIRM.
 - REVISIONS DO NOT CONSTITUTE A RECREIFICATION OF THE EXISTING FIELD CONDITIONS OF THIS SURVEY.
 - BEARINGS SHOWN HEREON ARE BASED ON THE FOLLOWING: THE EAST RIGHT OF WAY LINE OF S. MAIN ST. AS N01°28'17"E (ASSUMED).
 - THE DESCRIPTION SHOWN HEREON WAS SUPPLIED BY THE CLIENT.
 - UNDERGROUND IMPROVEMENTS AND INSTALLATIONS HAVE NOT BEEN LOCATED.
 - THE LANDS SHOWN HEREON LIE ENTIRELY WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR ANNUAL CHANCE FLOOD PLAIN) ACCORDING TO "990" MAP NO. 12655000205, DATED SEPTEMBER 25, 2008.
 - THE ELECTRONIC FILE FOR THIS PROJECT IS THE PROPERTY OF IRISMAN SURVEYING AND MAPPING, INC. AND IS NOT THE PROPERTY OF THE CLIENT.
 - VERTICAL INFORMATION SHOWN HEREON RELIES ON NORTH AMERICAN HORIZONTAL DATUM OF 1983 (NAD83), BASED ON RECEIVED FLORIDA DEPARTMENT OF TRANSPORTATION AGREEMENT DESIGNATED 4500 1-216, ELEVATION BEING 108.747'.
 - SITE BENCH MARKS ARE AS SHOWN HEREON.

LEGEND:

NOT ALL SYMBOLS AND ABBREVIATIONS SHOWN HEREON MAY BE USED

A	RADIUS	⊗	WELL
Δ	CENTRAL ANGLE	⊖	ELECTRICAL OUTLET
L	LENGTH	⊕	TELEPHONE RISER
CH	CHAIN	⊗	FIRE HYDRANT
CB	CHAIN BEARING	⊕	MASTER WATER ASSEMBLY
EB	ELECTRICAL BEARING	⊖	SEWER VALVE
PL	PLAT	⊕	WATER VALVE
CO	COLLOIATED	⊖	RELEASED WATER VALVE
DE	DESCRIPTION	⊕	WRENCH VALVE
POB	POINT OF BEGINNING	⊖	ONE INCH
POC	POINT OF COMMENCEMENT	⊕	ONE INCH
DA	DEPARTMENTAL RECORD BOOK	⊖	SHARDER AMMUNITION
PL	PLAT	⊕	UPGRADE MANHOLE
TR	TRIAL	⊖	TELEPHONE MANHOLE
A.T.	POINT OF TANGENCY	⊕	GREASE TRAP MANHOLE
P.C.	POINT OF CURVATURE	⊖	POWER MANHOLE
●	IRON PEG & CAP	⊕	WATER SHUT-OFF VALVE
⊙	NAIL & DISC	⊖	POWER TRANSFORMER
⊠	4"x4" CONCRETE MONUMENT	⊕	WATER METER
⊙	IRON PIPE	⊖	ONE METER
---	EMBED IRON FENCE	⊕	POWER METER
---	WOOD FENCE	⊖	WATER SHUT-OFF VALVE
---	CHAIN LINK FENCE	⊕	WATER METER
---	EDGE OF ASPHALT PAVEMENT	⊖	ONE METER
⊕	CENTRAL	⊕	WATER SHUT-OFF VALVE
LF	LICENSED SURVEYOR	⊖	WATER METER
PM	PROFESSIONAL SURVEYOR & MAPPER	⊕	WATER SHUT-OFF VALVE
PLJ	PROFESSIONAL LAND SURVEYOR	⊖	WATER METER
PV	POLYETHYLENE BURIED PIPE	⊕	WATER SHUT-OFF VALVE
RP	REINFORCED CONCRETE PIPE	⊖	WATER METER
CP	CORRUGATED METAL PIPE	⊕	WATER SHUT-OFF VALVE
SP	SUCTILE IRON PIPE	⊖	WATER METER
VP	VITRIFIED CLAY PIPE	⊕	WATER SHUT-OFF VALVE
CP	CORRUGATED PLASTIC PIPE	⊖	WATER METER
HPE	HIGH DENSITY POLYETHYLENE PIPE	⊕	WATER SHUT-OFF VALVE
HR	HORIZONTAL IRON WATER	⊖	WATER METER
---	UNBURY UNARMED UTILITY WIRE	⊕	WATER SHUT-OFF VALVE
---	UNBURY UNARMED POWER WIRE	⊖	WATER METER
---	UNBURY UNARMED GAS LINE	⊕	WATER SHUT-OFF VALVE
---	UNBURY UNARMED TELEPHONE LINE	⊖	WATER METER
---	UNBURY UNARMED CABLE TELEVISION	⊕	WATER SHUT-OFF VALVE
---	UNBURY UNARMED CABLE	⊖	WATER METER
---	WATER LINE	⊕	WATER SHUT-OFF VALVE
---	WATER UTILITY POLE	⊖	WATER METER
---	CONCRETE UTILITY POLE	⊕	WATER SHUT-OFF VALVE
---	OUT POLE	⊖	WATER METER
---	OUT ANCHOR	⊕	WATER SHUT-OFF VALVE
---	EMBEDDED SHORT ELEVATION	⊖	WATER METER
---	EMBEDDED SHORT ELEVATION	⊕	WATER SHUT-OFF VALVE
---	EXISTING GROUND CONTOUR	⊖	WATER METER
---	SINGLE POST SIGN	⊕	WATER SHUT-OFF VALVE
---	DOUBLE POST SIGN	⊖	WATER METER
---	UNMAPPED PARKING SPACE (N/C)	⊕	WATER SHUT-OFF VALVE
---	BM - SITE BENCH MARK	⊖	WATER METER

PROJECT NO. 18-103
SHEET NO. C-2
SHEET 2 OF 5

SHEET 1 OF 1

SECTION 23
TOWNSHIP 22 SOUTH
RANGE 27 EAST

CLAYTON P. BISHMAN, P.S.M.
18074 L.W. BLVD.
WINTER GARDEN, FL 34787

CERTIFICATE OF AUTHORIZATION LB 7274
Phone No. 407.805.8877
Fax No. 407.805.8873

ARON D. BISHMAN, P.S.M.
FLORIDA REGISTRATION NO. 6665

JOB NUMBER: 18074.000

REVISIONS:

NO.	DATE	DESCRIPTION
1	06/20/18	ISSUED FOR PERMIT
2	07/10/18	REVISED PER PERMIT
3	08/01/18	REVISED PER PERMIT
4	08/01/18	REVISED PER PERMIT
5	08/01/18	REVISED PER PERMIT
6	08/01/18	REVISED PER PERMIT
7	08/01/18	REVISED PER PERMIT
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83	08/01/18	REVISED PER PERMIT
84	08/01/18	REVISED PER PERMIT
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98	08/01/18	REVISED PER PERMIT
99	08/01/18	REVISED PER PERMIT
100	08/01/18	REVISED PER PERMIT

Exhibit "C"

COVER PAGE

SMITH STREET LUXURY STUDIOS
Architectural Elevations

(4 PAGES - ATTACHED)

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20 DEC 2019

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PROJECT NAME:
SMITH ST LUXURY STUDIOS
 SMITH ST
 WINTER GARDEN, FL 34787

ELEVEN18 PROJECT LEAD:
 Brooke Chea
 407-745-5300
 bchea@eleven18architecture.com

PROJECT TEAM:

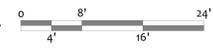
REVISIONS		
#	DATE	DESC.
--	12.20.2019	PD ELEVATIONS



02 NORTH ELEVATION - OPTION A
 3/32" = 1'-0"



01 SOUTH ELEVATION - OPTION A
 3/32" = 1'-0"



A301
 OPTION A
 ELEVATIONS

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 PROJECT TEAM:

REVISIONS		
#	DATE	DESC.
-	12.20.2019	PD ELEVATIONS



02 WEST ELEVATION - OPTION A
 3/32" = 1'-0"



01 EAST ELEVATION - OPTION A
 3/32" = 1'-0"



A302
 OPTION A
 ELEVATIONS



WATER FOUNTAIN, COLORFUL TILE & MEXICAN TERRACOTTA PAVERS



HEDGE WITH LOWER GROUNDCOVER LANDSCAPE TBD PER PLAN



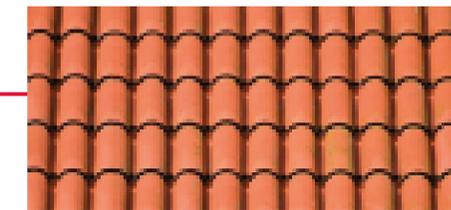
ALLE ELM WITH LOW SHRUB AT STREET LANDSCAPE TBD PER PLAN



BENCH SEATING AND POTTED PLANTS

BALCONIES PER THE ELEVATION SHOWN

PERGOLA PER PLAN



ROOF: FULL BARREL TILE



MASONRY 1ST - 3RD FLOOR STUCCO WITH WHITE SAND FINISH



VINE ON WALL LANDSCAPE TBD PER PLAN



BIRD OF PARADISE IN BUILT-IN PLANTER. LANDSCAPE TBD PER PLAN



LARGE POTS WITH ITALIAN CYPRESS OR TOPIARIES BY FOUNTAIN. LANDSCAPE TBD PER PLAN

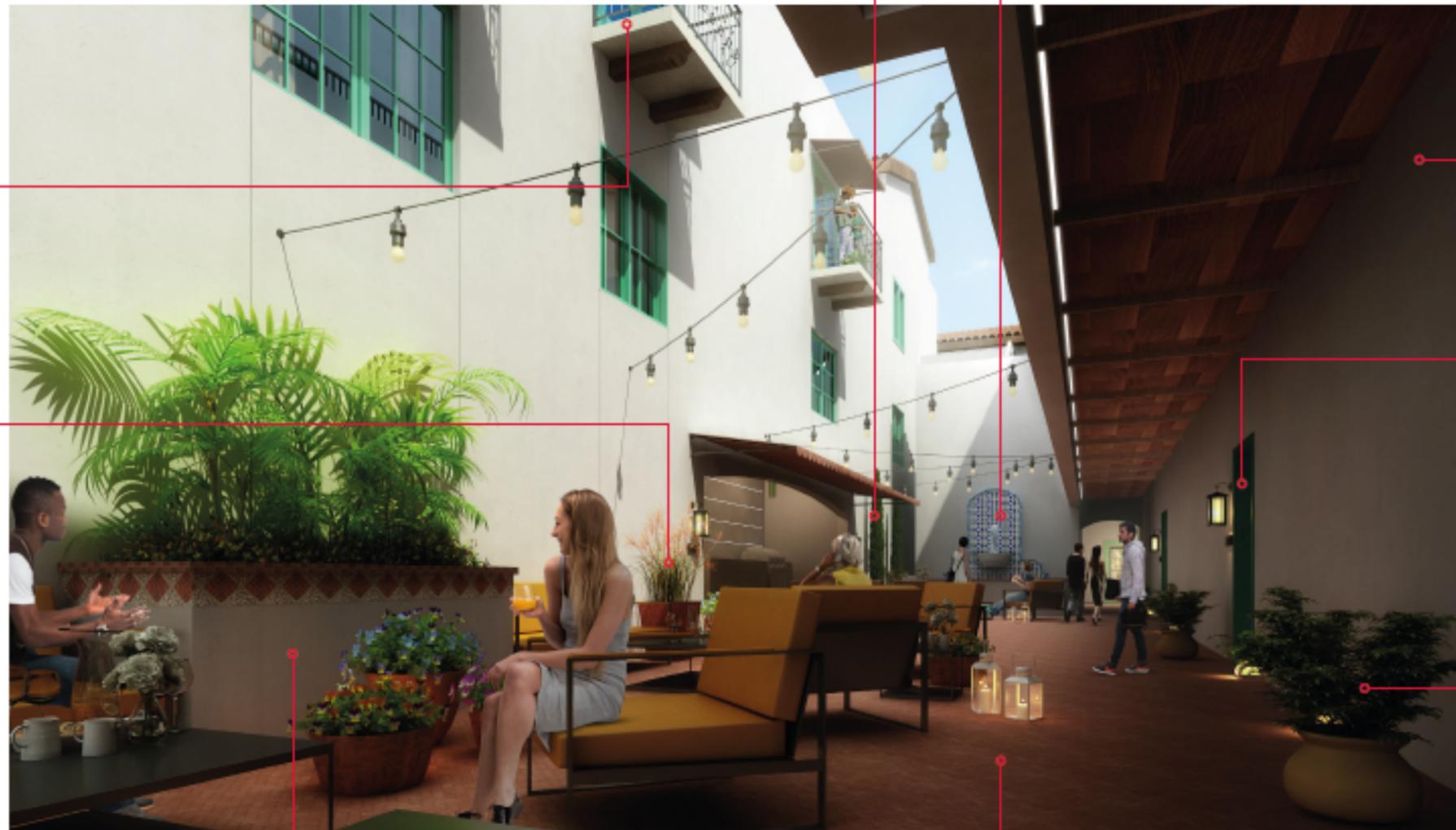
BALCONIES PER THE ELEVATION SHOWN



CLUSTER OF POTTED PLANTS BY SEATING AREAS LANDSCAPE TBD PER PLAN



PLANTER LANDSCAPE TBD PER PLAN



COLORED TILE FOR FOUNTAIN



MASONRY 1ST - 3RD FLOOR STUCCO WITH WHITE SAND FINISH

FRENCH DOORS TO BE PAINTED TO MATCH RENDERINGS. ALL DOORS WILL BE MATCHED PER RENDERINGS



POTTED PLANTS BY EACH UNIT ENTRANCE DOOR. LANDSCAPE TBD PER PLAN



PAVERS: MEXICAN TERRACOTTA. 12" X 12", 14" X 14" OR EQUIVALENT

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

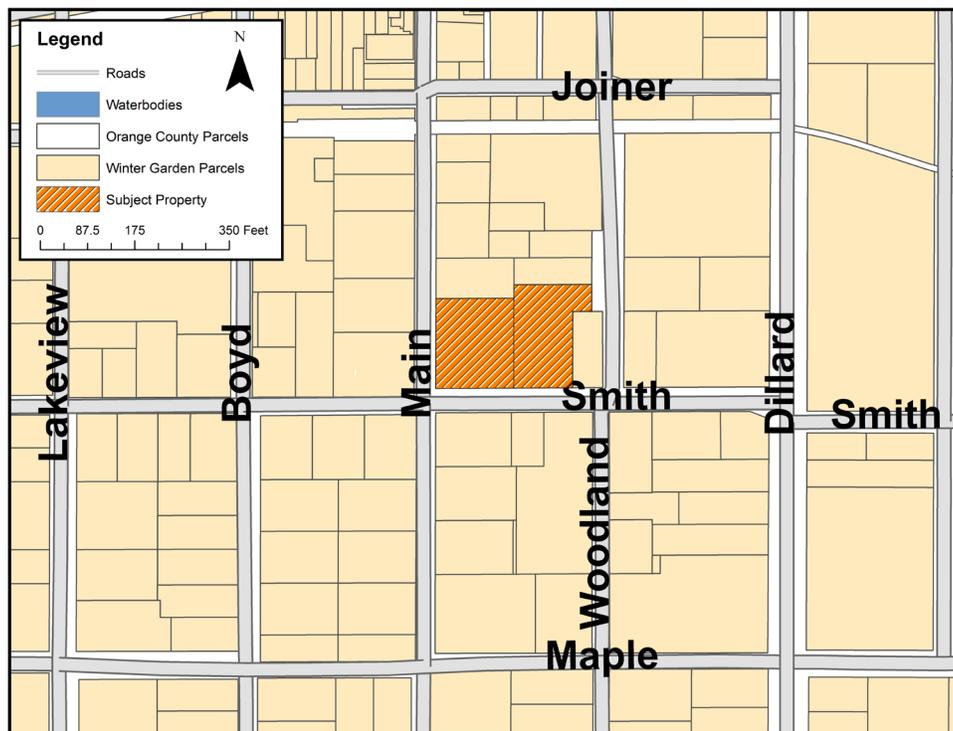
TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: SEPTEMBER 25, 2020
SUBJECT: REZONING TO PUD
199 S Main Street & 158 S Woodland Street (1.07 +/- ACRES)
Smith Street Luxury Studios
PARCEL ID # 23-22-27-2888-09-064; 23-22-27-7968-00-021

APPLICANT: Sanctuary at Winter Garden LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is generally located at 199 S Main Street and 158 S Woodland Street on the northeast corner of S Main Street and E Smith Street and is approximately 1.07 ± acres in size. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to rezone 1.07 ± acres of land to Planned Unit Development (PUD). The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation C-1 (Central Commercial District) in the City of Winter Garden. The subject property is designated TD Traditional Downtown on the Future Land Use Map of the Comprehensive Plan.

The subject property is located within the City of Winter Garden's Historic Downtown District overlay area.

EXISTING USE

The subject property currently contains a crushed rock parking lot that the City has been leasing from the owner for overflow municipal parking. In 2016, the residential structure that was previously located on the property was demolished, with approval from the City Commission. After demolition, the vacant property was converted by the City into a temporary parking lot while the Municipal Parking Garage was being constructed.

ADJACENT LAND USE AND ZONING

The property located to the west of the subject property is vacant commercial land, zoned C-1 and located within the City of Winter Garden's municipal limits. The two properties to the north are both zoned C-1 and in Winter Garden. One of the properties is developed with multiple dwelling units while the other is developed with a professional office building. The property to the east is also zoned C-1 and located in the City; this property is developed with a single family residence. There are three properties to the south of the subject property. Two of them are zoned R-2 and contain single-family residences. The third is zoned R-NC and is developed with two single family residences. All three of the properties are located in Winter Garden.

PROPOSED USE

The applicant is now proposing to construct a new two-story and three-story, 45,750 +/- square foot apartment building on the subject property. The building would feature 28 one bedroom and 10 two bedroom apartment units in a range of sizes: from 720 square feet at the smallest to 1,030 square feet at the largest. The development will also feature a small café space on first floor of the southeast corner of the building. The building will feature Mediterranean Revival / Mission Style architecture, with light-colored stucco exterior and full barrel tile roof. All of the units will have access to a shared interior courtyard space. The building will be situated along the adjacent road frontages to almost completely obscure the 54 parking spaces located within the site's interior areas. Tenants will be permitted one parking space per bedroom and the parking spaces will be numbered and assigned, including guest parking. Access to the parking lot will be off of S Woodland St.

PUBLIC FACILITY ANALYSIS

The property will have one vehicular full access point off of S Woodland Street. Pedestrian access will be provided from all three adjacent streets: S Main Street, E Smith Street, and S Woodland Street. Garbage will be collected from a shared dumpster on the premises.

Water, sewer, and reclaimed utilities by the City of Winter Garden will be required for any new development of the property. At such time that the property is developed, all necessary utility lines will be extended and connections made, all extension and connection costs shall be borne by the property owner.

The City will provide garbage collection, police protection, and all other services regularly

provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

All concurrency requirements identified by the City of Winter Garden Code of Ordinances and Comprehensive Plan will be met by the proposed development.

APPROVAL CRITERIA

In accordance with the City's Comprehensive Plan and Land Development Regulations, a proposed planned unit development and its associated preliminary development plan may be approved only after competent, substantial evidence has been presented which allows the following determinations to be made: (staff conclusions/findings are underlined)

- (1) The proposed PUD is consistent with the land development regulations, comprehensive plan and the future land use map;

The proposed PUD is consistent with the City's land development regulations, comprehensive plan, and the future land use map. See other portions of this report concerning consistency with the land development regulations. PUD Zoning is permitted with a Traditional Downtown (TD) Future Land Use Designation.

- (2) The proposed PUD will not substantially devalue or prevent reasonable use and enjoyment of the adjacent properties;

The proposed PUD project will not deprive or prevent adjacent property owners of any rights or abilities to enjoy or continue existing uses of their property or to develop their property in accordance with the City's land development regulations and comprehensive plan goals, objectives, and policies. Further, in accordance with land development regulations and the comprehensive plan, where appropriate, the proposed PUD will provide for adequate buffering against adjoining properties and rights-of-way in the form of either landscaping to create a visual screen and/or perimeter walls/fencing. The site is located within the City's Historic Downtown District, where higher densities are permitted and connectivity is emphasized. The residential property to the east is already buffered from the subject property with an existing 6' tall masonry wall, and the properties to the north are zoned for commercial uses. The City has worked closely with the applicant to implement changes to the proposal that ensure the development is not negatively impacting the residential properties to the south. These changes included reducing the height of a large section of the building along E Smith Street from three stories to two stories, eliminating a proposed vehicular access point along E Smith Street, and reducing the width of E Smith Street adjacent to the proposed development to increase the project's buffer width and decrease vehicular speeds.

- (3) Adequate public infrastructure facilities and water and sewer service to support the development of the proposed PUD are available or an agreement or binding conditions have been established that will provide these facilities, improvements and services in a reasonable time frame;

The existing potable water flow pressure of the City's utility system within the surrounding area is sufficient to support the development of the subject property. The property was previously a water and sewer customer of the City of Winter Garden; utility lines are available in the area to connect to the new development. At such time that the property is developed, additional utility connections may need to be made to

serve the new apartment buildings. All extension and connection costs shall be borne by the property owner.

Prior to any board approvals, a Developer's Agreement detailing the obligations of the developer associated with the proposed PUD may be required. The requirement for a Developer's Agreement will be determined during the Final Engineering review.

- (4) The proposed PUD will not allow a type or intensity of development that is premature or presently out of character in relationship to the surrounding area;

The proposed PUD project is consistent with the comprehensive plan's goals, objectives and policies for the Traditional Downtown future land use designation; the PUD zoning criteria; and the City's land development regulations. The proposed PUD project features a gross residential density of +/- 35.5 dwelling units per acre which is lower than the maximum permitted density of up to 50 dwelling units per acre permitted within the Traditional Downtown future land use designation.

The proposed PUD is not premature or presently out of character in relationship to the surrounding area. The subject property is located on the northeast corner of E Smith Street and Main Street, which is a prominent gateway site to the Downtown District from the south and east from Dillard Street. The Winter Garden downtown district features a range of uses commercial, residential, institutional, mixed-use, etc. – all of which are located within close proximity to each other. Furthermore, there are residential and commercial developments within the surrounding area which have similar density and/or intensity than the proposed PUD project. The most recent project of this type to be completed is the Tremaine Boyd development, located a block away from the subject property at the corner of Tremaine Street and S Boyd Street. This project included a three-story building with 22 upper-story apartment units as well as +/- 10,000 square feet of commercial space on the first floor on a 0.57 acre parcel, making the gross residential density and floor area ratio higher than the proposed project.

- (5) The rezoning will not interfere with an adjacent property owner's reasonable expectation of use or enjoyment; and

In accordance with the City's comprehensive plan, the zoning designations permitted within the Traditional Downtown future land use designation include Planned Unit Development. Further, in accordance with land development regulations and the comprehensive plan, where appropriate, the proposed PUD will provide for adequate buffering against adjoining properties and rights-of-way in the form of either landscaping to create a visual screen and/or perimeter walls/fencing. The site is located adjacent to the City's Historic Downtown District, where higher densities are permitted and connectivity is emphasized; the new development should not interfere with the adjacent property owner's reasonable expectation of use or enjoyment for the reasons detailed in this Staff Report.

- (6) There is availability and adequacy of primary streets and thoroughfares to support traffic to be generated within the proposed PUD and the surrounding area, or an agreement or binding conditions have been established that will provide such transportation facilities to support said traffic in a reasonable time frame.

The adjacent streets have sufficient capacity to support the traffic generated by 38 new multifamily units. In order to minimize potential impacts from traffic and other car-related impacts such as vehicular headlights, the property will only have one access

point, located along S Woodland Street. The developer will also provide pedestrian connections to the development along S Main Street and E Smith Street as well and design internal pedestrian pathways to accommodate increased pedestrian traffic. Furthermore, the location of the development in close proximity to the myriad activities and destinations downtown is anticipated to result in a comparatively lower number of vehicular trips. Parking will be provided on site, with enough capacity to provide at least 1 parking space per bedroom (54 spaces for 28 one bedroom and 10 two bedroom units). Some guest parking can be accommodated on site or within shared downtown parking facilities such as street parking along S Main Street.

- (7) The degree of departure or conformity of the proposed PUD with surrounding areas in terms of character and density.

The proposed PUD project is consistent with the comprehensive plan's goals, objectives and policies for the Traditional Downtown future land use designation, the PUD zoning criteria, and land development regulations. As stated above, the proposed PUD features a gross density of +/- 35.5 dwelling units per acre, which is lower than the maximum density of 50 dwelling units per acre permitted within the Traditional Downtown future land use designation.

- (8) Compatibility of uses and improvements within the PUD and the relationship with surrounding existing or proposed developments.

The proposed PUD project integrates several elements that provide for cohesion between existing and proposed uses surrounding the property. The project includes construction of pedestrian connections to adjacent streets to enhance pedestrian circulation in the area. Several pedestrian amenities will be installed that will be beneficial to both the development and the larger community such as two street-oriented fountain features, benches, landscaping, and other community-oriented amenities. The project will also include the preservation of open space areas in accordance with City Code requirements for common open space. Overall, the PUD features a traditional downtown use that is consistent with the vibrant, mixed-use character of Winter Garden's downtown district. The project is located in close proximity to the Plant Street Market, Tremaine Boyd building, SOBO art gallery, several professional office buildings, as well as single-family and multi-family residences.

- (9) Prevention of erosion and degrading or enhancement of the surrounding areas.

The proposed PUD project will not erode or degrade the environmental quality of the surrounding area. To the greatest extent possible, stormwater management features will be designed as landscape amenities. Proper erosion and sedimentation control measures will be taken during the construction process.

- (10) Provision for recreation facilities, surface drainage, flood control and soil conservation as shown in the preliminary development plan.

The PUD must comply with the open space and recreation requirements of City Code for residential developments. If the project is deficient, they will be required to pay into the City's recreation fund to compensate for the required recreation and/or open area that is unable to be located on site. The amount that the developer will have to contribute to the fund is based on the fair market value of the land that would have otherwise been dedicated to recreation or open space uses.

Stormwater management for the proposed PUD project will be provided in on-site or off-site stormwater management areas to satisfy the City of Winter Garden, St. John's Water Management District and strict requirements of the Wekiva Study Area criteria.

- (11) The nature, intent and compatibility of any common open space, including the proposed method for the maintenance and conservation of the common open space.

The proposed PUD project must comply with the City's requirements for open space. The development includes a 2,693 +/- square foot shared internal courtyard with recreation amenities such as lounge seating, fountain, and an outdoor (summer) kitchen. There is also 6,129 +/- square feet of pervious area as well as pedestrian-oriented courtyard spaces adjacent to the public sidewalks. The open spaces will be owned and maintained by the property owner.

- (12) The feasibility and compatibility of the specified stage(s) or phase(s) contained in the preliminary development plan to exist as an independent development.

The PUD is anticipated to be built in one phase. However, if the developer decides to phase the project, each phase of development of the proposed PUD project must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.

- (13) The availability of existing or planned reclaimed water service to support the proposed PUD.

Reclaimed water capacity is not currently available to serve the property on which the PUD is proposed to be developed. The project must make provisions for connecting to reclaimed lines when they become available in the future. All required utility lines will be connected to serve the development, and all connection costs shall be borne by the property owner.

- (14) The benefits within the proposed PUD development and to the general public to justify the requested departure from standard land use requirements inherent in a PUD classification.

The proposed PUD includes the requirement that the architecture meet a certain level of design and material quality, and also be consistent with the architectural traditions of downtown Winter Garden as well as exhibit aesthetic harmony with surrounding properties. The project will provide much-needed residential space to the downtown district, increasing the diversity of housing types. The apartments will provide dwelling options that emphasize walkability and pedestrian activity, which will help create a more vibrant downtown.

- (15) The conformity and compatibility of the proposed common open space, residential and/or nonresidential uses within the proposed PUD.

As stated previously, the proposed PUD project must comply with the City's requirements for open space or pay into the City's recreation fund to account for any deficits. The residential use will exist harmoniously within the context of the Winter Garden downtown district. There is only one proposed nonresidential use proposed for the project: a small café on the southwest corner. This use is compatible with other existing uses in historic downtown.

- (16) Architectural characteristics of proposed residential and/or nonresidential development.

A variety of architectural requirements have been incorporated into the building design standards for the proposed PUD including requirements for architectural character, varying building massing, roof treatments, building projections and recesses, entryways and arcades, building articulation and theming, walls, and signage. The subject property is in the Historic District, thus the architecture was required to be consistent and compatible with the building styles traditionally found in the Historic Downtown District in order to be approved by the City's Architectural Review and Historic Preservation Board (ARHPB). The proposed project received ARHPB approval on September 17, 2019.

(17) A listing of the specific types of nonresidential uses to be allowed.

The proposed PUD includes one nonresidential use: a proposed café on first floor of the southeast corner of the building. No other nonresidential uses are proposed.

COMMUNITY MEETING

A Community Meeting to discuss the proposed project was held on the evening of October 30, 2019 in the City Commission Chambers. At the meeting, there were multiple questions posed to the developer and City Staff about the project. Adjacent property owners were curious about the proposed buffering and landscaping along the perimeters of the site. Several residents asked if any of the existing trees would be retained – and the developer said every effort would be made to retain some of the trees on site, with the City adding that additional on and off-site mitigation may be required to ensure the City's overall tree canopy is not diminished. Questions were also asked about parking, traffic, lighting, and other miscellaneous details about the project.

One nearby resident had several concerns about various aspects of the project including the trees, the potential for car headlights to shine into the windows of adjacent residential homes, and the overall massing and style of the building being compatible with the surrounding properties. After the meeting concluded, Staff continued to work to address these concerns with the applicant, which included eliminating a driveway off of W Smith St to eliminate headlight impacts, and reducing the building height along W Smith St from three stories to two stories along the majority of the road frontage to be more in line with the heights of existing residential properties to the south. In terms of the architectural style of the building, the project previously received approval from the City's Architectural Review and Historic Preservation Board on September 17, 2019, where City Staff presented examples of how the proposed Mediterranean Revival style of the building is consistent with the historic architectural traditions of Winter Garden.

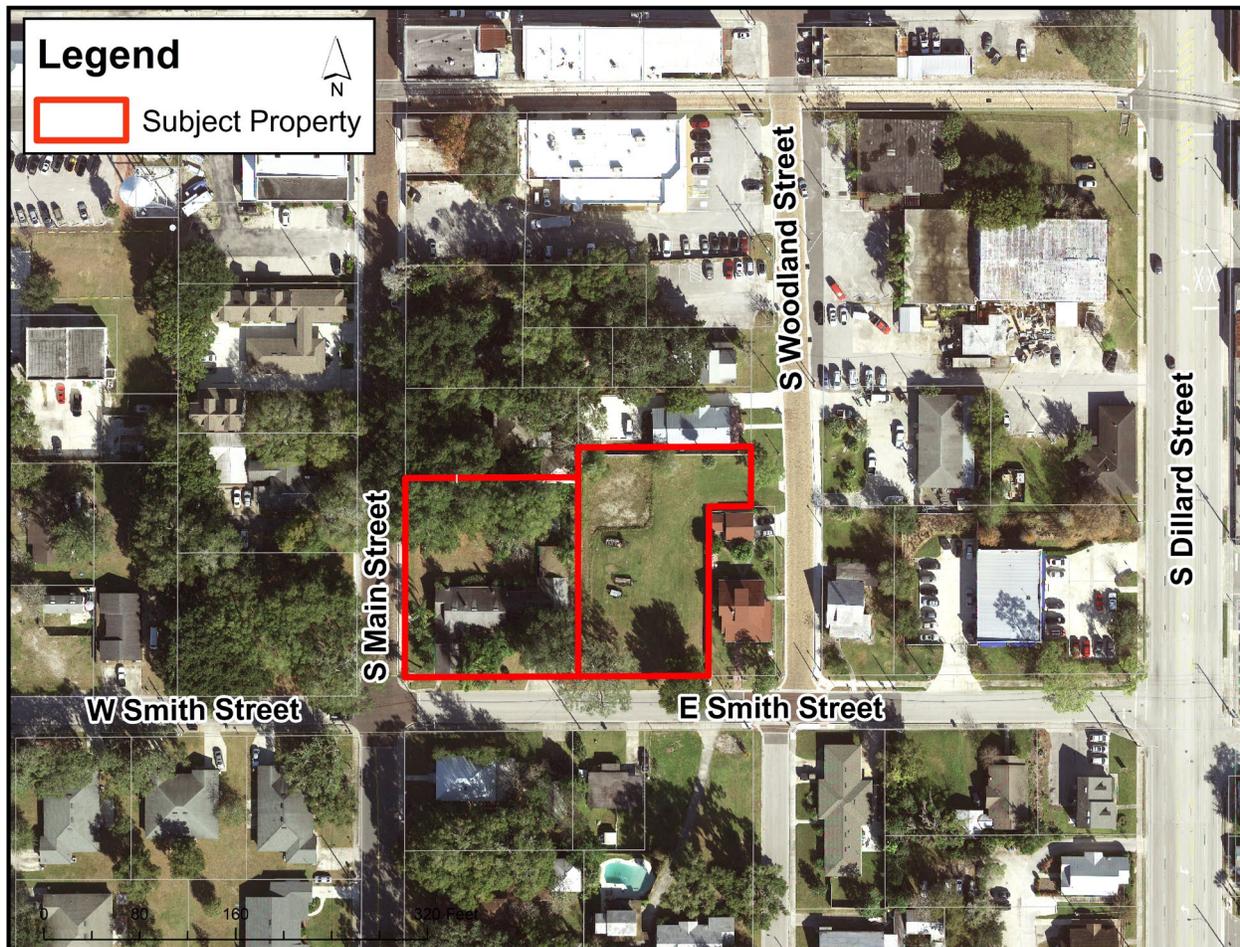
SUMMARY

The proposed development is a reasonable use of the land. The proposed development is consistent with the mixed commercial and residential development in the area. The design of the building is consistent with the Historic District design guidelines and architectural requirements. There will be numerous pedestrian-oriented design features including two street-oriented fountain features, benches, landscaping, and other community-oriented amenities. The project will not generate a significant increase in traffic volume beyond that which is currently generated by other developments in the area. This type of development is consistent with other mixed-use developments that exist in Historic Downtown.

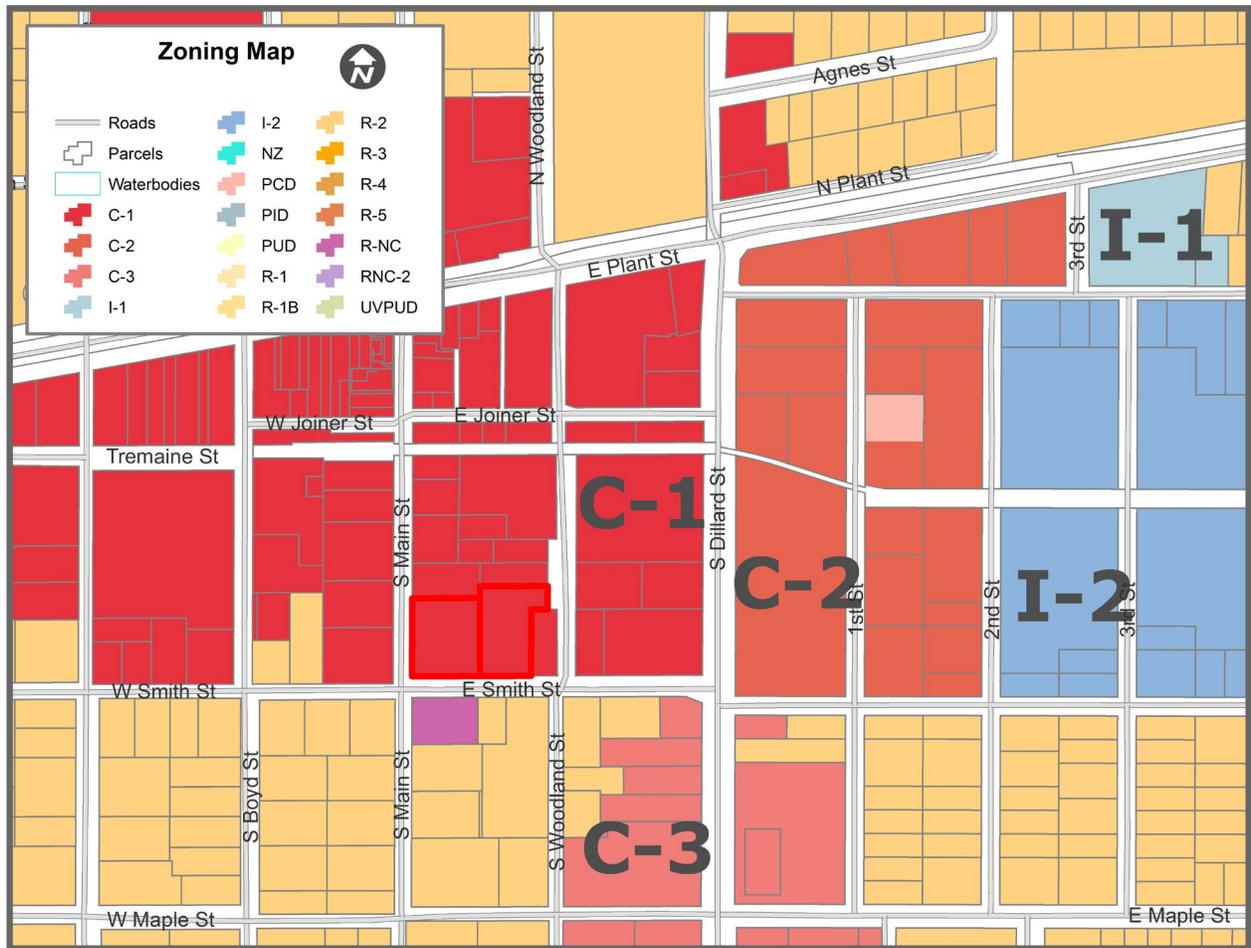
Staff has coordinated with the applicant to ensure that the development of the property will be consistent with the Historic Downtown District in terms of the building architecture, site design, and permitted uses.

The proposed rezoning from C-1 to PUD is consistent with the City’s Comprehensive Plan and the City of Winter Garden’s Code of Ordinances. Staff recommends approval of the proposed Ordinance to rezone the subject property from C-1 to PUD subject to the conditions outlined in Ordinance 20-19.

AERIAL PHOTO
199 S Main Street & 158 S Woodland Street

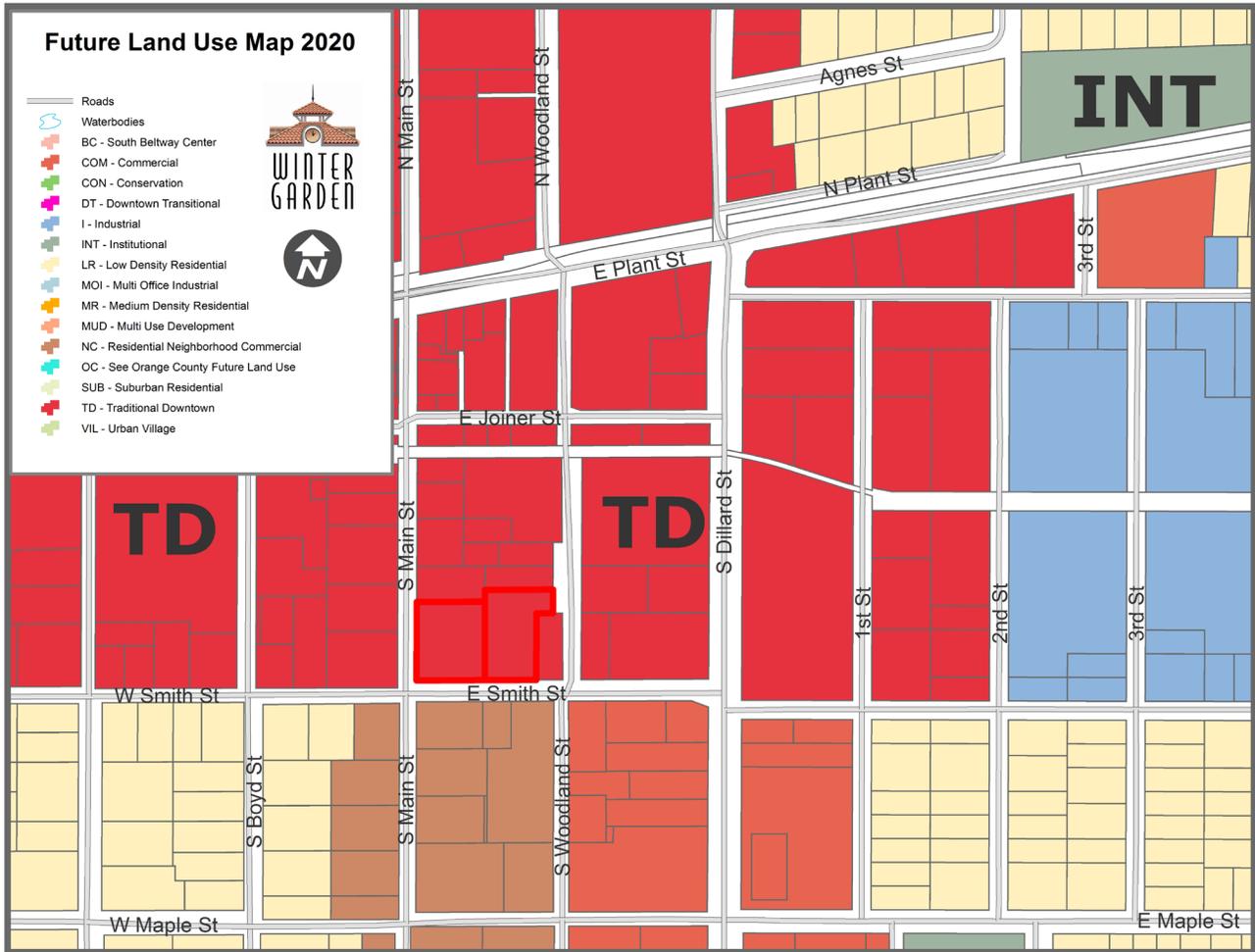


ZONING MAP
199 S Main Street & 158 S Woodland Street



**Change from
C-1 to PUD**

FUTURE LAND USE MAP
199 S Main Street & 158 S Woodland Street



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: October 15, 2020 **Meeting Date:** October 22, 2020

Subject: 1001 W Plant Street
A Found Life PUD
Ordinance 20-37
PARCEL ID # 22-22-27-0000-00-009 & 22-22-27-0000-00-146

Issue: The applicant is requesting to rezone the property located at 1001 W Plant Street from R-2 (Residential District) to PUD (Planned Unit Development).

Discussion: The applicant has requested to rezone the 15.83 ± acre property, generally located on the north side of West Plant Street and west of Lakeview Road, from R-2 (Residential District) to PUD (Planned Unit Development). The PUD will allow the development of a 60 bed Assisted Living Facility (ALF). The project also includes associated site improvements such as parking, open space, and stormwater ponds (See Staff Report). This PUD proposal has plans for expanding the Church with associated uses such as a Gymnasium, however the Church has requested to be removed from the PUD proposal. Staff will require the applicant to update the PUD Site Plan removing the Church expansion and associated uses. The second reading and adoption of the proposed Ordinance will only have the ALF as the allowed use. The proposed rezoning is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances.

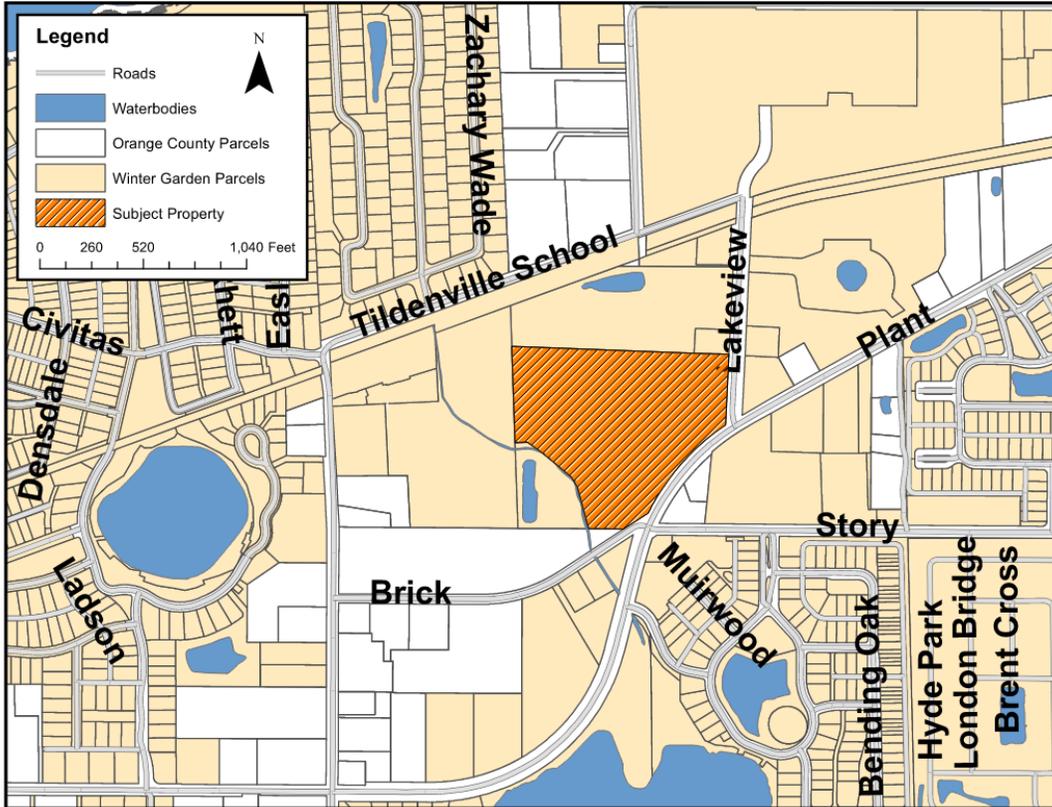
Recommended Action: Staff recommends approval of Ordinance 20-37, with the second reading and adoption anticipated to be on November 12, 2020.

Attachment(s)/References:
Location Map
Staff Report
Ordinance 20-37

LOCATION MAP

1001 W Plant Street

Rezoning



ORDINANCE 20-37

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 15.83 ± ACRES OF CERTAIN REAL PROPERTY GENERALLY LOCATED ON WEST PLANT STREET, WEST OF LAKEVIEW ROAD AND SOUTH OF TILDENVILLE SCHOOL ROAD, FROM R-2 (RESIDENTIAL DISTRICT) TO PUD (PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE A FOUND LIFE PUD; PROVIDING FOR NON-SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner(s) of real property generally described as approximately 15.83 ± acres of certain real property generally located on West Plant Street, West of Lakeview Road and East and South of Tildenville School Road in Winter Garden, Florida, being more particularly described on Exhibit “A” attached hereto and incorporated herein by this reference (the “Property”), desire to rezone their property from R-2 to PUD;

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the land development regulations of the City of Winter Garden Code of Ordinances;

WHEREAS, based on competent substantial evidence in the record, the requested rezoning set forth in this Ordinance meets all applicable criteria specified in the City of Winter Garden Comprehensive Plan and the Code of Ordinances.

NOW THEREFORE, BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. After due notice and public hearing, the zoning classification of the Property, as described in Exhibit “A” attached hereto, is hereby rezoned from R-2 (Residential District) to PUD (Planned Unit Development) in the City of Winter Garden, Florida subject to the following conditions, provisions and restrictions:

- a. **Conceptual Plan-** All development on the Property must substantially conform to the requirements identified in the A Found Life PUD Plan attached hereto as Exhibit “B.” Should any conflict be found between this Ordinance and the A Found Life PUD Plan attached hereto as Exhibit “B”, then the standards and conditions established by this Ordinance shall control.
- b. **Zoning-** Due to the nature of the permitted uses set forth in this Ordinance, the following sections of Article V, Division 2 of the City Code of Ordinances

regarding Residential Planned Unit Developments shall not apply to the Property: section 118-860, section 118-921, section 118-923, section 118-925, and section 118-927. Unless specifically noted elsewhere in Exhibit “B” attached hereto, or expressly provided for herein, all development on the Property must comply with the general zoning requirements of the Residential Planned Unit Development zoning district. These requirements include any approval procedure of the Residential Planned Unit Development zoning district.

c. Permitted Uses- With respect to the A Found Life PUD area as identified in Exhibit “B” attached hereto, the only permitted use shall be an Assisted Living Facility, Church, and Gymnasium.

d. Prohibited Uses- Unless specifically identified by this Ordinance as a permitted use, all other uses are prohibited. Without limiting the foregoing, all uses prohibited by Section 118-858(5), City of Winter Garden Code of Ordinances are prohibited on the Property.

e. Design Criteria/Architectural Standards-

1. Maximum Building Length- Notwithstanding Section 118-925 of the City Code of Ordinances, the maximum length of the Assisted Living Facility building shall be 285 feet as shown in the A Found Life PUD area as identified in Exhibit “B”.

2. Maximum Building Height-

With respect to the A Found Life PUD Area as identified in Exhibit “B” attached hereto, maximum building height shall not exceed two stories (35 feet), and architectural features (church steeple elements) shall not exceed 45 feet.

3. Building Elevations-

The “Gymnasium” shown in Exhibit “B” of this Ordinance is not a final and approved elevation. The elevation provided will be used as a guiding document for future development, all final elevations will be subject to staff review and approval during the Site Plan Approval process.

The expansion of the church building and any proposed elevations will be reviewed at the Site Plan Approval process as well. All proposed elevations must show cohesive design elements that align with the surrounding buildings and residential character of the area.

4. Outdoor/Indoor Recreation Area –

The outdoor recreation area shall be designed to be consistent with the architecture of the main buildings or to complement the architecture of the buildings. The outdoor area will provide residents of the Assisted Living Facility access to gardens and a trail around the pond. The Gymnasium and tot lot will provide recreation and gathering areas for the church.

5. Signage- All signage proposed for the Property shall conform to the requirements and regulations pertaining to specified commercial corridors within the City of Winter Garden as defined in Chapter 118, Article X, Division 2 of the City of Winter Garden Code of Ordinances. The signage shall be reviewed at time of Site Plan Review.

6. Impervious Surface Area Ratio- The maximum impervious surface area ratio for the Property (not including the wet pond surface area) shall be consistent with the overall maximum impervious surface area ratio that the Planned Unit Development is designated and permitted for by Saint John’s River Water Management District.

7. Common Open Space-

The minimum common open space provided for the Property shall be 20%. For the purposes of this Ordinance the area identified as “open space” on Exhibit “B” and some retention areas may be considered as contribution toward fulfillment of open space requirements.

Specifically, dry retention may contribute to the fulfillment of the common open space requirement, and wet bottom retention areas may partially contribute to fulfilling open space requirements. Additionally, pervious surfaces, unless specifically identified below, may be calculated as common open space for the Property; however the following will not be considered as contributing to the common open space requirement for the Property:

- Any impervious surface as defined in Chapter 106 of the City Code of Ordinances.
- Parking Areas
- Road rights-of-way
- Required minimum yards & building spacing

8. Dark Skies- all exterior lighting shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles. Exterior lighting shall be designed as dark skies lighting in a

consistent and coordinated manner for the entire project in compliance with the requirements of Chapter 118, Article X, Division 4 of the City Code of Ordinances.

- f. **Delivery Hours-** No deliveries shall occur between the hours of 7:00pm and 7:00am.

- g. **Staff Conditions-** All development on the Property must comply with the following staff conditions:
 - 1. An engineered site plan meeting all requirements of the City Code of Ordinances shall be submitted for review and approval by City staff and City Commission prior to commencement of any construction.
 - 2. All utilities required for the development shall be run to the site at the developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all water and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.
 - 3. All irrigation on the site shall be designed to be supplied by reclaimed water. An exception may be granted for the enclosed courtyards to use potable water and will be considered at final site plan review.
 - 4. There exists a +20' wide drainage easement along the west side of the property that has been shown (as recorded in O.R. Book 5576, pages 4588-4593 of the Public Records of Orange County, FL). No improvements (buildings, pavement, etc.) shall be constructed within this easement without specific approval from the City Engineer (to ensure maintenance capabilities of the open drainage ditch).
 - 5. Platting will be required providing easements for cross access, drainage and utilities, as well as providing an entity for maintenance of shared facilities. Plat shall be recorded prior to issuance of a certificate of occupancy of any building and shall include any and all R/W, lift station, or other fee simple conveyances to the City.
 - 6. The new east-west road alignment shown shall be constructed by the development as part of the platting process, including dedication of right-of-way (50' minimum) per Code. Prior to the issuance of any certificate of occupancy, the Owner/Developer shall convey to the City via special warranty deed fee simple ownership of the right-of-way free and clear of all mortgages, liens and encumbrances. Prior to conveyance, Owner/Developer shall obtain and provide to the City for review, a property information report from a title company (or

attorney title opinion) and licensed surveyor prepared sketch and legal description and boundary survey for the right-of-way land being conveyed showing the ownership and all mortgages, easements and encumbrances. Owner/Developer shall be responsible for paying all documentary stamp taxes, recording fees and all pro-rated taxes and special assessments to the date of the conveyance of the right-of-way as required by general law. To the extent applicable, Owner/Developer shall comply with the beneficial interest disclosure requirements of Section 286.23, Fla. Stat.

7. The typical roadway section shall be per City Standards: Right-of-way width shall be a minimum of 50 feet with minimum roadway pavement width of 24' as required by City Code (12' minimum each lane); 16' minimum lane width for any divided portion (additional width may be required if parking is allowed); 18" of clean fill with no more than 5% passing a #200 sieve required under the 12" thick stabilized subbase; 98% density required on all compaction; 2" minimum asphalt thickness; 10" minimum soil cement or crushed concrete base thickness (no limerock); 6" underdrains each side; minimum 24" wide concrete curb and gutter required (or Miami curb); 5' wide concrete sidewalks required on both sides of street; minimum 10' wide drainage, utility and sidewalk encroachment easements required adjacent to all rights-of-way. All construction shall meet City of Winter Garden requirements for drainage, roadways and utilities (see City Standard Details available on-line at cwgdh.com).
8. Landscaping shall not encroach on required sight lines at intersections or driveways. Design Engineer shall provide certification with final construction plans that sight distance requirements are being met.
9. No trees shall be planted over or within 5 feet of any utility lines. Only sod or shrubs may be planted over utility lines.
10. Tree Removal Permit issued by the City of Winter Garden Building Department will be required prior to final plan approval. As required by Code (Sec. 114-70), submittal of the Tree Removal Permit application is required with the preliminary plat submittal. Coordinate with Building Department (Steve Pash).
11. Minimum 5' wide concrete sidewalks shall be constructed along all street frontages pursuant to Code. Any damaged, broken or cracked sections (including existing curbs and pavement) shall be replaced prior to issuance of certificate of occupancy. Internal sidewalks shall connect to the public sidewalks in the right-of-way per ADA.

12. All dumpsters shall be enclosed and shall provide 12' minimum inside clearance each way. Approval from Public Services Solid Waste Division is required.
13. No conceptual utility plans have been provided. This will be reviewed and commented on further at the preliminary plat and final construction plan phases (i.e. lift station, connection points, line sizes, etc.).
14. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. Final plans shall detail all connections including fire protection, reuse water and domestic water supply. All irrigation on the site shall be designed to be supplied by reclaimed water when available and shall be served by a jumper to potable water until that time. The plan does not show irrigation of the sites or common areas. It should also be noted that the buildings over 6,000 s.f will require fire sprinklers subject to review and approval by the Building and Fire Departments.
15. 100% of the water/sewer impact fees shall be paid prior to site or building permit issuance or execution of FDEP permit applications by the City. Gravity sanitary laterals and pipes shall be SDR 26 per City standards. Use City Standard Detail Sheets for utilities and public works. All on-site utilities shall be privately owned and maintained.
16. A lift station will be required to serve multiple owners and connect to the force main on Plant Street or Lakeview Road. The lift station shall be owned and maintained by the City and will be installed per City Standards. A minimum 30'x30' fee simple tract will be required.
17. All utilities shall conform to Chapter 78 of the City Code. Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all required water, irrigation and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.
18. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others, including by way of any

development order or permit issued. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City shall not be responsible and any corrective measures required will be the responsibility of the Owner/Developer. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

19. Geotechnical and environmental reports were submitted and will be reviewed further as design continues.
20. Streetlighting both internally and on all street frontages is required pursuant to City Code – dark skies lighting is required.
21. Permits or exemptions shall be provided from SJRWMD for stormwater and FDEP for water, wastewater and NPDES NOI.
22. Fire sprinkler systems will be required on all buildings over 6,000 s.f. with Point of Service (POS), backflow prevention, etc. shown. All work downstream of the POS shall be performed by a licensed fire sprinkler contractor. Show with final plans.
23. Any screen walls or retaining walls shall require a separate permit from the Building Department.
24. The use of Thermoplastic pipe shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe, laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).
25. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
26. All work shall conform to City of Winter Garden standards and specifications.
27. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and

maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.

28. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
29. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others, including by way of any development order or permit issued. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City shall not be responsible and any corrective measures required will be the responsibility of the Owner/Developer. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
30. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

SECTION 2: *General Requirements.*

- a. **Development Agreement-** A Development Agreement shall be drafted, approval obtained and recorded prior to approval of any site or building permits for the Property. The Development Agreement shall address matters to include, but not limited to, project phasing, right-of-way improvement and conveyance, easements, vehicular access to the site including connection to Lakeview Road, restriction of additional curb-cuts, provision for cross access, design standards, signage, impact fees, stormwater, drainage, utilities and other off-site public infrastructure improvements.

- b. **Stand Alone Clause-** Each phase of development of the Property must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.
- c. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- d. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- e. **Expiration/Extension-** Expiration of this PUD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION 3: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 4: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 5: Effective Date. This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

Exhibit "A"

Parcel ID: 22-22-27-0000-00-009 & 22-22-27-0000-00-146

Legal Description

A PORTION OF THE NORTHWEST 1/4 OF SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 22; THENCE RUN SOUTH 89°34'44" EAST ALONG THE SOUTH LINE OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 22 FOR A DISTANCE OF 143.58 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89°34'44" EAST ALONG SAID SOUTH LINE FOR A DISTANCE OF 161.11 FEET TO A POINT OF THE SOUTHWESTERLY BOUNDARY OF THE LAND DESCRIBED IN OFFICIAL RECORDS BOOK 3383, PAGE 1260 AS RECORDED IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE DEPARTING SAID SOUTH LINE RUN THE FOLLOWING FIVE (5) COURSES ALONG SAID SOUTHWESTERLY BOUNDARY: NORTH 14°57'26" WEST FOR A DISTANCE OF 218.14 FEET; NORTH 30°29'33" WEST FOR A DISTANCE OF 58.52 FEET; THENCE NORTH 49°51'44" WEST FOR A DISTANCE OF 190.85 FEET; THENCE NORTH 53°34'27" WEST FOR A DISTANCE OF 90.68 FEET; THENCE SOUTH 88°03'58" WEST FOR A DISTANCE OF 59.88 FEET TO A POINT ON THE WEST LINE OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 22, SAID POINT BEING 434.04 FEET NORTHERLY OF THE SOUTHWEST CORNER OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 22; THENCE RUN NORTH 02°31'34" WEST ALONG SAID WEST LINE FOR A DISTANCE OF 479.41 FEET TO THE NORTH BOUNDARY LINE OF THE LAND DESCRIBED IN SAID OFFICIAL RECORDS BOOK 3383, PAGE 1260; THENCE DEPARTING SAID WEST LINE, RUN SOUTH 87°47'32" EAST ALONG SAID NORTH BOUNDARY LINE FOR A DISTANCE OF 1093.33 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF LAKEVIEW ROAD; THENCE DEPARTING SAID NORTH LINE, RUN SOUTH 02°04'22" WEST ALONG SAID WESTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 337.27 FEET TO THE NORTHWESTERLY RIGHT-OF-WAY LINE OF PLANT STREET (SR 438), SAID POINT BEING ON A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 1040.00 FEET, THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE RUN SOUTHWESTERLY THROUGH A CENTRAL ANGLE OF 33°42'03" FOR AN ARC LENGTH OF 611.72 FEET, A CHORD BEARING OF SOUTH 41°38'01" WEST FOR A CHORD DISTANCE OF 602.94 FEET; THENCE RUN SOUTH 56°58'11" WEST FOR A DISTANCE OF 158.40 FEET TO THE POINT OF BEGINNING.

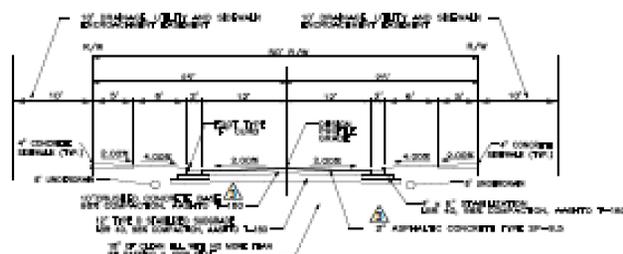
CONTAINING 15.83 ACRES, MORE OR LESS.

Exhibit "B"

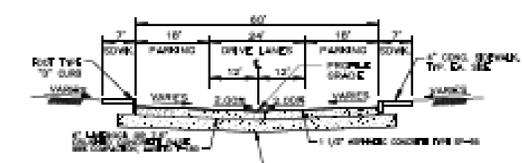
COVER PAGE

A Found Life PUD

(10 PAGES - ATTACHED)



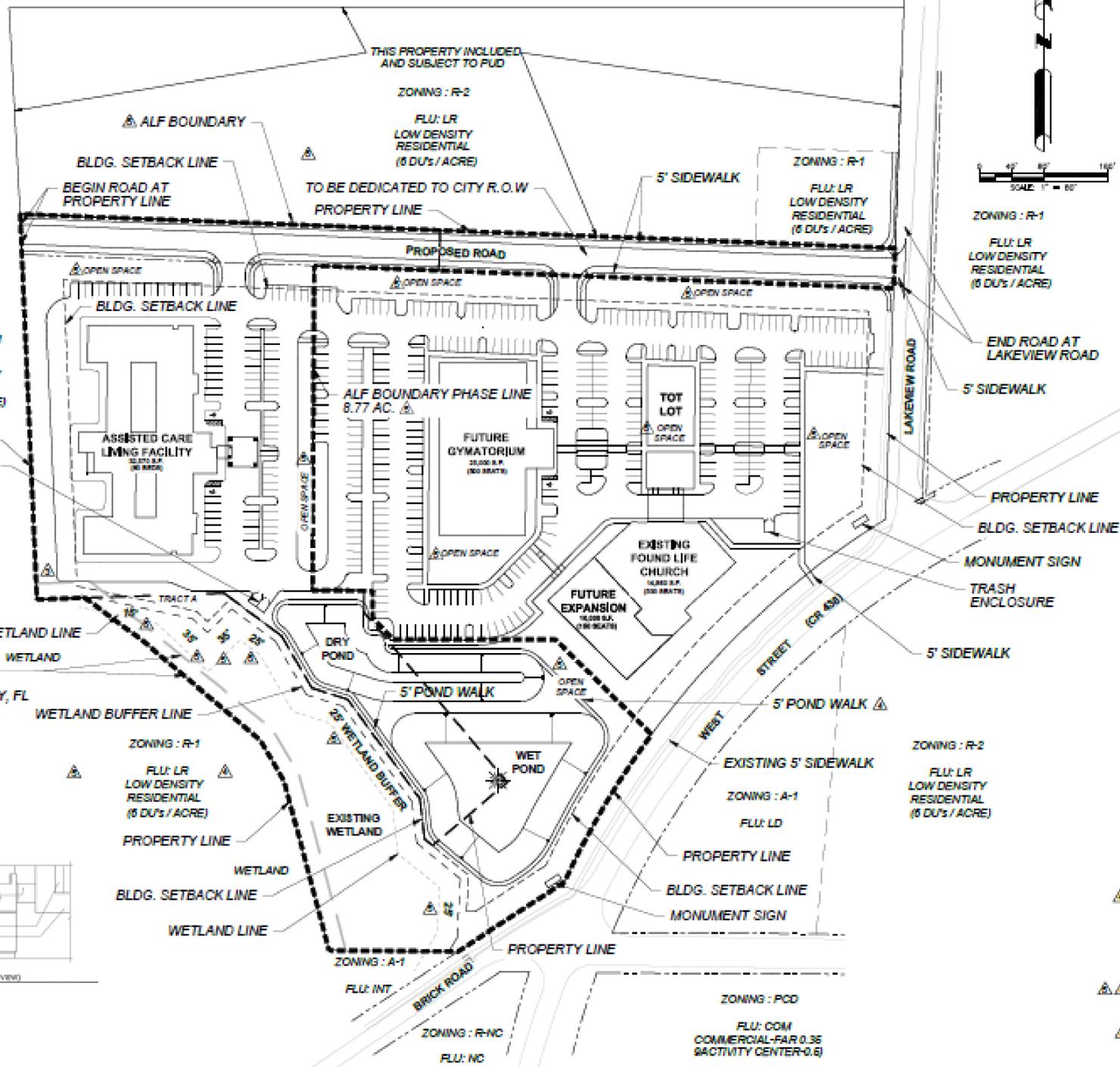
TYPICAL SECTION



TYPICAL STREET AND PARKING SECTION



LOCATION PLAN



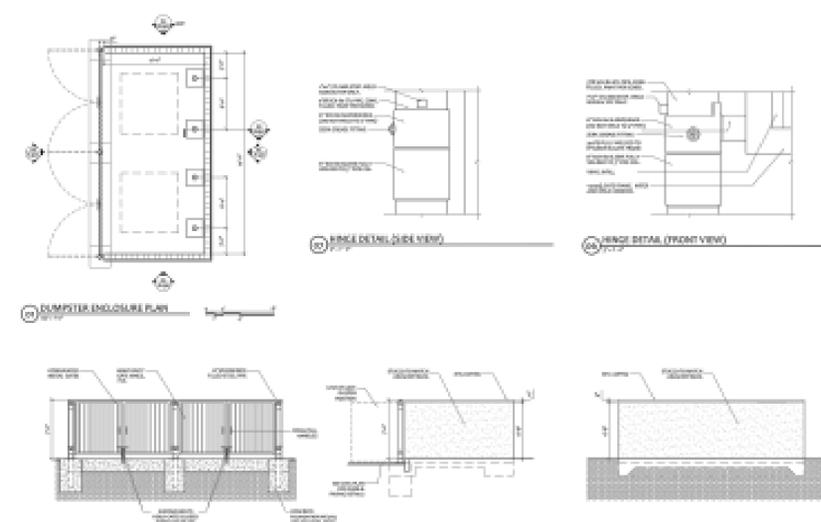
LEGAL DESCRIPTION

Commence at the SE corner of the SW 1/4 of the NW 1/4 of Section 22, Township 22 South, Range 27 East, Orange County Florida; Thence run due West along the South line of the SW 1/4 of the NW 1/4 of said Section 22, 143.58 feet to a point on the Northwesterly right of way line of Brick Road; Thence continue due West, 161.16 feet to the Point of Beginning; Thence run N 15° 21' 23" W, 218.14 feet; Thence run N 30° 53' 30" W, 58.52 feet; Thence run N 50° 15' 41" W, 190.85 feet; Thence run N 53° 58' 24" W, 90.68 feet; Thence run S 87° 40' 01" W, 59.88 feet to a point on the West line of the East 1/2 of the SW 1/4 of the NW 1/4 of said Section 22, said point being 434.04 feet Northerly of the SW corner of the East 1/2 of the SW 1/4 of the NW 1/4 of said Section 22; Thence run N 2° 55' 31" W along the West line of the East 1/2 of the SW 1/4 of the NW 1/4 of said Section 22; 479.41 feet; Thence run S 88° 11' 29" E, 1093.33 feet; Thence run S 1° 40' 25" W along the Westerly right of way line of Lakeview Road, 337.27 feet to a point on the Northwesterly right of way line of Old State Road No. 50; Thence run southwesterly along said Northwesterly right of way line and along a curve concave to the Southeast and having for its elements a radius of 1040 feet, a central angle of 33° 42' 03" and a chord bearing of S 41° 14' 12" W for an arc distance of 611.72 feet to a point on the Northwesterly right of way line of Brick Road; Thence run S 56° 34' 14" W along the Northwesterly right of way line, 158.32 feet to the Point of Beginning. Said Lands situate, lying and being in Orange County, Florida; and containing 15.883 Acres, more or less.

SITE DATA

EXISTING SITE ZONING	
EXISTING SITE ZONING IS R-2 FLU IS LR - LOW DENSITY RESIDENTIAL (8 DU/AC)	
PROPOSED SITE ZONING	
PROPOSED SITE ZONING IS PUD (PLANNED UNIT DEVELOPMENT)	
EXISTING SITE AREA	
TOTAL SITE AREA: 15.883 AC.	
PROPOSED PARKING	
ASSISTED CARE LIVING FACILITY: REQUIRED 1 space/2 beds (80 beds) = 30	PROVIDED = 85
GYMNASIUM: REQUIRED 1 space/3 seats (500 seats) = 167	PROVIDED = 100
FOUND LIFE CHURCH: REQUIRED 1 space/3 seats (550 seats) = 217	PROVIDED = 254
TOTAL PARKING SPACES	414 419
PROPOSED OPEN SPACE 6.54 AC.	
PROPOSED OPEN SPACE	
TOTAL OPEN SPACE: REQUIRED 25% = 3.97 AC.	PROVIDED = 6.54 AC. (16.5%)
PROPOSED ACTIVE RECREATION	
TOTAL RECREATION AREA: REQUIRED 5% = 0.80 AC.	PROVIDED = 0.80 AC. (5.04%) TOT LOT = 0.33 AC. POND WALK = 0.47 AC.

DUMPSTER DETAILS



PROPOSED PUD PLAN

1001 PLANT STREET
WINTER GARDEN, FLORIDA

JANUARY 2020
1"-80" WS-2

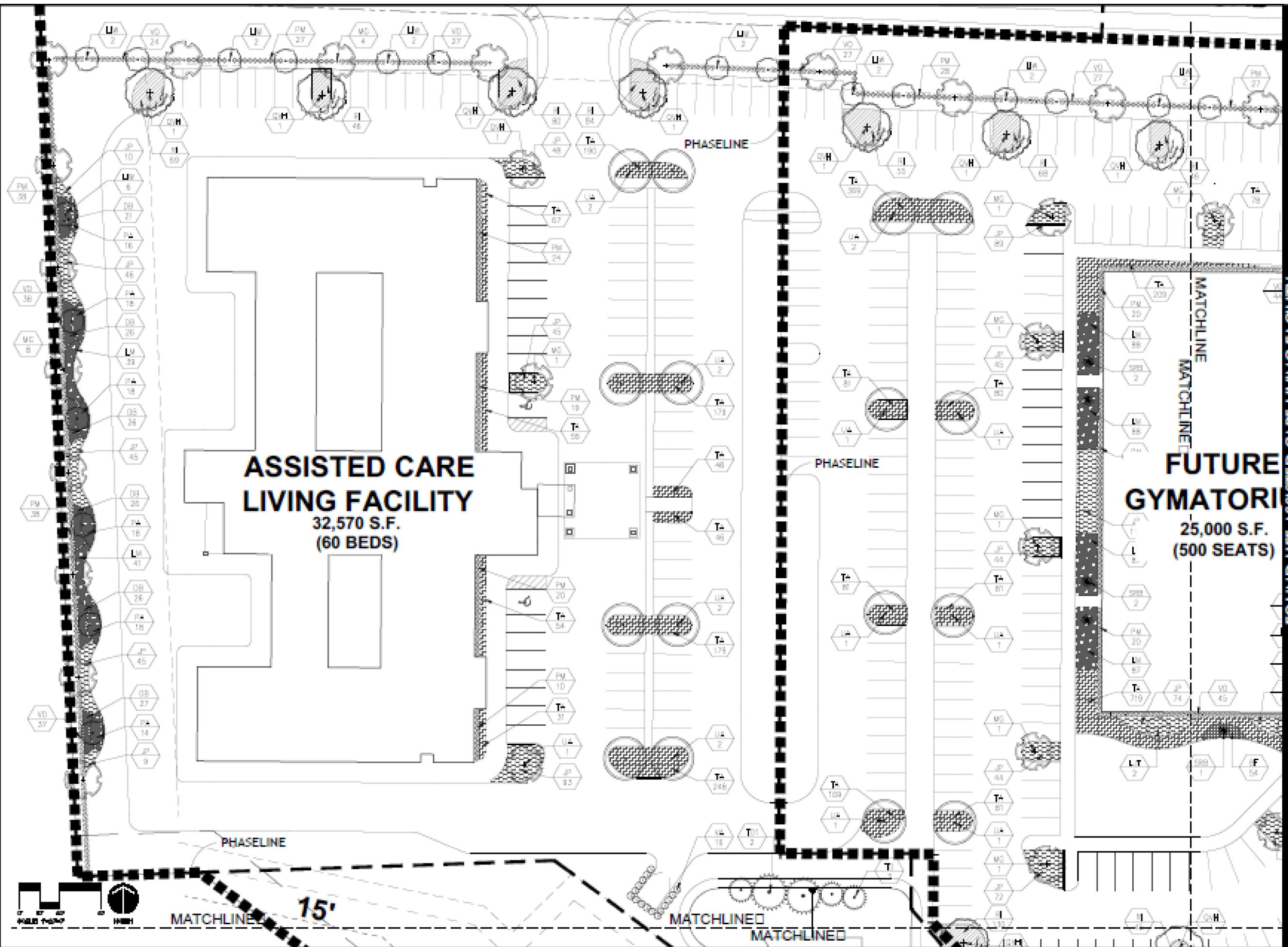
DSE
DAVE SCHMITT ENGINEERING, INC.
12301 Lake Underhill Road Suite 241
ORLANDO, FL 32828
407-207-9088 FAX 407-207-9089
Certification of Authorization #27471

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
09-01-2020	BC	REV. PER CITY COMMENTS			
07-15-2020	MGM	REV. PER CITY COMMENTS			
06-14-2020	SAM	REV. PER CITY COMMENTS			
03-11-2020	SAM	REV. PER CITY COMMENTS			
02-07-2020	DLS	REV. PER CITY COMMENTS			

DAVE M. SCHMITT
FLORIDA REG. NUMBER
48274

DATE:	
PROJECT NO.:	
DRAWN BY:	
CHECKED BY:	
SCALE:	
SHEET:	

P:\WSZ\CAD\Projects\PLUD\WS-2_1_PUD_EXHIBIT A.dwg, 9/15/2020 11:01:47 AM



FOUND LIFE ASSISTED CARE LIVING FACILITY

L-100

ASSISTED CARE LIVING FACILITY
32,570 S.F.
(60 BEDS)

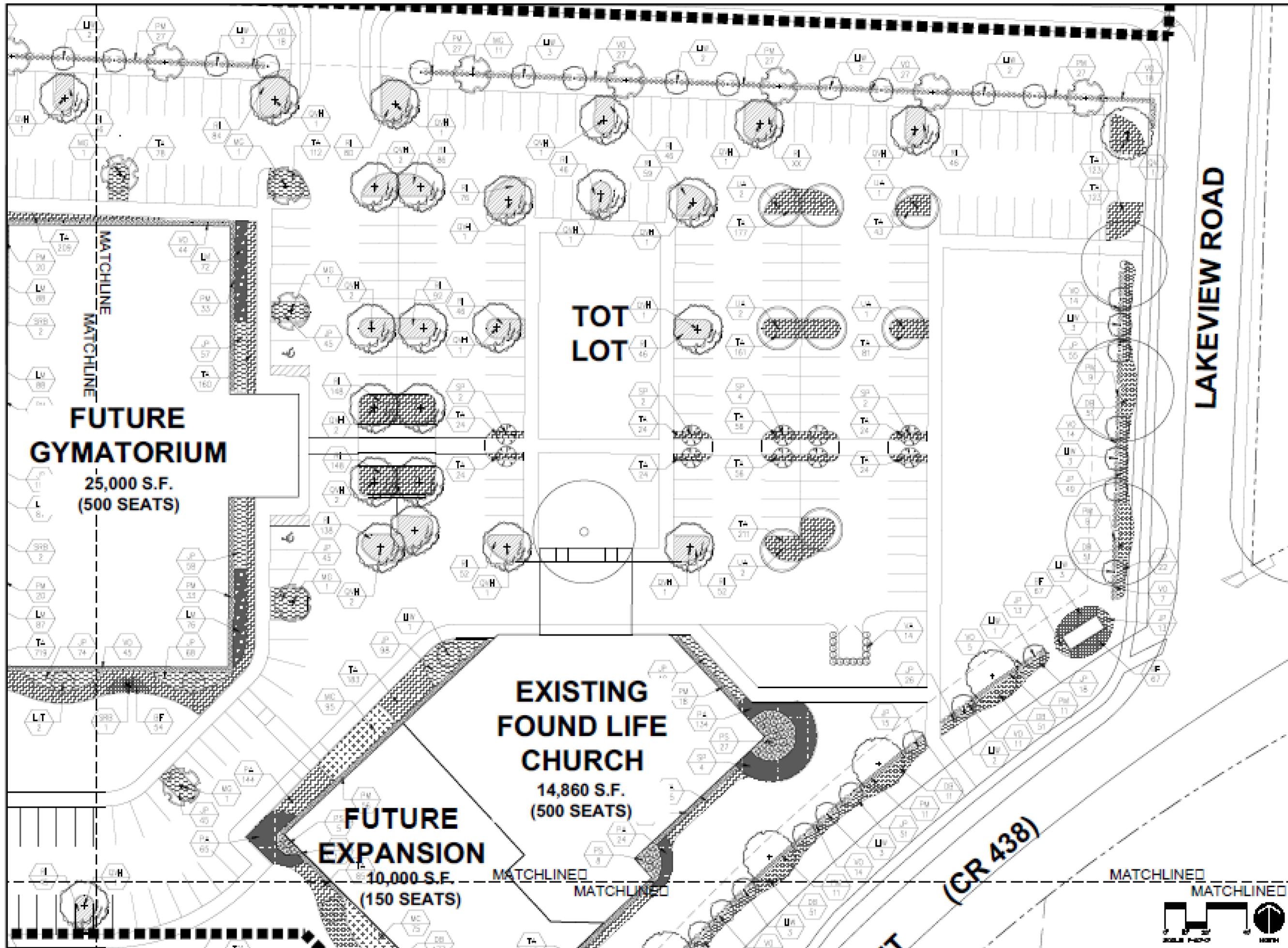
FUTURE GYMATORIUM
25,000 S.F.
(500 SEATS)

LANDSCAPE PLAN

NO.	DATE	DESCRIPTION	BY	CHECKED	DATE
1	10/15/2024	ISSUED FOR PERMIT	J. SMITH	M. JONES	10/15/2024
2	11/01/2024	REVISED PER COMMENTS	J. SMITH	M. JONES	11/01/2024
3	11/15/2024	REVISED PER COMMENTS	J. SMITH	M. JONES	11/15/2024
4	12/01/2024	REVISED PER COMMENTS	J. SMITH	M. JONES	12/01/2024
5	12/15/2024	REVISED PER COMMENTS	J. SMITH	M. JONES	12/15/2024

BB
BORNELLATI PARTNERS
LANDSCAPE ARCHITECTS
1000 W. 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.BORNELLATI.COM

SCALE: AS SHOWN
DATE: 11/15/2024
PROJECT: FOUND LIFE ASSISTED CARE LIVING FACILITY
SHEET: L-100



LAKEVIEW ROAD

(CR 438)

FOUND LIFE ASSISTED CARE LIVING FACILITY

<p>LANDSCAPE PLAN</p>	
<p>DATE: 11/15/2023</p>	<p>SCALE: 1/8" = 1'-0"</p>
<p>PROJECT: FOUND LIFE ASSISTED CARE LIVING FACILITY</p>	<p>CLIENT: FOUND LIFE ASSISTED CARE LIVING FACILITY</p>
<p>DESIGNER: [Name]</p>	<p>CHECKER: [Name]</p>
<p>DATE: 11/15/2023</p>	<p>SCALE: 1/8" = 1'-0"</p>



L-101

Gymnasium



DISCLAIMER
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12 DEC 2019

- North Adams, VA
FL: AEC-00000000000000000000
- Boulder Ledge, VA
FL: AEC-00000000000000000000
- Glenwood Canyon, VA
FL: AEC-00000000000000000000



ELEVEN18 ARCHITECTURE
 11111 11th Street
 Suite 100
 North Adams, VA 22643
 Phone: (540) 338-1111
 Fax: (540) 338-1112
 www.eleven18.com

PROJECT NAME
GOLDEN POND WINTER GARDEN
 Street Address
 City, State, Zip

PROJECT CLIENT
GOLDEN POND COMMUNITY
 Street Address
 City, State, Zip

ELEVEN18 PROJECT LEAD
 Name
 410-440-0000
 lead@eleven18.com

PROJECT TEAM
 Name, Name, Name

REVISIONS		
#	DATE	DESC.
1	12/12/19	PERMIT SUBMITTAL



FRONT ELEVATION



DISCLAIMER
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- Mark Adams, AIA
FL: REG-000000000000000000
- Brooke Leigh Cole, AIA
FL: REG-000000000000000000
- Elizabeth Gayle Cole, AIA
FL: REG-000000000000000000



ELEVEN 18 ARCHITECTS
 11000 Lake Nona Blvd.
 Suite 100
 Lake Nona, FL 32157
 Phone: 407.241.1111
 Website: eleven18.com

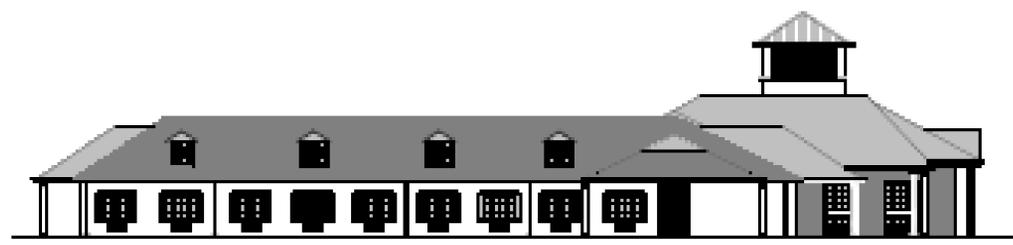
PROJECT NAME:
GOLDEN POND WINTER GARDEN
 Lakeview Rd,
 Winter Garden, FL 34787

PROJECT CLIENT:
WHITESTONE CONSTRUCTION

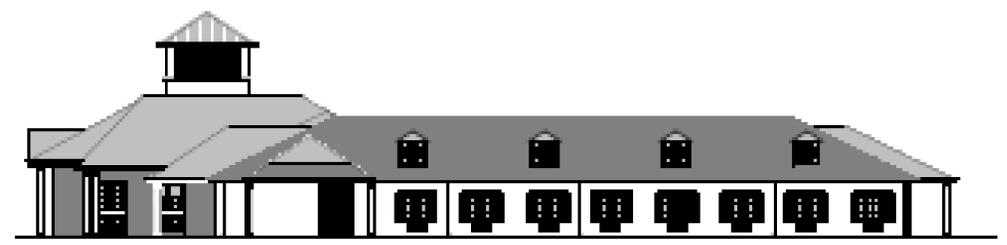
ELEVEN 18 PROJECT LEAD:
 Brandon King
 407.241.1111

PROJECT TEAM:

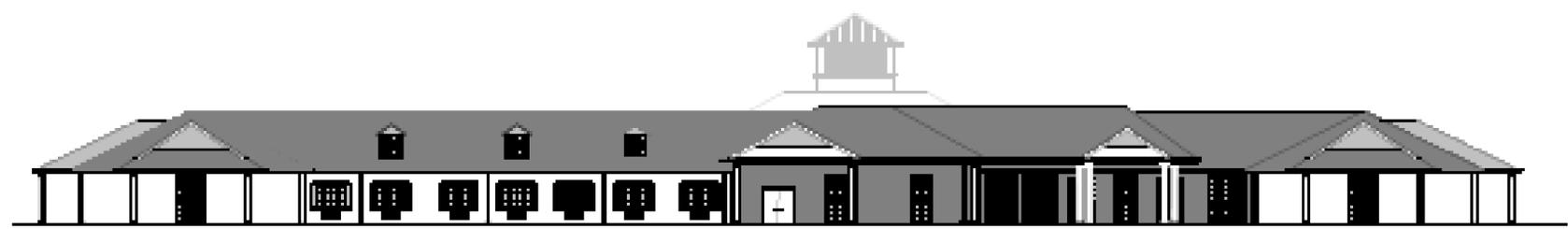
REVISIONS		
#	DATE	DESC.



04 SOUTH ELEVATION
 1/8" = 1'-0"



03 NORTH ELEVATION
 1/8" = 1'-0"



02 WEST ELEVATIONS
 1/8" = 1'-0"



01 EAST ELEVATIONS
 1/8" = 1'-0"



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

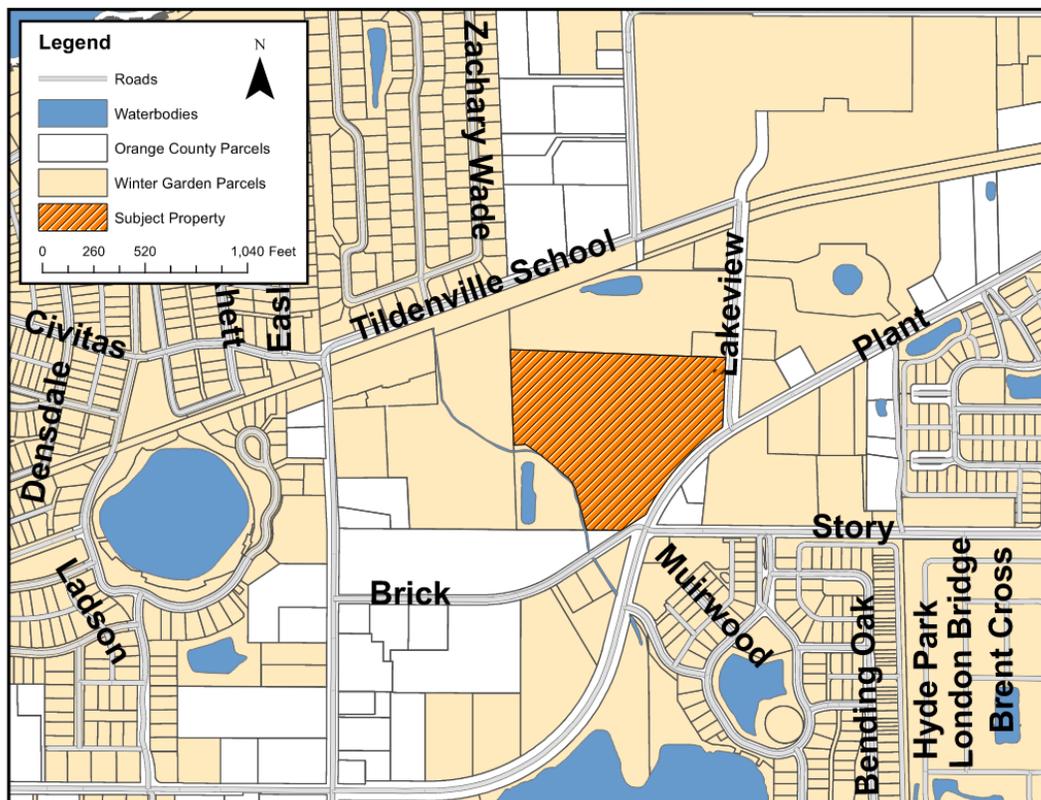
TO: PLANNING AND ZONING BOARD
PREPARED BY: SHANE FRIEDMAN, SENIOR PLANNER
DATE: September 25, 2020
SUBJECT: REZONING
1001 W Plant Street (15.83+/- ACRES)
PARCEL ID # 22-22-27-0000-00-009 & 22-22-27-0000-00-146

APPLICANT: Found Life Church, INC. // Whitestone Construction Group, LLC.

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located on the north side of West Plant Street and west of Lakeview Road and is approximately 15.83 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to rezone 15.83 ± acres of land to Planned Unit Development (PUD). The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation R-2 (Single-Family Residential District) in the City of Winter Garden. The subject property is designated Low Density Residential on the Future Land Use Map of the Comprehensive Plan.

EXISTING USE

The subject property is currently developed with a two-story church (14,860 sf), two accessory buildings and a mixture of grass and paved parking areas.

ADJACENT LAND USE AND ZONING

There are two properties to north that abut the subject property, one being developed with a single-family home (zoned R-1) and the other developed with five single-story assisted living facilities (zoned R-2). The properties located to the east are developed with single-family homes, are zoned R-1, and are located within the City. The property to the west is unimproved vacant non-agricultural acreage zoned R-1, and located in the City. The properties to the south are zoned A-1, located in Un-incorporated Orange County, and consist of Tildenville Elementary School and several lots developed with single-family homes. To the south of the subject property is also located New Hope Primitive Baptist Church, which is zoned R-2, and is located within the City. At the intersection of Plant Street and W Story Road, south of the subject property, is located an undeveloped commercial property, zoned PCD, and is within the City's municipal limits.

PROPOSED USE

The entire property was originally owned by the Found Life Church and they decided to partner with the developers of the Golden Pond Assisted Living Facility (ALF) north of the subject property to propose this Planned Unit Development (PUD) project. The PUD will consist of a 60 bed (32,570 sf) Assisted Living Facility, 150 seat (10,000 sf) expansion of the existing church, and a new 500 seat (25,000 sf) gymnasium to be used by the church. The other improvements to the site will consist of open space walking path around the dry and wet retention pond, a tot lot, parking, and enhanced landscaping. Since the submittal of this request the Found Life Church has sold the land that will consist of the ALF to the Golden Pond developers.

PUBLIC FACILITY ANALYSIS

The property will have access to Lakeview Road and the applicant will be constructing a new road to provide access. Future construction of the church expansion and new gymnasium will require cross access between the AFL and church. Water, sewer, and reclaimed utilities by the City of Winter Garden will be required for any new development of the property. At such time that the property is developed, all necessary utility lines will be extended and connections made, all extension and connection costs shall be borne by the property owner.

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department

under the First Response System.

All concurrency requirements identified by the City of Winter Garden Code of Ordinances and Comprehensive Plan will be met by the proposed development.

SUMMARY

The proposed ALF development is a reasonable and low intensity use of the land and would not generate a significant increase in traffic volume that is typically generated by single-family residential uses, and represents a use that is compatible with the area. The future gymnasium is a recreational facility to be used by the church and should not create any new traffic volume.

A virtual Community Meeting was held on August 24, 2020 at which time the applicant presented the proposal to develop a 32,570 square foot Assisted Living Facility on the 15.83 ± acre property. The comments generated from the Community Meeting primarily focused on the allowed heights of the buildings. All concerns have been addressed by the applicant and staff through the use of the PUD zoning designation and limiting the heights to (35 feet) with an allowance of 45 feet for church steeples or architectural features. Staff has coordinated with the applicant to ensure that the development of the property will be consistent with the surrounding residential communities both in the scale and size of the building as well as the open space standards and impervious surface ratio criteria.

The proposed rezoning from R-2 to PUD is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances. Staff recommends approval of the proposed Ordinance to rezone the subject property from R-2 to PUD subject to the conditions in Ordinance 20-37.

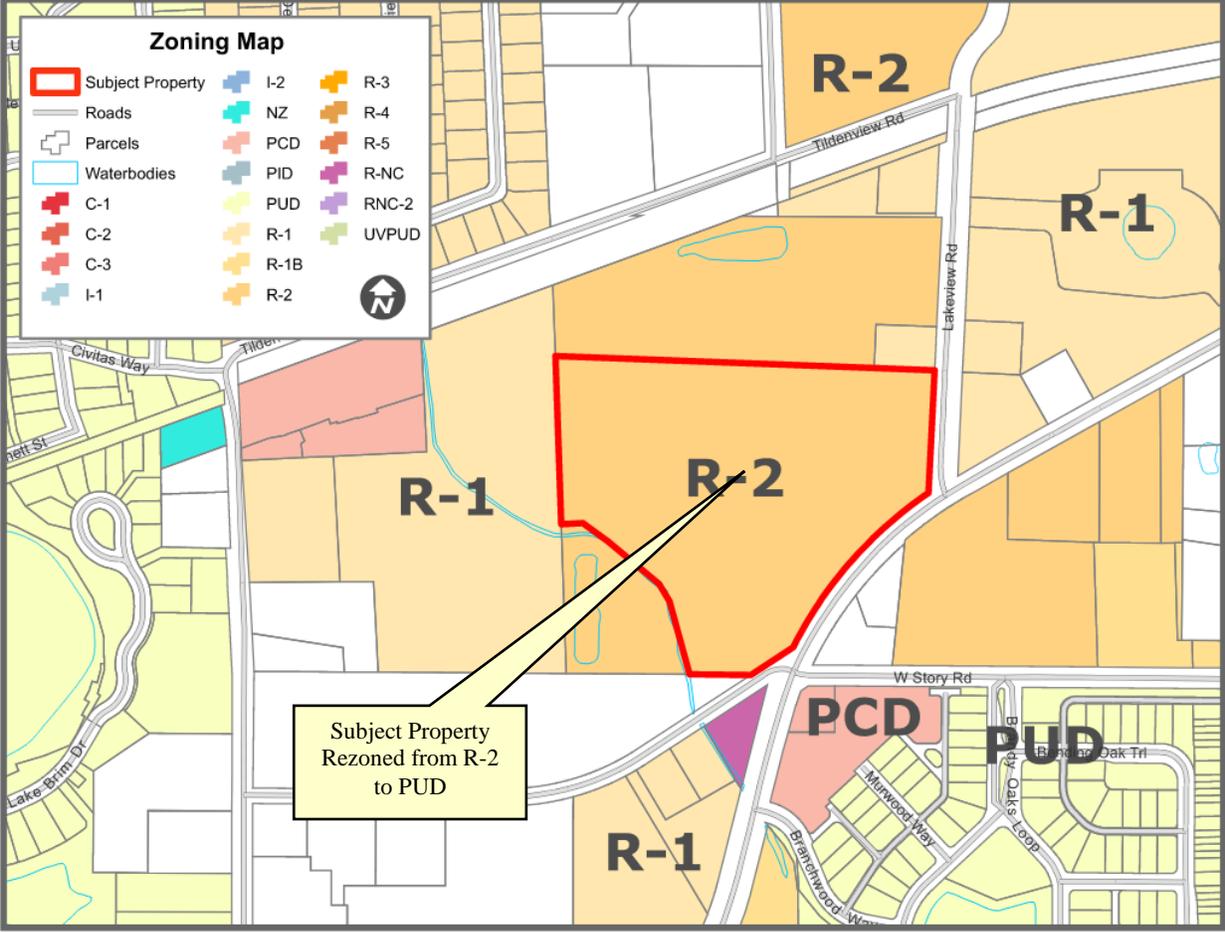
AERIAL PHOTO
1001 W Plant Street



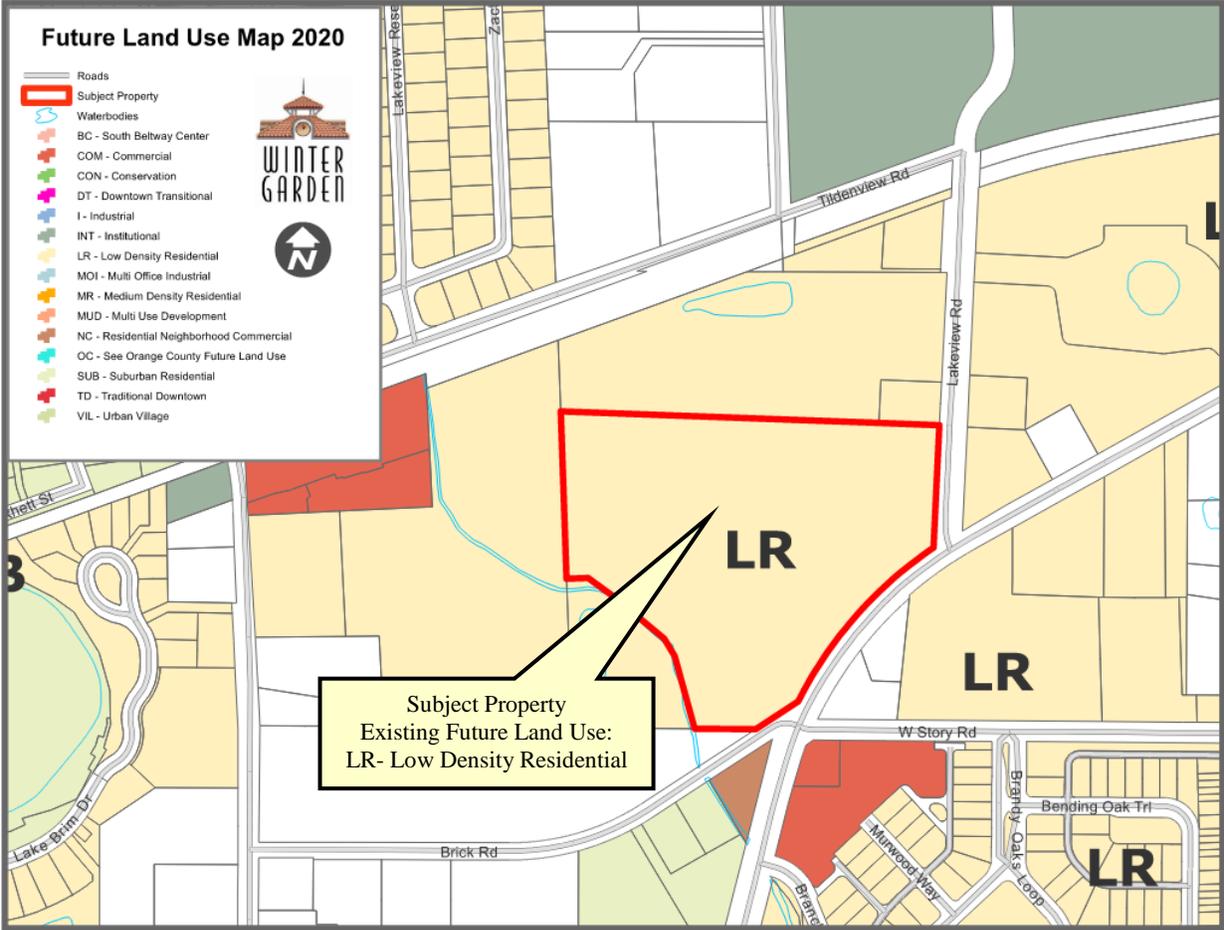
SITE PHOTOS
1001 W Plant Street



ZONING MAP 1001 West Plant Street



FUTURE LAND USE MAP
1001 West Plant Street



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Jon Williams, Assistant City Manager – Public Services
Via: Mike Bollhoefer, City Manager
Date: October 15, 2020 **Meeting Date:** October 22, 2020
Subject: Code Amendment – Section 78-203 & 78-205 Ordinance No. 20-46.
Issue: The City is proposing to amend section 78-203 & 78-205 concerning Stormwater Management Fees, Operations, Maintenance, Repairs and Capital Improvements.

Discussion: Ordinance No. 20-46 proposes to amend sections 78-203 & 78-205 of the code to authorize the city to maintain, repair or improve certain portions of a privately owned stormwater system serving a public benefit and provides for an adjustment to the current monthly fee of \$6.00 for fiscal years 2021-2025 as follows:

Description	FY21	FY22	FY23	FY24	FY25
Rate Increase per EDU	\$2.00	\$0.25	\$0.25	\$0.25	\$0.25
Proposed Rate per EDU	\$7.13	\$7.38	\$7.63	\$7.88	\$8.13
Admin. Charge per Parcel	<u>\$0.87</u>	<u>\$0.87</u>	<u>\$0.87</u>	<u>\$0.87</u>	<u>\$0.87</u>
Total Stormwater Management Fee (Single-family Home)	\$8.00	\$8.25	\$8.50	\$8.75	\$9.00

The proposed rates are recommended to become effective with bills rendered on and after January 1, 2021, and each October 1st thereafter.

Recommended Action:

Staff recommends approval and adoption of Ordinance 20-46.

Attachments/References:

- Ordinance No. 20-46
- Stormwater Rate Study

ORDINANCE NO. 20-46

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE CITY CODE WITH RESPECT TO STORMWATER UTILITY FEES AND USE THEREOF; PROVIDING FOR INCREASE OF THE STORMWATER UTILITY FEE FOR THE YEARS 2021 THROUGH 2025; CLARIFYING CITY AUTHORITY TO MAINTAIN, REPAIR, AND REPLACE CERTAIN NON-PUBLIC STORMWATER IMPROVEMENTS AND TO EXPEND FUNDS COLLECTED VIA THE CITY'S STORMWATER FEE THEREON; PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, the City of Winter Garden has commissioned a stormwater rate study and has concluded that certain increases to the City's stormwater utility fee are necessary to fund the City's future stormwater management activities; and

WHEREAS, the City also finds that it is necessary to amend the City Code to clarify the City's authority to maintain, repair, and replace certain non-public stormwater improvements, and to expend funds collected via the City's stormwater utility fee thereon; and

WHEREAS, the City finds that this Ordinance advances the interests of the public health, safety, and welfare.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1. Recitals. The foregoing recitals are hereby ratified and confirmed as being true and correct and are hereby made a part of this ordinance.

SECTION 2. City Code Amendment. Sections 78-203 and 78-205 of the City Code are hereby amended as follows (words that are stricken out are deletions; words that are underlined are additions; stars * * * * indicate breaks between sections or subsections and do not indicate changes to the City Code):

Sec. 78-203. - Findings, determination and intent.

For the purposes of this article, it is found, determined and declared as follows:

- (1) Those elements of the stormwater system for the collection, transmission and disposal of stormwater and surface water are of benefit and provide services to all real property not served by the stormwater elements of the system.
- (2) The cost of operating and maintaining the city's stormwater management utility system and financing necessary repairs, replacements, improvements and extension thereof should, to the extent practicable, be allocated in relationship to user impacts, based upon contributions to stormwater runoff, and benefits and services received therefrom.
- (3) All property within the city demonstrates a hydrologic response to rainfall events which generates stormwater runoff. The volume, rate, and quality of this runoff will vary with the soil type, land use conditions, topographic conditions, and other variables. In particular, the construction of nonresidential units on previously undeveloped property will generally increase the volume and rate of stormwater runoff, and adversely affect its water quality.

(4) The city has certain rights, but not obligations, pursuant to recorded plats, non-exclusive drainage easements and declarations of covenants, conditions and restrictions to maintain, repair and replace certain private stormwater improvements if the city determines such improvements are not being properly maintained, repaired and replaced and such failure may cause harm to the public. The fees collected hereunder may provide a funding source for such purposes if the city determines such to be in the public's interest.

(45) It is the intent of this article to establish stormwater management as a city utility and to establish a program of service charges and fees for stormwater management services, which charges and fees are to be charged against all property within the city to accomplish the purpose of the utility.

(56) The city's stormwater utility fees shall be fair and reasonable and shall bear substantial relationship to the cost of providing services and facilities in that similar property shall pay similar stormwater utility fees. A rate study shall be conducted periodically to ensure the equity of the service charges.

* * * * *

Sec. 78-205. - Schedule of fees.

The city commission may by resolution modify or amend the uniform schedule of charges and fees as established in this section. The uniform schedule of charges and fees is as follows:

(1) *Residential.* Each single-family residential unit shall be assessed and billed at a flat fee based upon one equivalent drainage unit (EDU) per dwelling unit. Each mobile home unit shall be assessed and billed at a flat fee based upon 0.89 equivalent drainage unit (EDU) per dwelling unit. Each multifamily residential unit shall be assessed and billed at a flat fee based upon 0.62 EDU per dwelling unit.

(2) *Nonresidential.* All nonresidential properties shall be assessed and billed based on the total applicable contributing area of the property divided by the equivalent drainage unit factor rounded to the nearest one-tenth of an EDU. This result shall then be multiplied by a mitigation credit factor, which product shall then be multiplied by the rate established for an EDU. Gross area and applicable contributing area may be determined for each parcel using surveys, site plans, tax maps, REDI maps, aerial photos, and any other appropriate readily available information. For nonresidential properties, the bill for the stormwater management utility fee shall be sent to the property owner as determined by the city.

(3) *Charge per EDU.*

(a) The charge per EDU will be \$ 4.13 per month and will consists of a base fee of \$1.16 (\$1.23 on October 1, 2006, \$1.30 on October 1, 2007, \$1.37 on October 1, 2008, and \$1.44 on October 1, 2009) per EDU applicable to all properties, plus a contribution fee of \$ 2.97 (\$3.15 on October 1, 2006, \$3.33 on October 1, 2007, \$3.51 on October 1, 2008, and \$3.69 on October 1, 2009) per EDU, applicable to all properties. The charge per EDU will increase to: \$4.38 on October 1, 2006; \$4.63 on October 1, 2007; \$4.88 on October 1, 2008; and \$5.13 on October 1, 2009.

(b) Beginning on January 1, 2021, the base fee shall increase to \$1.92 and the contribution fee shall increase to \$5.21, for a total EDU of \$7.13. Beginning on October 1, 2021, the base fee shall increase to \$1.98 and the contribution fee shall increase to \$5.40, for a total EDU of \$7.38. Beginning on October 1, 2022, the base fee shall increase to \$2.04 and the contribution fee shall increase to \$5.59, for a total EDU of \$7.63. Beginning on October 1, 2023, the base fee shall increase to \$2.10 and the contribution fee shall increase to \$5.78, for a total EDU of \$7.88. Beginning on October 1, 2024, the base fee shall increase to \$2.16 and the contribution fee shall increase to \$5.97, for a total EDU of \$8.13.

(c) All nonresidential property with site mitigation facilities may be entitled to a reduction in the contribution fee of up to 40 percent of the contribution fee. Additionally, nonresidential property that does not directly or indirectly drain to any city-maintained or city-owned stormwater management system and that does not have frontage on a city-owned or city-maintained right-of-way, easement, or stormwater management system may be entitled to a reduction in the contribution fee of up to 100 percent of the contribution fee. In no event shall any reduction in the contribution fee exceed a proportionate reduction in stormwater quantity and quality from the lot or parcel at issue.

(4) *Administrative charge.* The administrative charge for all billable lots and parcels shall be \$0.87 per lot or parcel.

(5) *Additional charge.* Each lot and parcel of property shall be charged the EDU base rate charge and the administrative charge, regardless of its development character, in addition to any contribution charge which may be rendered. Further, to the extent the city maintains or repairs existing individual stormwater systems for nonpublic, undeveloped or developed property, the actual fees and costs, including but not limited to personnel and administrative costs, shall ~~may~~ be charged to each lot and parcel of property contributing stormwater to such individual stormwater system. If imposed, such This maintenance and repair cost and fee shall be prorated between the contributing lots and parcels based upon the size of the lot or parcel and the estimated contribution to the individual stormwater system.

(6) *Minimum billing.* If the stormwater fee, less the administration charge, would be \$0.87 or less, no stormwater fee will be assessed.

SECTION 3. Codification. This Ordinance shall be incorporated into the Winter Garden City Code. Any section, paragraph number, subsection number, letter and/or any heading may be changed or modified as necessary to effectuate the foregoing. Grammatical, typographical and similar or like errors may be corrected, and additions, alterations, and omissions not affecting the construction or meaning of this ordinance or City Code may be freely made.

SECTION 4. Severability. If any section, subsection, sentence, clause, phrase, word or provision of this Ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, whether for substantive, procedural, or any other reason, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions of this Ordinance.

SECTION 5. Conflicts. In the event of a conflict or conflicts between this Ordinance and any other ordinance or provision of law, this Ordinance controls to the extent of the conflict, as allowable under the law.

SECTION 6. Effective Date. This Ordinance shall become effective immediately upon

adoption by the City Commission of the City of Winter Garden, Florida.

FIRST READING: _____, 2020

SECOND READING: _____, 2020

ADOPTED this ____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

CITY COMMISSION
CITY OF WINTER GARDEN

John Rees, Mayor

ATTEST:

Angela Grimmage, City Clerk

Date

CITY OF WINTER GARDEN

Stormwater Rate Study

Final Report / August 2020



IS NOW
PART OF



RAFTELIS



IS NOW
PART OF

 RAFTELIS

August 21, 2020

Honorable Mayor and Members of the
City Commission
City of Winter Garden
251 West Plant Street
Winter Garden, FL 34787

Subject: Stormwater Rate Study

Ladies and Gentlemen:

We have completed our study to evaluate the adequacy of the stormwater management system's (the "System") utility rates for the City of Winter Garden, Florida (the "City"), and have summarized the results in this report for your consideration. This report summarizes the proposed rates and financial forecast for the five (5) year period ending September 30, 2025.

To develop the financial forecast and proposed rates, we have relied upon certain information and data collected from the City including the City's Comprehensive Annual Financial Reports; the amended Fiscal Year 2020 operating budget; the proposed Fiscal Year 2021 operating budget; estimated capital expenditures; customer statistics; periodic reports; records of operation; and other information and data provided by the City. To the extent we have performed our analyses using certain data and information obtained from the City and others in the preparation of this report, we have relied upon such information to be accurate and no assurances are intended and no representation or warranties are made with respect thereto or the use made herein.

Introduction

The City's stormwater system is established as a separate utility fund. The goal of this study is to assist the City in establishing stormwater rates that are sufficient to recover the cost of operating, maintaining, repairing and financing the System. In order to achieve this goal, certain criteria were established in conjunction with the City staff that served as guidelines for developing the proposed stormwater rates. The criteria established included: i) proposed rates should address System-wide drainage improvements within public and private communities where a public benefit is served; ii) rate increases should be phased in over time to the extent possible; iii) proposed rates should be competitive with those charged by other communities; and iv) the System should maintain adequate working capital reserves based on the minimum operating reserve fund policy equal to thirty (30) percent of gross revenues.

As outlined in this report, stormwater rates are proposed to be adjusted so that the revenues derived from such rates will support the revenue requirements of the System on a stand-alone basis without additional contributions from the City's General Fund. The level of proposed annual rate increases is phased in over time to avoid rate shock and to ensure that the City's rates are competitive with those of other utilities. The stormwater rate revenues have been specifically pledged to pay operating costs, and to provide a source of funding for certain capital drainage projects where a public benefit is served. Based on the projected operating results summarized herein, the study shows that by implementing a series of annual rate increases over the next five years, that the City can provide a source of additional funding to make significant capital improvements to the System.

The City currently charges \$5.13 per month per equivalent drainage unit ("EDU") for all developed property. This monthly rate includes a base fee of \$1.44 per EDU and a contribution fee of \$3.69 per EDU. The City also charges a monthly administrative fee of \$0.87 per parcel. As defined in the Winter Garden

Code, Article VI, Section 78-206, an EDU is the effective impervious area of a typical residential unit or 4,077 square feet of impervious surface area. For the typical single-family home the combined monthly charge is \$6.00 per month. Mobile homes are assessed at .89 EDU or \$4.57 per unit per month and multi-family residential units are assessed at .62 EDU or \$3.18 per unit per month. For non-residential property, the monthly stormwater fee is based on the total impervious surface area of the property divided by the equivalent drainage factor rounded to the nearest one-tenth of an EDU multiplied by the rate per equivalent drainage unit. The equivalent drainage unit also accounts for any mitigation credits that may be applicable to a non-residential property, if any. For all real property types, the monthly administrative fee of \$0.87 is applied per parcel.

For the City's stormwater system, this study recommends that a series of rate adjustments should be implemented resulting in the following proposed rates:

	\$2.00	\$0.25	\$0.25	\$0.25	
Proposed Rate per EDU ^[2]	\$7.13	\$7.38	\$7.63	\$7.88	\$8.13
Total Stormwater Management Fee (Single-family Home) ^[3]	\$8.00	\$8.25	\$8.50	\$8.75	\$9.00

[1] Rates proposed to be effective on or after January 1, 2021 and each October 1st thereafter.

[2] Amount includes the sum of the proposed Base and Contribution Fees per EDU. Please refer to Table 2 at the end of this report.

[3] The existing monthly Stormwater Management Fee is \$5.13 per EDU plus \$0.87 per parcel or \$6.00 per single-family home.

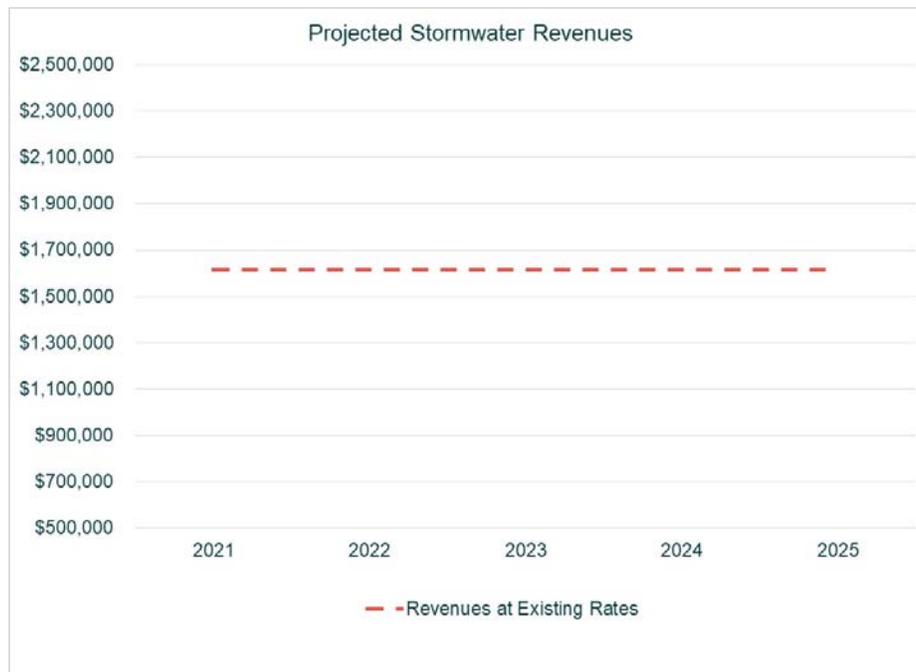
The primary reasons for the proposed rate increases shown above include: i) increasing operating expenses due to inflation; ii) capital expenditures required for ongoing needs such as vehicle and equipment replacement; and iii) funding for additional System-wide improvements above the adopted capital plan to meet the drainage needs throughout the City. In addition to recommending the annual rate increases necessary to help meet the System's financial obligations, the study also summarizes the capital improvements identified by the City based on the priority or need for such improvements and develops a proposed capital funding plan that maximizes the benefits gained from the increased cash flow.

The recommendations of this study are based on a financial forecast developed for the System. The financial forecast starts with a projection of customers and revenues, proceeds next with identification of utility operating and capital needs, evaluates the availability and proposed use of existing operating reserves, and, finally, establishes the timing of rate adjustments. The basis for the study's recommendations is a financial forecast developed for Fiscal Years 2021 through 2025 (the "Study Period").

Customer and Revenue Forecast

During Fiscal Year 2020, it is estimated that the City serves an average of 15,600 stormwater accounts representing approximately 23,000 EDUs. This includes more than 100 subdivisions that is served by more approximately 400,000 linear feet of stormwater pipe. As shown on Table 1 at the end of this report, very little growth in stormwater revenues was projected by the City over the Study Period since the existing fees apply to all real property within the City limits. However, when a property is improved and developed over time, an increase in the overall EDU value of each property is anticipated. The following chart summarizes the projected revenues for the Study Period:

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Revenue Requirements

The various components of cost associated with operating and maintaining a municipally-owned utility system, as well as the cost of funding the renewal and replacement of facilities and capital improvements for upgrades and expansion, are generally referred to as the utility cash revenue requirements. The sum of these cost components, after adjusting for other income and other operating revenues available to the utility, represents the net revenue requirements of the utility system. The revenue requirements for this rate study were based on an estimate of stormwater costs for the five (5) fiscal year period ending September 30, 2025. The projected revenue requirements include the various generalized cost components described below:

- **Operating Expenses:** These expenses include the cost of labor and personnel related costs, vehicle maintenance, stormwater collection system repairs, utilities, operating supplies, equipment repairs and maintenance, and other items necessary for the operation and maintenance of the System.
- **Other Revenue Requirements:** This component of cost includes, in general, any recurring capital improvements to be funded from revenues such as vehicle and equipment replacement, and System-wide drainage improvements that serve a public benefit.

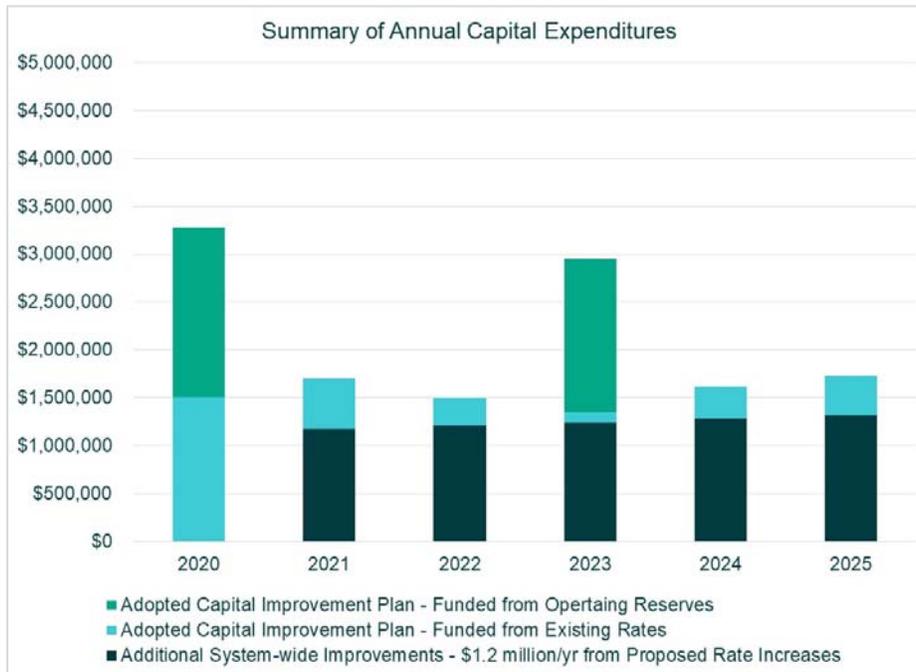
Principal Assumptions and Considerations

The projected cash revenue requirements, as shown on Table 2 for the System, reflect certain assumptions, considerations and analyses. The major assumptions, considerations and analyses that are included in the development of the projected System revenue requirements for the Study Period are as follows:

1. The amended Fiscal Year 2020 and the proposed Fiscal Year 2021 operating budgets associated with the operations of the System, were used as the basis for the expenditure projections set forth herein. Unless otherwise noted, the underlying assumptions and expenditure amounts included therein are assumed to be reasonable and reflect anticipated operations. Such budgetary amounts are incorporated into the revenue requirement component of the study, except for adjustments and assumptions as noted hereunder.

2. Projected revenues from current stormwater rates are based on the schedule of rates currently in effect as of the date of this report, which became effective on October 1, 2009. Such rates are applied to the customer and EDU forecast previously discussed in this report and shown on Table 1. Table 1 also summarizes the projected rate revenue under existing rates for the Study Period. Annual rate revenues under existing rates are projected to be approximately \$1.6 million per year.
3. The operations and maintenance expenses of the System budgeted for Fiscal Years 2020 and 2021 are summarized on Table 3 at the end of this report. The amounts for Fiscal Year 2021 were then projected for the remaining four (4) years of the Study Period (i.e., through Fiscal Year 2025). The projected operating costs and the associated escalation factors used to project the expenditures are shown on Tables 4 and 5, respectively. The projected operating expenses were developed for the Study Period as follows:
 - a. No new staffing positions above current budget levels were assumed based on discussions with City staff.
 - b. Expenses beyond Fiscal Year 2021 were increased based on estimated inflationary adjustments as follows, which resulted in an annual average increase of approximately 2.7% per year through Fiscal Year 2025:
 - Labor: 2.0% per year
 - Health Insurance: 7.5% per year
 - Workers' Compensation Insurance: 5.0% per year
 - Repairs and Maintenance: 3.0% per year
 - Fuel: 3.0% per year
 - General Inflation: 2.5% per year
4. As of the date of this report, the System had no outstanding obligations and no future debt is currently planned.
5. The projected capital expenditures for the System are based on specific project cost data provided by City staff along with information regarding annual departmental and recurring capital needs. The City Commission has adopted approximately \$6.5 million in stormwater capital improvements through Fiscal Year 2025. The approved amount includes \$1.7 million in prior period projects funded from existing operating reserves. The City also has available reserves to fund a \$1.5 million stormwater line upgrade from East Plant to 9th Street. City staff has identified the need to fund additional System-wide improvements above the adopted plan to meet the drainage needs throughout the City. The proposed rates, if adopted, will provide funding of \$9.6 million over the Study Period, which includes an additional \$1.2 million per year for general System-wide improvements where a public benefit is served. The detailed capital plan is shown on Table 6 at the end of this report, which is summarized below:

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Projected Adequacy of Existing Stormwater Rates

Based upon the assumptions used to prepare the System's financial forecast regarding operating expenses and capital requirements, the projected net revenue requirements of the System when compared to revenues under existing rates are summarized as follows:



As can be seen in the above summary, absent the additional System-wide improvements identified by City staff, the previously adopted capital plan is fully funded over the Study Period. Based on discussions with

City staff, the additional allowance will provide approximately \$1.2 million per year under the proposed rates in order to cure emerging drainage deficiencies throughout the System.

Existing and Proposed Rates

The City currently charges \$5.13 per month per equivalent drainage unit ("EDU") for all developed property. This monthly rate includes a base fee of \$1.44 per EDU and a contribution fee of \$3.69 per EDU. The City also charges a monthly administrative fee of \$0.87 per parcel. As defined in the Winter Garden Code, Article VI, Section 78-206, an EDU is the effective impervious area of a typical residential unit or 4,077 square feet of impervious surface area. For the typical single-family home the combined monthly charge is \$6.00 per month. Mobile homes are assessed at .89 EDU or \$4.57 per unit per month and multi-family residential units are assessed at .62 EDU or \$3.18 per unit per month. For non-residential property, the monthly stormwater fee is based on the total impervious surface area of the property divided by the equivalent drainage factor rounded to the nearest one-tenth of an EDU multiplied by the rate per equivalent drainage unit. The equivalent drainage unit also accounts for any mitigation credits that may be applicable to a non-residential property, if any. For all real property types, the monthly administrative fee of \$0.87 is applied per parcel.

For the City's stormwater system, this study recommends that a series of rate adjustments should be implemented resulting in the following proposed rates:

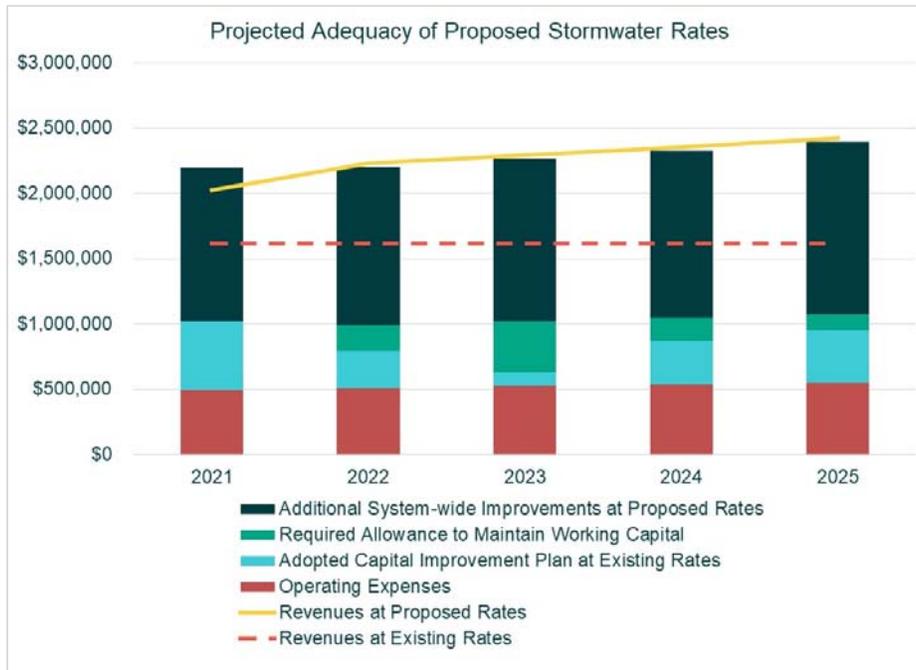
Proposed Rate per EDU ^[2]	\$7.13	\$7.38	\$7.63	\$7.88	\$8.13
Total Stormwater Management Fee (Single-family Home) ^[3]	\$8.00	\$8.25	\$8.50	\$8.75	\$9.00
<p>[1] Rates proposed to be effective on or after January 1, 2021 and each October 1st thereafter. [2] Amount includes the sum of the proposed Base and Contribution Fees per EDU. Please refer to Table 2 at the end of this report. [3] The existing monthly Stormwater Management Fee is \$5.13 per EDU plus \$0.87 per parcel or \$6.00 per single-family home.</p>					

The primary reasons for the proposed rate increases shown above include: i) increasing operating expenses due to inflation; ii) capital expenditures required for ongoing needs such as vehicle and equipment replacement; and iii) funding for additional System-wide improvements above the adopted capital plan to meet the drainage needs throughout the City.

Projected Adequacy of Proposed Stormwater Rates

As shown on Table 2, based on the forecast of System revenues and the assumptions and considerations set forth herein with respect to the estimation of System net revenue requirements, the proposed Stormwater rate adjustments are anticipated to produce additional revenues to fully fund the System as shown below:

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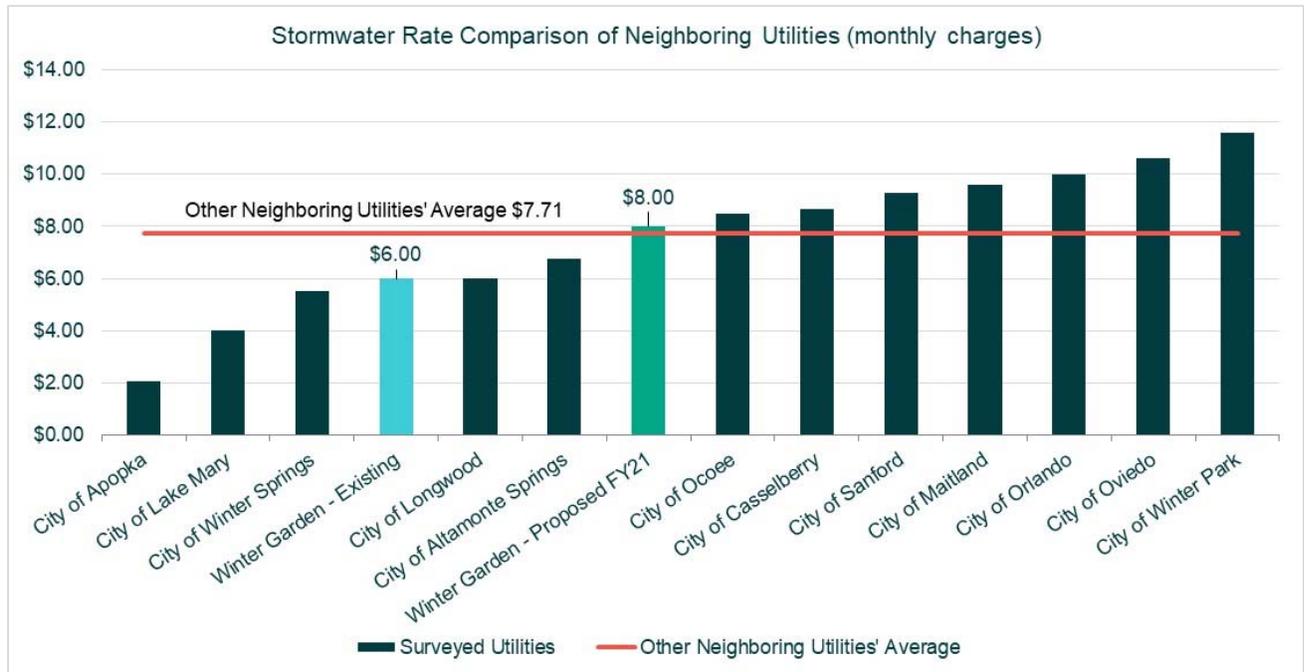
Maintenance of Operating Reserve Fund Balance

Based on discussions with City staff, the minimum balance to be maintained in the System operating fund is to be equal to thirty (30) percent of the annual gross revenues projected for each fiscal year. As shown on Table 2 at the end of this report, the recommended rate increases result in operating reserve balances meeting or exceeding the minimum balance requirement for the Study Period. The detailed cashflow activities accounted for in the operating fund are summarized on Table 7 at the end of this report.

Stormwater Rate Comparisons

In order to provide additional information regarding the proposed rate changes, a comparison of the City's existing and proposed monthly rates per EDU have been compared with other jurisdictions. Table 8 at the end of this report provides a rate comparison that includes a number of utilities throughout Central Florida. The following chart summarizes the results of the rate comparison:

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Conclusions and Recommendations

Based on our studies, assumptions, considerations, and analyses as summarized herein, we are of the opinion that:

1. The City should consider adopting the proposed stormwater rates to make necessary improvements.
2. The proposed rates, if adopted, should maintain the City’s operating reserve policy while providing an additional \$1.2 million annually above the adopted capital plan to fund general System-wide improvements where a public benefit is served.
3. The proposed stormwater rates are recommended to be effective for bills rendered on or after January 1, 2021 and each October 1st thereafter.
4. The proposed rates are comparable with rates charged by neighboring communities.

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We appreciate the opportunity to be of service to the City and would like to thank the City's staff for their assistance and cooperation during the course of this study.

Respectfully submitted,
Raftelis Financial Consultants, Inc.



Henry L. Thomas
Vice President



Murray M. Hamilton, Jr.
Senior Manager

HLT/mmh

Attachments

**City of Winter Garden
Stormwater Rate Study**

List of Tables

<u>Table No.</u>	<u>Description</u>
1	Projected Operating & Non-operating Revenues Under Existing Rates
2	Development of Projected Net Revenue Requirements and Proposed Rates
3	Allocation of Operating Expenses to the Stormwater Utility Function
4	Projected Operating Expenses
5	Summary of Escalation References
6	Escalated Capital Improvement Program
7	Projected Fund Balances & Interest Income
8	Comparison of Residential Stormwater Rates

**Table 1
City of Winter Garden
Stormwater Rate Study**

Projected Operating & Non-operating Revenues Under Existing Rates

Line No.	Account Number	Description	Actual		Adjusted 2019	Escalation Reference [2]	Budgeted [1]		Adjusted		Budgeted [1]		Projected Fiscal Year Ending September 30,			
			2019	Adjustments			2020	Adjustments	2020	Adjustments	2021	Adjustments	2022	2023	2024	2025
Stormwater Operating & Non-operating Revenues																
Operating Revenues																
1	420-2618-329.00-00	Stormwater Drainage Fees [3]	\$1,593,896	\$0	\$1,593,896	Calculated	\$1,563,666	\$30,230	\$1,593,896	\$1,613,397	\$0	\$1,613,397	\$1,613,397	\$1,613,397	\$1,613,397	\$1,613,397
2		Total Operating Revenues	<u>\$1,593,896</u>	<u>\$0</u>	<u>\$1,593,896</u>		<u>\$1,563,666</u>	<u>\$30,230</u>	<u>\$1,593,896</u>	<u>\$1,613,397</u>	<u>\$0</u>	<u>\$1,613,397</u>	<u>\$1,613,397</u>	<u>\$1,613,397</u>	<u>\$1,613,397</u>	<u>\$1,613,397</u>
Non-operating Revenues																
3	420-2618-361.10-00	Interest Income [2]	\$143,495	(\$143,495)	\$0	Eliminate	\$27,022	(\$27,022)	\$0	\$55,969	(\$55,969)	\$0	\$0	\$0	\$0	\$0
3	420-2618-369.90-00	Miscellaneous Revenues	0	0	0	Eliminate	0	0	0	0	0	0	0	0	0	0
4	420-2618-389.40-00	Grants & Donations [2]	1,361,043	(1,361,043)	0	Eliminate	0	0	0	0	0	0	0	0	0	0
4	420-2618-399.99-99	Use of Fund Balance [2]	0	0	0	Eliminate	2,062,698	(2,062,698)	0	0	0	0	0	0	0	0
5		Total Non-operating Revenues	<u>\$1,504,538</u>	<u>(\$1,504,538)</u>	<u>\$0</u>		<u>\$2,089,720</u>	<u>(\$2,089,720)</u>	<u>\$0</u>	<u>\$55,969</u>	<u>(\$55,969)</u>	<u>\$0</u>	<u>\$0</u>	<u>\$0</u>	<u>\$0</u>	<u>\$0</u>
6		Total Stormwater Operating & Non-operating Revenues	<u><u>\$3,098,434</u></u>	<u><u>(\$1,504,538)</u></u>	<u><u>\$1,593,896</u></u>		<u><u>\$3,653,386</u></u>	<u><u>(\$2,059,490)</u></u>	<u><u>\$1,593,896</u></u>	<u><u>\$1,669,366</u></u>	<u><u>(\$55,969)</u></u>	<u><u>\$1,613,397</u></u>	<u><u>\$1,613,397</u></u>	<u><u>\$1,613,397</u></u>	<u><u>\$1,613,397</u></u>	<u><u>\$1,613,397</u></u>

Footnotes:

- [1] Amounts reflect the adopted revenues for Fiscal Years 2020 and 21 as provided by City staff.
- [2] Escalation reference and amounts derived from Table 5. Interest income calculated on Table 7. Use of fund balance and grants shown to cover capital projects on Table 6.
- [3] Revenues estimated as follows:

Description	Projected Fiscal Year Ending September 30,						
	2019	2020	2021	2022	2023	2024	2025
Admin Fee Revenues							
Estimated Average Parcels	15,628	15,628	15,816	15,816	15,816	15,816	15,816
Existing Monthly Rate per Parcel	\$0.87	\$0.87	\$0.87	\$0.87	\$0.87	\$0.87	\$0.87
Total Admin Fee Revenues	<u>\$163,156</u>	<u>\$163,156</u>	<u>\$165,114</u>	<u>\$165,114</u>	<u>\$165,114</u>	<u>\$165,114</u>	<u>\$165,114</u>
Stormwater Service Revenue							
Estimated Average EDUs	23,241	23,241	23,526	23,526	23,526	23,526	23,526
Existing Monthly Rate per EDU	\$5.13	\$5.13	\$5.13	\$5.13	\$5.13	\$5.13	\$5.13
Total Stormwater Service Revenue	<u>\$1,430,740</u>	<u>\$1,430,740</u>	<u>\$1,448,283</u>	<u>\$1,448,283</u>	<u>\$1,448,283</u>	<u>\$1,448,283</u>	<u>\$1,448,283</u>
Total Revenues	<u><u>\$1,593,896</u></u>	<u><u>\$1,593,896</u></u>	<u><u>\$1,613,397</u></u>	<u><u>\$1,613,397</u></u>	<u><u>\$1,613,397</u></u>	<u><u>\$1,613,397</u></u>	<u><u>\$1,613,397</u></u>

Table 2
City of Winter Garden
Stormwater Rate Study

Development of Projected Net Revenue Requirements and Proposed Rates

Line No.	Description	Projected Fiscal Year Ending September 30,					
		2020	2021	2022	2023	2024	2025
<u>Projected Operating Expenses & Administrative Charges:</u>							
1	Stormwater Expenses	\$709,511	\$496,549	\$509,787	\$523,419	\$537,457	\$551,915
2	Total Operating Expenses & Administrative Charges	\$709,511	\$496,549	\$509,787	\$523,419	\$537,457	\$551,915
<u>Other Revenue Requirements:</u>							
Debt Service							
3	Existing	\$0	\$0	\$0	\$0	\$0	\$0
4	Proposed	0	0	0	0	0	0
5	Total Debt Service	\$0	\$0	\$0	\$0	\$0	\$0
6	Capital Funded From Rates	\$1,507,946	\$1,698,264	\$1,494,015	\$1,356,202	\$1,616,253	\$1,724,786
8	Allowance for Working Capital	0	0	197,868	386,503	175,844	120,257
9	Total Other Revenue Requirements	\$1,507,946	\$1,698,264	\$1,691,883	\$1,742,705	\$1,792,096	\$1,845,043
10	Gross Revenue Requirements	\$2,217,457	\$2,194,813	\$2,201,670	\$2,266,123	\$2,329,553	\$2,396,958
<u>Less Income and Funds from Other Sources:</u>							
11	Other Operating Revenues	\$0	\$0	\$0	\$0	\$0	\$0
12	Unrestricted Interest Income	15,000	9,000	9,000	6,000	4,000	5,000
13	Net Revenue Requirements	\$2,202,457	\$2,185,813	\$2,192,670	\$2,260,123	\$2,325,553	\$2,391,958
<u>Projected Revenues:</u>							
14	Revenues at Existing Rates	\$1,593,896	\$1,613,397	\$1,613,397	\$1,613,397	\$1,613,397	\$1,613,397
15	Prior Year Rate Adjustment	0	0	537,799	605,024	672,249	739,474
16	Total Applicable Rate Revenue	\$1,593,896	\$1,613,397	\$2,151,196	\$2,218,421	\$2,285,646	\$2,352,871
<u>Current Year Rate Adjustments:</u>							
17	Current Year Rate Adjustment	0.0%	\$2.00 33.3%	\$0.25 3.1%	\$0.25 3.0%	\$0.25 2.9%	\$0.25 2.9%
	Effective Month	October	January	October	October	October	October
18	% of Current Year Effective	100.0%	75.0%	100.0%	100.0%	100.0%	100.0%
19	Total Revenue from Current Year Adjustments	\$0	\$403,349	\$67,225	\$67,225	\$67,225	\$67,225
20	Total Revenue from Rates	\$1,593,896	\$2,016,746	\$2,218,421	\$2,285,646	\$2,352,871	\$2,420,096
21	Revenue Surplus/(Deficiency)	(\$608,561)	(\$169,067)	\$25,750	\$25,523	\$27,318	\$28,138
22	Surplus/(Deficiency) - Percent of Rate Revenues	(38.2%)	(8.4%)	1.2%	1.1%	1.2%	1.2%
<u>Available Cash Balances - Year End Balance</u>							
		Fiscal Year Ending September 30,					
		2020	2021	2022	2023	2024	2025
23	Operating Fund	\$1,814,557	\$1,645,491	\$1,869,109	\$689,785	\$892,947	\$1,041,342
24	Total Available Cash Balances	\$1,814,557	\$1,645,491	\$1,869,109	\$689,785	\$892,947	\$1,041,342
<u>Unrestricted Operating Fund</u>							
25	Days of Gross Revenues - Calculated	416	298	308	110	139	157
26	Days of Gross Revenues - Minimum	110	110	110	110	110	110
<u>Existing and Proposed Fees</u>							
		Fiscal Year Ending September 30,					
		2020	2021	2022	2023	2024	2025
27	Administrative Charge - per Parcel	\$0.87	\$0.87	\$0.87	\$0.87	\$0.87	\$0.87
Charge per EDU							
28	Base Fee per EDU	\$1.44	\$1.92	\$1.98	\$2.04	\$2.10	\$2.16
29	Contribution Fee per EDU	\$3.69	\$5.21	\$5.40	\$5.59	\$5.78	\$5.97
30	Total Charge per EDU	\$5.13	\$7.13	\$7.38	\$7.63	\$7.88	\$8.13
Total Stormwater Management Fee (Single Family)		\$6.00	\$8.00	\$8.25	\$8.50	\$8.75	\$9.00

Table 3
City of Winter Garden
Stormwater Rate Study

Allocation of Operating Expenses to the Stormwater Utility Function

Line No.	Account Number	Description	Fiscal Year Ending September 30,					
			Budget 2020	Adjustments	Adjusted 2020	Allocation Basis	Stormwater Allocation	Total Allocated to Stormwater
Budgeted Stormwater Expenses [1]								
<u>Personnel Services:</u>								
1	420-2618-538.12-00	Salaries Regular	\$110,877	\$0	\$110,877	Direct Assignment	100%	\$110,877
2	420-2618-538.14-00	Overtime	12,262	0	12,262	Direct Assignment	100%	12,262
3	420-2618-538.21-00	FICA Taxes	9,420	0	9,420	Direct Assignment	100%	9,420
4	420-2618-538.22-00	Retirement Contribution	16,402	0	16,402	Direct Assignment	100%	16,402
5	420-2618-538.23-00	Employee Group Insurance	15,729	0	15,729	Direct Assignment	100%	15,729
6	420-2618-538.24-00	Workers' Compensation Insurance	4,418	0	4,418	Direct Assignment	100%	4,418
7	420-2618-538.26-00	OPEB	12,840	0	12,840	Direct Assignment	100%	12,840
8	420-2618-538.27-00	Pension Expense	3,143	0	3,143	Direct Assignment	100%	3,143
9	Addl	(Placeholder)	0	0	0	Direct Assignment	100%	0
10		Total Personnel Services	\$185,091	\$0	\$185,091	Allocated Result	100%	\$185,091
<u>Operating Expenses:</u>								
11	420-2618-538.31-01	Miscellaneous Professional Services	\$15,000	\$0	\$15,000	Direct Assignment	100%	\$15,000
12	420-2618-538.31-04	Engineering	150,500	0	150,500	Direct Assignment	100%	150,500
13	420-2618-538.31-06	Medical	147	0	147	Direct Assignment	100%	147
14	420-2618-538.32-00	Accounting and Audit	2,500	0	2,500	Direct Assignment	100%	2,500
15	420-2618-538.34-01	Contractual Services Miscellaneous	25,023	0	25,023	Direct Assignment	100%	25,023
16	420-2618-538.34-08	Personnel Services	1,641	0	1,641	Direct Assignment	100%	1,641
17	420-2618-538.34-12	Tipping Fees	42,817	0	42,817	Direct Assignment	100%	42,817
18	420-2618-538.40-00	Travel and Per Diem	934	0	934	Direct Assignment	100%	934
19	420-2618-538.41-02	Telephone Services	300	0	300	Direct Assignment	100%	300
20	420-2618-538.41-03	Radio	100	0	100	Direct Assignment	100%	100
21	420-2618-538.41-04	Internet	0	0	0	Direct Assignment	100%	0
22	420-2618-538.43-00	Water/Sewer Utilities	200	0	200	Direct Assignment	100%	200
23	420-2618-538.44-00	Rentals and Leases	12,657	0	12,657	Direct Assignment	100%	12,657
24	420-2618-538.45-00	General Insurance	5,008	0	5,008	Direct Assignment	100%	5,008
25	420-2618-538.46-01	Repairs and Maintenance Miscellaneous	2,169	0	2,169	Direct Assignment	100%	2,169
26	420-2618-538.46-02	Repairs and Maintenance - Equipment	19,092	0	19,092	Direct Assignment	100%	19,092
27	420-2618-538.46-03	Repairs and Maintenance - Vehicles	31,553	0	31,553	Direct Assignment	100%	31,553
28	420-2618-538.46-05	Repairs and Maintenance - Computer Software	1,000	0	1,000	Direct Assignment	100%	1,000
29	420-2618-538.46-06	Repairs and Maintenance - Computer Hardware	0	0	0	Direct Assignment	100%	0
30	420-2618-538.46-07	Repairs and Maintenance - Utility Lines	1,631	0	1,631	Direct Assignment	100%	1,631
31	420-2618-538.48-02	Promotional Items	500	0	500	Direct Assignment	100%	500
32	420-2618-538.49-02	Management Fees (General Fund Transfer)	154,462	0	154,462	Direct Assignment	100%	154,462
33	420-2618-538.49-05	Licenses and Taxes	3,000	0	3,000	Direct Assignment	100%	3,000
34	420-2618-538.49-10	Bad Debt Expense (0.50%)	0	7,969 [2]	7,969	Direct Assignment	100%	7,969
35	420-2618-538.51-00	Office Supplies	100	0	100	Direct Assignment	100%	100
36	420-2618-538.52-01	Operating Supplies Miscellaneous	7,669	0	7,669	Direct Assignment	100%	7,669
37	420-2618-538.52-02	Chemicals	2,850	0	2,850	Direct Assignment	100%	2,850
38	420-2618-538.52-03	Gasoline and Oil	14,896	0	14,896	Direct Assignment	100%	14,896
39	420-2618-538.52-04	Uniforms	1,300	0	1,300	Direct Assignment	100%	1,300
40	420-2618-538.54-01	Membership Dues	741	0	741	Direct Assignment	100%	741
41	420-2618-538.54-02	Seminars and Courses	1,356	0	1,356	Direct Assignment	100%	1,356
42		Total Operating Expenses	\$499,146	\$7,969	\$507,115	Allocated Result	100%	\$507,115
<u>Capital Outlay:</u>								
43	420-2618-538.63-00	Capital Improvements	\$3,246,241	(\$3,246,241) [3]	\$0	Direct Assignment	100%	\$0
44	420-2618-538.64-00	Capital Equipment	32,121	(32,121) [3]	0	Direct Assignment	100%	0
45		Total Capital Outlay	\$3,278,362	(\$3,278,362)	\$0	Allocated Result	0%	\$0
<u>Debt Service (Capital Lease):</u>								
46	420-2618-517.72-00	Interest	\$0	\$0 [4]	\$0	Direct Assignment	100%	\$0
47		Total Debt Service	\$0	\$0	\$0	Allocated Result	0%	\$0
<u>Other Uses:</u>								
48	420-2618-599.99-99	Carryforward Fund Balance	\$0	\$0 [5]	\$0	Direct Assignment	100%	\$0
49		Total Other Uses	\$0	\$0	\$0	Allocated Result	0%	\$0
<u>Contingency:</u>								
50		Contingency (2.50%)	\$0	\$17,305 [6]	\$17,305	Direct Assignment	100%	\$17,305
51		Total Contingency	\$0	\$17,305	\$17,305	Allocated Result	100%	\$17,305
52		Total Stormwater Expenses	\$3,962,599	(\$3,253,087)	\$709,512	Allocated Result	100%	\$709,511

Table 3
City of Winter Garden
Stormwater Rate Study

Allocation of Operating Expenses to the Stormwater Utility Function

Footnotes:

- [1] Amounts reflect the amended expenditures for Fiscal Year 2020 as provided by City staff.
- [2] To provide an allowance for delinquent accounts, bad debt expenses is estimated at 0.50% of annual revenues.
- [3] Amount removed from operating expenses and shown separately as part of the capital plan.
- [4] Debt service payments, if any, are excluded from operating expenses.
- [5] Amount reflects transfers to operating reserves, which such amounts, if any, are calculated on Table 2.
- [6] To account for unforeseen expenses, a contingency of 2.50% of expenses was assumed for each fiscal year.

Table 3
City of Winter Garden
Stormwater Rate Study

Allocation of Operating Expenses to the Stormwater Utility Function

Line No.	Account Number	Description	Fiscal Year Ending September 30,					
			Budget 2021	Adjustments	Adjusted 2021	Allocation Basis	Stormwater Allocation	Total Allocated to Stormwater
Budgeted Stormwater Expenses [1]								
<u>Personnel Services:</u>								
1	420-2618-538.12-00	Salaries Regular	\$66,878	\$0	\$66,878	Direct Assignment	100%	\$66,878
2	420-2618-538.14-00	Overtime	16,925	0	16,925	Direct Assignment	100%	16,925
3	420-2618-538.21-00	FICA Taxes	6,411	0	6,411	Direct Assignment	100%	6,411
4	420-2618-538.22-00	Retirement Contribution	11,690	0	11,690	Direct Assignment	100%	11,690
5	420-2618-538.23-00	Employee Group Insurance	9,836	0	9,836	Direct Assignment	100%	9,836
6	420-2618-538.24-00	Workers' Compensation Insurance	4,819	0	4,819	Direct Assignment	100%	4,819
7	420-2618-538.26-00	OPEB	6,013	0	6,013	Direct Assignment	100%	6,013
8	420-2618-538.27-00	Pension Expense	4,015	0	4,015	Direct Assignment	100%	4,015
9	Addl	(Placeholder)	0	0	0	Direct Assignment	100%	0
10		Total Personnel Services	\$126,587	\$0	\$126,587	Allocated Result	100%	\$126,587
<u>Operating Expenses:</u>								
11	420-2618-538.31-01	Miscellaneous Professional Services	\$10,000	\$0	\$10,000	Direct Assignment	100%	\$10,000
12	420-2618-538.31-04	Engineering	25,500	0	25,500	Direct Assignment	100%	25,500
13	420-2618-538.31-06	Medical	147	0	147	Direct Assignment	100%	147
14	420-2618-538.32-00	Accounting and Audit	2,500	0	2,500	Direct Assignment	100%	2,500
15	420-2618-538.34-01	Contractual Services Miscellaneous	44,723	0	44,723	Direct Assignment	100%	44,723
16	420-2618-538.34-08	Personnel Services	1,641	0	1,641	Direct Assignment	100%	1,641
17	420-2618-538.34-12	Tipping Fees	42,817	0	42,817	Direct Assignment	100%	42,817
18	420-2618-538.40-00	Travel and Per Diem	934	0	934	Direct Assignment	100%	934
19	420-2618-538.41-02	Telephone Services	300	0	300	Direct Assignment	100%	300
20	420-2618-538.41-03	Radio	100	0	100	Direct Assignment	100%	100
21	420-2618-538.41-04	Internet	0	0	0	Direct Assignment	100%	0
22	420-2618-538.43-00	Water/Sewer Utilities	200	0	200	Direct Assignment	100%	200
23	420-2618-538.44-00	Rentals and Leases	12,657	0	12,657	Direct Assignment	100%	12,657
24	420-2618-538.45-00	General Insurance	5,166	0	5,166	Direct Assignment	100%	5,166
25	420-2618-538.46-01	Repairs and Maintenance Miscellaneous	4,280	0	4,280	Direct Assignment	100%	4,280
26	420-2618-538.46-02	Repairs and Maintenance - Equipment	19,092	0	19,092	Direct Assignment	100%	19,092
27	420-2618-538.46-03	Repairs and Maintenance - Vehicles	31,553	0	31,553	Direct Assignment	100%	31,553
28	420-2618-538.46-05	Repairs and Maintenance - Computer Software	1,000	0	1,000	Direct Assignment	100%	1,000
29	420-2618-538.46-06	Repairs and Maintenance - Computer Hardware	0	0	0	Direct Assignment	100%	0
30	420-2618-538.46-07	Repairs and Maintenance - Utility Lines	1,631	0	1,631	Direct Assignment	100%	1,631
31	420-2618-538.48-02	Promotional Items	500	0	500	Direct Assignment	100%	500
32	420-2618-538.49-02	Management Fees (General Fund Transfer)	113,131	0	113,131	Direct Assignment	100%	113,131
33	420-2618-538.49-05	Licenses and Taxes	3,000	0	3,000	Direct Assignment	100%	3,000
34	420-2618-538.49-10	Bad Debt Expense (0.50%)	0	8,067 [2]	8,067	Direct Assignment	100%	8,067
35	420-2618-538.51-00	Office Supplies	100	0	100	Direct Assignment	100%	100
36	420-2618-538.52-01	Operating Supplies Miscellaneous	7,669	0	7,669	Direct Assignment	100%	7,669
37	420-2618-538.52-02	Chemicals	2,850	0	2,850	Direct Assignment	100%	2,850
38	420-2618-538.52-03	Gasoline and Oil	14,896	0	14,896	Direct Assignment	100%	14,896
39	420-2618-538.52-04	Uniforms	1,300	0	1,300	Direct Assignment	100%	1,300
40	420-2618-538.54-01	Membership Dues	741	0	741	Direct Assignment	100%	741
41	420-2618-538.54-02	Seminars and Courses	1,356	0	1,356	Direct Assignment	100%	1,356
42		Total Operating Expenses	\$349,784	\$8,067	\$357,851	Allocated Result	100%	\$357,851
<u>Capital Outlay:</u>								
43	420-2618-538.63-00	Capital Improvements	\$362,263	(\$362,263) [3]	\$0	Direct Assignment	100%	\$0
44	420-2618-538.64-00	Capital Equipment	161,001	(161,001) [3]	0	Direct Assignment	100%	0
45		Total Capital Outlay	\$523,264	(\$523,264)	\$0	Allocated Result	0%	\$0
<u>Debt Service (Capital Lease):</u>								
46	420-2618-517.72-00	Interest	\$0	\$0 [4]	\$0	Direct Assignment	100%	\$0
47		Total Debt Service	\$0	\$0	\$0	Allocated Result	0%	\$0
<u>Other Uses:</u>								
48	420-2618-599.99-99	Carryforward Fund Balance	\$669,731	(\$669,731) [5]	\$0	Direct Assignment	100%	\$0
49		Total Other Uses	\$669,731	(\$669,731)	\$0	Allocated Result	0%	\$0
<u>Contingency:</u>								
50		Contingency (2.50%)	\$0	\$12,111 [6]	\$12,111	Direct Assignment	100%	\$12,111
51		Total Contingency	\$0	\$12,111	\$12,111	Allocated Result	100%	\$12,111
52		Total Stormwater Expenses	\$1,669,366	(\$1,172,817)	\$496,549	Allocated Result	100%	\$496,549

**Table 3
City of Winter Garden
Stormwater Rate Study**

Allocation of Operating Expenses to the Stormwater Utility Function

Footnotes:

- [1] Amounts reflect the proposed expenditures for Fiscal Year 2021 as provided by City staff.
- [2] To provide an allowance for delinquent accounts, bad debt expenses is estimated at 0.50% of annual revenues.
- [3] Amount removed from operating expenses and shown separately as part of the capital plan.
- [4] Debt service payments, if any, are excluded from operating expenses.
- [5] Amount reflects transfers to operating reserves, which such amounts, if any, are calculated on Table 2.
- [6] To account for unforeseen expenses, a contingency of 2.50% of expenses was assumed for each fiscal year.

**Table 4
City of Winter Garden
Stormwater Rate Study**

Projected Operating Expenses

Line No.	Account Number	Description	Budget 2020	Budget 2021	Escalation Reference [1]	Projected Fiscal Year Ending September 30.			
						2022	2023	2024	2025
Stormwater Operating Expenses									
<u>Personnel Services:</u>									
1	420-2618-538.12-00	Salaries Regular	\$110,877	\$66,878	Labor	\$68,216	\$69,580	\$70,971	\$72,391
2	420-2618-538.14-00	Overtime	12,262	16,925	Labor	17,264	17,609	17,961	18,320
3	420-2618-538.21-00	FICA Taxes	9,420	6,411	Labor	6,539	6,670	6,803	6,939
4	420-2618-538.22-00	Retirement Contribution	16,402	11,690	Labor	11,924	12,162	12,406	12,654
5	420-2618-538.23-00	Employee Group Insurance	15,729	9,836	InsHealth	10,574	11,367	12,219	13,136
6	420-2618-538.24-00	Workers' Compensation Insurance	4,418	4,819	WorkersComp	5,060	5,313	5,579	5,858
7	420-2618-538.26-00	OPEB	12,840	6,013	Labor	6,133	6,256	6,381	6,509
8	420-2618-538.27-00	Pension Expense	3,143	4,015	Labor	4,095	4,177	4,261	4,346
9	Add11	(Placeholder)	0	0	Labor	0	0	0	0
10		Total Personnel Services [2]	\$185,091	\$126,587		\$129,804	\$133,134	\$136,581	\$140,152
<u>Operating Expenses:</u>									
11	420-2618-538.31-01	Miscellaneous Professional Services	\$15,000	\$10,000	Inflation	\$10,250	\$10,506	\$10,769	\$11,038
12	420-2618-538.31-04	Engineering [3]	150,500	25,500	Inflation	26,138	26,791	27,461	28,147
13	420-2618-538.31-06	Medical	147	147	Inflation	151	154	158	162
14	420-2618-538.32-00	Accounting and Audit	2,500	2,500	Inflation	2,563	2,627	2,692	2,760
15	420-2618-538.34-01	Contractual Services Miscellaneous	25,023	44,723	Inflation	45,841	46,987	48,162	49,366
16	420-2618-538.34-08	Personnel Services	1,641	1,641	Inflation	1,682	1,724	1,767	1,811
17	420-2618-538.34-12	Tipping Fees	42,817	42,817	Disposal	43,887	44,985	46,109	47,262
18	420-2618-538.40-00	Travel and Per Diem	934	934	Inflation	957	981	1,006	1,031
19	420-2618-538.41-02	Telephone Services	300	300	Inflation	308	315	323	331
20	420-2618-538.41-03	Radio	100	100	Inflation	103	105	108	110
21	420-2618-538.41-04	Internet	0	0	Inflation	0	0	0	0
22	420-2618-538.43-00	Water/Sewer Utilities	200	200	Inflation	205	210	215	221
23	420-2618-538.44-00	Rentals and Leases	12,657	12,657	Inflation	12,973	13,298	13,630	13,971
24	420-2618-538.45-00	General Insurance	5,008	5,166	Insurance	5,321	5,481	5,645	5,814
25	420-2618-538.46-01	Repairs and Maintenance Miscellaneous	2,169	4,280	Repair	4,408	4,541	4,677	4,817
26	420-2618-538.46-02	Repairs and Maintenance - Equipment	19,092	19,092	Repair	19,665	20,255	20,862	21,488
27	420-2618-538.46-03	Repairs and Maintenance - Vehicles	31,553	31,553	Repair	32,500	33,475	34,479	35,513
28	420-2618-538.46-05	Repairs and Maintenance - Computer Software	1,000	1,000	Repair	1,030	1,061	1,093	1,126
29	420-2618-538.46-06	Repairs and Maintenance - Computer Hardware	0	0	Repair	0	0	0	0
30	420-2618-538.46-07	Repairs and Maintenance - Utility Lines	1,631	1,631	Repair	1,680	1,730	1,782	1,836
31	420-2618-538.48-02	Promotional Items	500	500	Inflation	513	525	538	552
32	420-2618-538.49-02	Management Fees (General Fund Transfer)	154,462	113,131	GFT	116,525	120,021	123,621	127,330
33	420-2618-538.49-05	Licenses and Taxes	3,000	3,000	Inflation	3,075	3,152	3,231	3,311
34	420-2618-538.49-10	Bad Debt Expense (0.50%) [4]	7,969	8,067	Calculated	8,067	8,067	8,067	8,067
35	420-2618-538.51-00	Office Supplies	100	100	Inflation	103	105	108	110
36	420-2618-538.52-01	Operating Supplies Miscellaneous	7,669	7,669	Inf/Cust	7,861	8,057	8,259	8,465
37	420-2618-538.52-02	Chemicals	2,850	2,850	Inf/EDU	2,921	2,994	3,069	3,146
38	420-2618-538.52-03	Gasoline and Oil	14,896	14,896	Fuel	15,343	15,803	16,277	16,766
39	420-2618-538.52-04	Uniforms	1,300	1,300	Inflation	1,333	1,366	1,400	1,435
40	420-2618-538.54-01	Membership Dues	741	741	Inflation	760	779	798	818
41	420-2618-538.54-02	Seminars and Courses	1,356	1,356	Inflation	1,390	1,425	1,460	1,497
42		Total Operating Expenses	\$507,115	\$357,851		\$367,549	\$377,519	\$387,767	\$398,302
<u>Capital Outlay:</u>									
43	420-2618-538.63-00	Capital Improvements	\$0	\$0	Eliminate	\$0	\$0	\$0	\$0
44	420-2618-538.64-00	Capital Equipment	0	0	Eliminate	0	0	0	0
45		Total Capital Outlay	\$0	\$0		\$0	\$0	\$0	\$0
<u>Debt Service (Capital Lease):</u>									
46	420-2618-517.72-00	Interest	\$0	\$0	Eliminate	\$0	\$0	\$0	\$0
47		Total Debt Service	\$0	\$0		\$0	\$0	\$0	\$0
<u>Other Uses:</u>									
48	420-2618-599.99-99	Carryforward Fund Balance	\$0	\$0	Eliminate	\$0	\$0	\$0	\$0
49		Total Other Uses	\$0	\$0		\$0	\$0	\$0	\$0

**Table 4
City of Winter Garden
Stormwater Rate Study**

Projected Operating Expenses

Line No.	Account Number	Description	Budget 2020	Budget 2021	Escalation Reference [1]	Projected Fiscal Year Ending September 30.			
						2022	2023	2024	2025
		<u>Contingency:</u>							
50		Contingency (2.50%) [5]	\$17,305	\$12,111	Calculated	\$12,434	\$12,766	\$13,109	\$13,461
51		Total Contingency	<u>\$17,305</u>	<u>\$12,111</u>		<u>\$12,434</u>	<u>\$12,766</u>	<u>\$13,109</u>	<u>\$13,461</u>
52		Total Stormwater Expenses	<u>\$709,511</u>	<u>\$496,549</u>		<u>\$509,787</u>	<u>\$523,419</u>	<u>\$537,457</u>	<u>\$551,915</u>

Footnotes:

- [1] The escalation references and amounts are derived from Table Table 5.
- [2] When compared to the FY20 Budget, personnel costs decreased due to a change in the number of appropriated positions.
- [3] When compared to the FY20 Budget, the FY20 Budget included a stormwater master plan and drainage studies that are not recurring expenses.
- [4] To provide an allowance for delinquent accounts, bad debt expenses is estimated at 0.50% of annual revenues.
- [5] To account for unforeseen expenses, a contingency of 2.50% of expenses was assumed for each fiscal year.

Table 5
City of Winter Garden
Stormwater Rate Study

Summary of Escalation References

Line No.	Description	Reference	Escalation Factors			
			2022	2023	2024	2025
1	Constant Factor	Constant	1.0000	1.0000	1.0000	1.0000
2	Inflation - CPI	Inflation	1.0250	1.0250	1.0250	1.0250
3	Labor	Labor	1.0200	1.0200	1.0200	1.0200
4	Life, Health, Disability Insurance	InsHealth	1.0750	1.0750	1.0750	1.0750
5	Workers' Compensation Insurance	WorkersComp	1.0500	1.0500	1.0500	1.0500
6	Property/General Insurance Liability	Insurance	1.0300	1.0300	1.0300	1.0300
7	Repair and Maintenance	Repair	1.0300	1.0300	1.0300	1.0300
8	Fuel Expenses	Fuel	1.0300	1.0300	1.0300	1.0300
9	Disposal (CPI)	Disposal	1.0250	1.0250	1.0250	1.0250
10	Inflation/Customer Growth	Inf/Cust	1.0250	1.0250	1.0250	1.0250
11	Inflation/EDU Growth	Inf/EDU	1.0250	1.0250	1.0250	1.0250
12	Rate Revenue	Revenue	1.1000	1.0303	1.0294	1.0286
13	Elimination Factor	Eliminate	0.0000	0.0000	0.0000	0.0000
14	General Fund Transfer	GFT	1.0300	1.0300	1.0300	1.0300

**Table 6
City of Winter Garden
Stormwater Rate Study**

Escalated Capital Improvement Program

Line No.	Description	Funding Source	Projected Fiscal Year Ending September 30,					Totals	
			2020	2021	2022	2023	2024		2025
Cumulative Inflation Factor (3.0%) [1]			1.000	1.000	1.030	1.061	1.093	1.126	
Capital Expenditures									
<u>Capital Improvements:</u>									
1	Dillard St Improvements - SR 50 to Plant St	Rates	\$926,962	\$0	\$0	\$0	\$0	\$0	\$926,962
2	Trail Enhancement (Oval)	Rates	34,300	0	0	0	0	0	34,300
3	Regal Point (9th St) Canal Fabri-Form	Rates	155,350	0	0	0	0	0	155,350
4	Stormwater Pollution Control	Rates	0	0	232,265	0	0	0	232,265
5	S. Highland - Smith to Maple	Rates	0	0	0	10,927	64,143	77,660	152,730
6	S. Highland - Smith to Tremaine	Rates	0	0	0	10,927	64,143	77,660	152,730
7	N. Main Street - Plant to Newell	Rates	0	0	0	3,607	21,254	25,718	50,578
8	Midget Pl - Surprise to Palm	Rates	0	0	0	11,405	46,933	60,440	118,777
9	Palm Dr - Regal to Division	Rates	0	0	0	19,733	81,190	104,560	205,482
10	Replacement Ford F150 4X4	Rates	32,121	0	0	0	0	0	32,121
11	Stormwater Line Upgrade - E Plant/9th St	Reserves	0	0	0	1,591,350	0	0	1,591,350
12	Stormwater R&R Improvements	Rates	359,213	50,000	51,500	53,045	54,636	56,275	624,670
13	Public Works Replacement Metal Bldg (cost-share)	Rates	0	124,738	0	0	0	0	124,738
14	1507 N Fullers Cross Drainage Improvements	Rates	0	60,000	0	0	0	0	60,000
15	Temple Grove - 485' of CIPP Liner in storm pipes	Rates	0	127,525	0	0	0	0	127,525
16	Replace Vacoon (2008 in poor cond.) (cost-share)	Rates	0	161,001	0	0	0	0	161,001
17	Adjustment for FY19 Carryover	Reserves	1,770,416	0	0	0	0	0	1,770,416
18	Allowance for Additional System-wide Improvements	Rates	0	1,175,000	1,210,250	1,246,558	1,283,954	1,322,473	6,238,235
19	Total Capital Improvements		<u>\$3,278,362</u>	<u>\$1,698,264</u>	<u>\$1,494,015</u>	<u>\$2,947,552</u>	<u>\$1,616,253</u>	<u>\$1,724,786</u>	<u>\$12,759,231</u>
20	Total Capital Expenditures		<u>\$3,278,362</u>	<u>\$1,698,264</u>	<u>\$1,494,015</u>	<u>\$2,947,552</u>	<u>\$1,616,253</u>	<u>\$1,724,786</u>	<u>\$12,759,231</u>

**Table 6
City of Winter Garden
Stormwater Rate Study**

Escalated Capital Improvement Program

Line No.	Description	Funding Source	Projected Fiscal Year Ending September 30,					Totals	
			2020	2021	2022	2023	2024		2025
<u>Funding Sources:</u>									
21	Rate Revenues	Rates	\$1,507,946	\$1,698,264	\$1,494,015	\$1,356,202	\$1,616,253	\$1,724,786	\$9,397,465
22	Operating Reserves	Reserves	1,770,416	0	0	1,591,350	0	0	3,361,766
23	Renewal and Replacement Fund	RR	0	0	0	0	0	0	0
24	System Upgrade & Improvement Fund	Capital	0	0	0	0	0	0	0
25	Other Interfund Transfers	Other	0	0	0	0	0	0	0
26	Grants / Other Contributions	Grants	0	0	0	0	0	0	0
27	New Debt 1	Debt1	0	0	0	0	0	0	0
28	New Debt 2	Debt2	0	0	0	0	0	0	0
29	New Debt 3	Debt3	0	0	0	0	0	0	0
30	New Debt 4	Debt4	0	0	0	0	0	0	0
31	Total Funding Sources		<u><u>\$3,278,362</u></u>	<u><u>\$1,698,264</u></u>	<u><u>\$1,494,015</u></u>	<u><u>\$2,947,552</u></u>	<u><u>\$1,616,253</u></u>	<u><u>\$1,724,786</u></u>	<u><u>\$12,759,231</u></u>

Footnotes:

[1] Project costs were provided by City staff, which were increased by an annual inflation allowance of 3% per year from FY22-25.

Table 7
City of Winter Garden
Stormwater Rate Study

Projected Fund Balances & Interest Income

Line No.	Description	Projected Fiscal Year Ending September 30,					
		2020	2021	2022	2023	2024	2025
<u>Operating Fund</u>							
1	Beginning Balance [1]	\$4,193,535	\$1,814,557	\$1,645,491	\$1,869,109	\$689,785	\$892,947
2	Sale of Assets	0	0	0	0	0	0
3	Misc. Adjustments	0	0	0	0	0	0
4	Transfers In - Revenues	1,593,896	2,016,746	2,218,421	2,285,646	2,352,871	2,420,096
5	Transfers Out - Net Revenue Requirements	2,202,457	2,185,813	2,192,670	2,260,123	2,325,553	2,391,958
6	Transfers Out - CIP	1,770,416	0	0	1,591,350	0	0
7	End of Year Transfer In/ (Out)	0	0	197,868	386,503	175,844	120,257
8	Interest Rate (Short Term)	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%
9	Interest Income	15,000	9,000	9,000	6,000	4,000	5,000
10	Recognition Of Interest in Revenue Requirements	15,000	9,000	9,000	6,000	4,000	5,000
11	Ending Balance	\$1,814,557	\$1,645,491	\$1,869,109	\$689,785	\$892,947	\$1,041,342
12	TOTAL INTEREST INCOME	\$15,000	\$9,000	\$9,000	\$6,000	\$4,000	\$5,000

Footnotes:

[1] The beginning balance was derived from the City's audited CAFR as of September 30, 2019.

Table 8
City of Winter Garden
Stormwater Rate Study

Comparison of Monthly Residential Stormwater Rates [1]

Line No.	Description	Monthly Stormwater Rate per EDU	Impervious Surface per EDU
<u>City of Winter Garden</u>			
1	Existing Fee [2]	\$6.00	4,077
2	Proposed Fee - FY2021 [2]	\$8.00	4,077
<u>Other Florida Utilities</u>			
3	City of Altamonte Springs	6.75	2,492
4	City of Apopka [3]	2.08	2,634
5	City of Casselberry	8.65	2,304
6	City of Lake Mary	4.00	4,576
7	City of Longwood	6.00	2,898
8	City of Maitland	9.60	2,532
9	City of Ocoee [4]	8.50	2,054
10	City of Orlando [5]	9.99	2,000
11	City of Oviedo	10.61	2,464
12	City of Sanford	9.27	2,126
13	City of Winter Park	11.56	2,324
14	City of Winter Springs	5.50	2,123
15	Other Florida Utilities' Average	\$7.71	2,544

Footnotes

- [1] Unless otherwise noted, amounts shown reflect rates in effect August 2020 and are exclusive of taxes or franchise fees, if any. All rates are as reported by the respective City/County.
- [2] Rate shown above includes the sum of the base and contribution fees for EDU plus the administrative charge of \$0.87 per lot or parcel.
- [3] Base fee of \$15 per parcel with an additional fee of one EDU * at a rate of \$10 for a building structure/improvement. The total fee is then divided into 12 monthly payments.

Table 8
City of Winter Garden
Stormwater Rate Study

Comparison of Monthly Residential Stormwater Rates [1]

- [4] Rate assumes a Class 3 dwelling with rates effective October 1, 2011 based on the following schedule:

<u>Dwelling Size - Class</u>	<u>Monthly Fee</u>
Class 1 (up to 1,199 sq. ft)	\$7.00
Class 2 (1,200 to 1,999 sq. ft)	8.25
Class 3 (2,000 to 2,999 sq. ft.)	8.50
Class 4 (Over 3,000 sq. ft.)	8.75

- [5] Rate is based on the annual fee amount of \$119.88 divided into 12 monthly payments.

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: October 13, 2020 **Meeting Date:** October 22, 2020

Subject: 855 & 955 S Dillard St
Central Parc at Winter Garden PCD
Ordinance 20-47
PARCEL ID # 12-22-27-6496-21-013; 12-22-27-6496-21-008

Issue: The applicant is requesting to rezone the property located at 855 & 955 S Dillard Street from C-2 (Arterial Commercial) and PCD (Planned Commercial Development) to PCD.

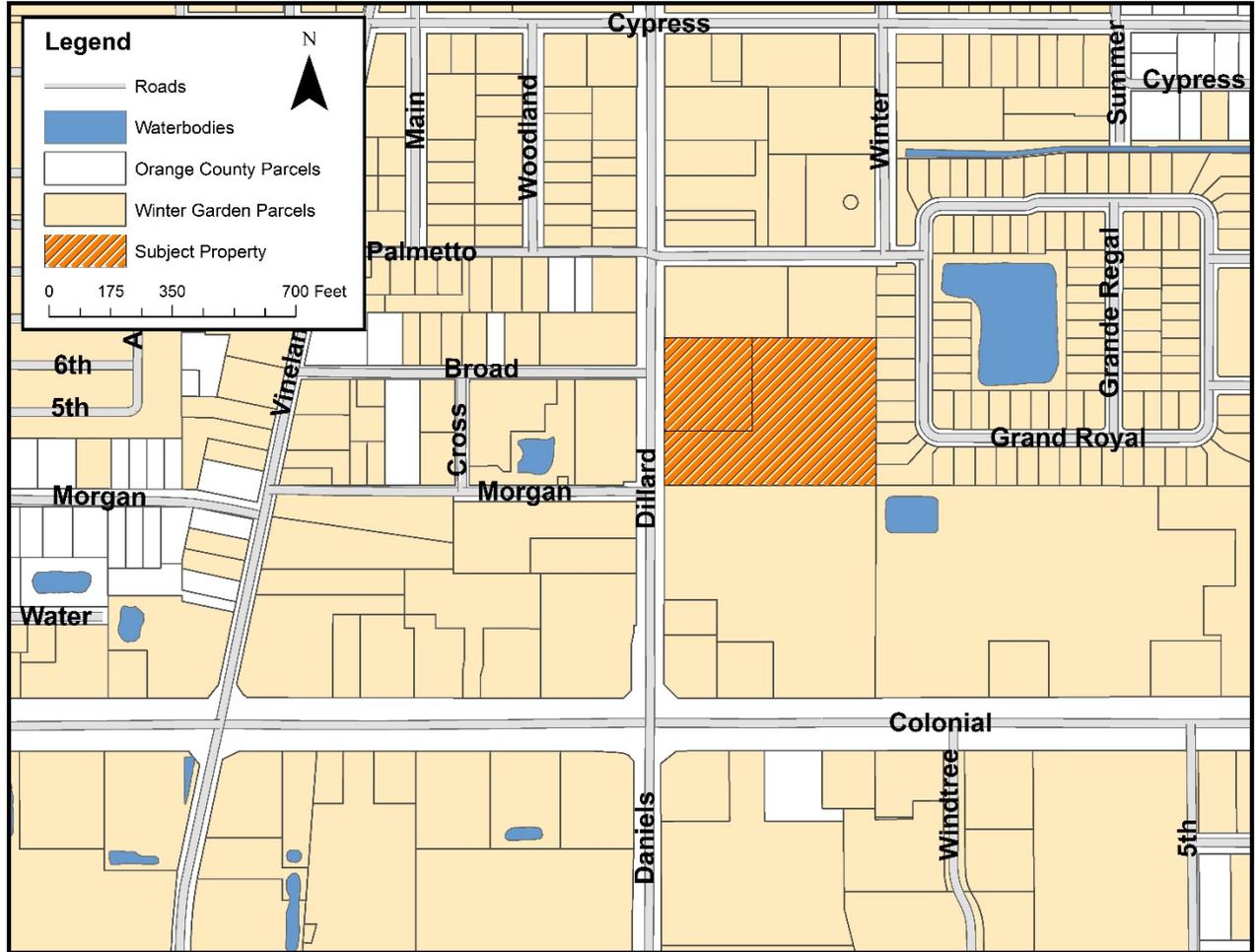
Discussion: The applicant is requesting to rezone the +/- 5.83 acre property at 855 & 955 S Dillard Street to PCD to permit the development of the project, which includes four new buildings: two townhome buildings with a total of 19 residential units; an 11,850 square foot two-story commercial/office building, and a 49,450 square foot building with 24,150 square feet of commercial/office space on the first floor and 14 multi-family residential units (condos) on the second floor. The development also includes associated site development such as recreation facilities, parking, sidewalks, pedestrian amenities, landscaping, buffering, and open spaces (See Staff Report). The proposed rezoning is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances.

Recommended Action:
Staff recommends approval and adoption of Ordinances 20-47.

Attachment(s)/References:
Location Map
Staff Report
Ordinance 20-47

LOCATION MAP

855 & 955 S Dillard St
PCD Rezoning



ORDINANCE 20-47

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 5.83 +/- ACRES OF LAND GENERALLY LOCATED AT 855 & 955 SOUTH DILLARD STREET, EAST OF SOUTH DILLARD STREET, SOUTH OF EAST PALMETTO STREET, NORTH OF WEST COLONIAL DRIVE, AND WEST OF GRAND ROYAL CIRCLE; FROM C-2 (CENTRAL COMMERCIAL DISTRICT) AND FROM THE EXISTING PLANNED COMMERCIAL DEVELOPMENT (PCD) ADOPTED BY ORDINANCE 06-23, TO PCD (PLANNED COMMERCIAL DEVELOPMENT) AS SET FORTH IN THIS ORDINANCE; PROVIDING FOR CERTAIN PCD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE CENTRAL PARC AT WINTER GARDEN PCD; REPEALING AND REPLACING ORDINANCE 06-23; AND PROVIDING FOR SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

WHEREAS, the owner(s) of real property generally described as approximately 5.83 ± acres of certain real property generally located at 855 and 955 South Dillard Street, east of South Dillard Street, south of East Palmetto Street, north of West Colonial Drive, and west of Grand Royal Circle in Winter Garden, Florida, being more particularly described on Exhibit "A" attached hereto and incorporated herein by this reference (the "Property"), desire to rezone their property from PCD (Planned Commercial Development) and C-2 (Arterial Commercial) to PCD (Planned Commercial Development) pursuant to the terms and conditions of this Ordinance, and

WHEREAS, on July 27, 2006 the City Commission of the City of Winter Garden approved Ordinance 06-23, which rezoned approximately 4.30 +/- acres of the Property from C-2 to PCD; and

WHEREAS, the owner(s) of the Property have requested to amend the approved PCD by repealing and replacing Ordinance 06-23 with this Ordinance, and including the PCD conditions and requirements identified herein; and

WHEREAS, the owner(s) of the Property have requested to rezone the remaining 1.53 +/- acre portion of the Property from C-2 to PCD, including the PCD requirements identified herein; and

WHEREAS, the Planning and Zoning Board has considered this Ordinance and made a recommendation to the City Commission concerning its adoption; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption

of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the City of Winter Garden Code of Ordinances, and

WHEREAS, the City Commission finds based on competent substantial evidence in the record that the PCD approved by this Ordinance meets all applicable criteria for rezoning under the Comprehensive Plan and the Code of Ordinances, therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. The above “Whereas” clauses constitute findings by the City Commission. After due notice and public hearing, the 4.30 +/- acres of the Property affected by PCD Ordinance 06-23 is hereby repealed and replaced with this Ordinance, and the other 1.53 +/- acres of the Property is hereby rezoned from C-2 to PCD, and the entire 5.83 +/- acres of the Property is zoned PCD (Planned Commercial Development) subject to the following conditions, provisions, and restrictions:

- a. **Development Plans.** All development on the Property must substantially conform to the requirements identified in the Central Parc at Winter Garden Planned Commercial Development Plan attached hereto as Exhibit “B.” Should any conflict be found between this Ordinance and the Central Parc at Winter Garden Planned Commercial Development Plan attached hereto as Exhibit “B”, then the standards and conditions established by this Ordinance shall control.
- b. **Applicability / Conflict.** Unless specifically identified in this Ordinance, all development on the Property identified in Exhibit “A” must comply with the general development standards of the C-1 Central Commercial Zoning District. Notwithstanding anything to the contrary herein, all development of or within the Property shall comply with and is subject to all requirements in the City Code, and ordinances, resolutions, and policies of the City. To the extent of any express conflicts between the express provisions of this Ordinance pertaining to permitted uses, special exception uses, prohibited uses, architectural design criteria, and other development criteria and the City Code and ordinances, resolutions, and policies of the City, the requirements set forth herein shall control to the extent of the conflict.
- c. **Intent.** This Ordinance is intended to provide flexibility in the development of the Property in order to provide for proper growth and to guide development and construction in an integrated approach in order to promote a dynamic mixed use development for commerce, social activity, and housing while also providing an aesthetically pleasing and pedestrian oriented development. Due to constraints in traffic at the proposed location, permitted and special exception uses will be established to maintain a safe, well developed project that enhances and supports the City and its citizens without causing distress on the local businesses, residents, and roads.

d. Design Criteria / Architectural Standards.

1. **Architecture** - Any new proposed buildings or structures on the property shall adhere to the aesthetic character and design quality of the proposed architectural elevations and renderings, attached hereto as Exhibit "C".
2. **Landscape Design** – Landscape shall be required to adhere to the landscape design standards shown in Exhibit B as well as the standards for specified commercial corridors in accordance with Chapter 118, Article X, Division 3 of the City of Winter Garden Code of Ordinances.
 - i. The lawn/retention area shown in front of Building 3 townhomes in Exhibit B shall be designed to be a usable recreation area, and shall not hold standing water after a rain event.
 - ii. A low fence or knee wall shall be installed around the lawn/retention & playground area as shown in Exhibit B.
3. **Site Furnishings** – Bicycle parking spaces shall be provided in a quantity commensurate with the proposed uses. Benches and trash receptacles shall be provided near the main building entrances.
4. **Perimeter Walls** – Applicant shall coordinate with the adjacent residential subdivision to the east of the Property to refurbish the existing perimeter wall. All perimeter walls shown in Exhibit B shall be min. 6' in height, clad with a masonry (brick/stone) or stucco finish and a decorative cap. Painted CMU is not considered an acceptable cladding material.
5. **Impervious Surface Area Ratio**- The maximum impervious surface area ratio for the Property shall be consistent with the overall maximum impervious surface area ratio that the Planned Commercial Development is permitted by the Saint John's River Water Management District.
6. **Site Lighting** - all exterior lighting shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles. Exterior lighting shall be designed as dark skies lighting in a consistent and coordinated manner for the entire project in compliance with the requirements of Chapter 118, Article X, Division 4 of the City Code of Ordinances. The proposed light fixtures shall be consistent throughout the development.
7. **Signage**-
 - i. Given the building's orientation towards the street and the Dillard Street improvements, the site signage will be required

to be pedestrian-oriented in size and scale.

- ii. One (1) monument sign is permitted along S Dillard Street, and it must adhere to the 25 MPH requirements of City Code Chapter 102 - Signs. This sign is required to be set back min. 5' from the front and side property lines and may not impede pedestrian or bicycle traffic.
 - iii. No exterior signage is allowed above the first floor of the building.
 - iv. All other signage shall adhere to the requirements of Chapter 102 – Signs.
8. **Building Height-** The maximum building height for all buildings shall not exceed 40 feet.
9. **Setbacks and Required Yards-** All building setbacks shall be measured from the PCD boundaries.
- i. Front (Dillard Street): 15' max., 0' min.
 - ii. Front (internal): 0' min.
 - iii. Side: 10' min.
 - iv. Rear: 35' min.
- e. **Permitted Uses-** The permitted uses allowed on the Property are as follows:
1. Professional Office, Business Office, and Medical Office.
 2. Sit-Down Restaurants.
 3. Retail establishments (except those retail uses not allowed by the prohibited uses).
 4. Upper-story residential with a maximum of 14 total multi-family residential units.
 5. Townhomes.
 6. Accessory uses and structures that are clearly secondary and subordinate to a principal permitted use.
- f. **Special Exception Uses-** The special exception uses for this Property are as follows:
1. House of Worship.
 2. Daycare Center or School.
 3. Sports Facilities or Entertainment uses.
 4. Emergency or urgent care medical.
 5. Other uses which the Planning and Zoning board determines are of the type and intensity of activity similar to and compatible with the permitted uses.

g. Prohibited Uses- Any use not specifically set forth in this Ordinance as a Permitted or Special Exception Use is prohibited. Without limiting the foregoing, the following are expressly prohibited:

1. Drive-thru foods or any other buildings with a drive-thru window.
2. Outdoor storage of products/material, storage yard, vehicle storage yard, contractor yard.
3. Industrial uses.
4. Laundromat, laundry dry-cleaning.
5. Medical laboratories.
6. Mini-warehousing or self-storage.
7. Funeral Home.
8. Crematorium.
9. Storage, sales, service of vehicles including but not limited to automobiles, trucks, boats, watercraft, trailers, motorcycles, sheds or equipment.
10. Gas station and convenience store.
11. Quick check/loan.
12. Communication towers.
13. Billboards.
14. Body art establishment.
15. Tobacco sales.
16. Body rub, body scrub or massage parlor.
17. Adult or pornographic book, magazine, video and novelty stores or sales.
18. Adult entertainment.
19. Nightclubs.
20. Agricultural uses or processing.
21. Pawn shop.
22. Temporary structures such as trailers, sheds or metal containers.
23. Recycling facilities.
24. Medical marijuana treatment center dispensing facilities.
25. Any use not in keeping with a high quality, pedestrian-oriented, mixed-use development.

SECTION 2: Staff Conditions.

1. The final engineering plans will be required to incorporate the 100% design drawings for the new Dillard Street redesign. The City's Dillard Street Consultants will review for conformity with the Conceptual Master Plan and final plans.

2. Per City Code, there is a requirement for masonry block, metal, or concrete exterior and interior load bearing walls.
3. Any relocation of existing utilities required will be the responsibility of the Developer.
4. Platting will be required providing easements for cross access, drainage and utilities, as well as providing an entity for maintenance of shared facilities. Plat shall be recorded prior to issuance of a certificate of occupancy of any building.

The plat requirements will apply whether a “condo plat” or conventional record plat, and shall provide an entity (POA) for the maintenance of the shared common facilities (stormwater; open space; lift station; etc.). No condo documents will be sent to the State prior to the City’s approval.

5. Approval from Solid Waste Division of Public Services and WG Fire Department required.
6. Cross access to the property to the north will be required as shown.
7. Landscaping shall not encroach on required sight lines at intersections or driveways.
8. No canopy trees shall be planted over or within 5 feet of any utility lines.
9. Tree Removal Permit issued by the City of Winter Garden Building Department will be required prior to final plan approval. As required by Code (Sec. 114-70), submittal of the Tree Removal Permit application is required with the preliminary plat submittal. Coordinate with Building Department.
10. 5’ wide (minimum) concrete sidewalks shall be constructed along all street frontages pursuant to City Code, and will be checked at final inspection. Any damaged, broken or incomplete sidewalks, curbs or pavement shall be replaced by the Owner/Contractor at the Owner/Contractor’s expense.
11. Internal sidewalks shall connect to the public sidewalks in the right-of-way per ADA.
12. All dumpsters, shall be enclosed and shall provide 12’ minimum inside clearance each way. Approval from Public Services Solid Waste Division is required.
13. A conceptual utility plan has been provided. This will be reviewed and commented on further at the preliminary plat and final construction plan phases (i.e. connection points, line sizes, etc.).
14. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the

Developer's expense, including potable water, reclaimed water and sanitary sewer. Final plans shall detail all connections including fire protection, reuse water and domestic water supply. All irrigation on the site shall be designed to be supplied by reclaimed water when available and shall be served by a jumper to potable water until that time.

15. The buildings may require fire sprinklers subject to review and approval by the Building and Fire Departments.
16. 100% of the water/sewer impact fees shall be paid prior to site or building permit issuance or execution of FDEP permit applications by the City. Gravity sanitary laterals and pipes shall be SDR 26 per City standards. Use City Standard Detail Sheets for utilities and public works. All on-site utilities shall be privately owned and maintained.
17. A lift station will be required to serve multiple owners and connect to the force main in S Dillard Street. The lift station shall be owned and maintained by the City and will be installed per City Standards. A minimum 30'x30' tract will be required (as shown).

As discussed at the 4/22/20 DRC meeting, alternates for constructing a new on-site lift station shall be investigated with the final design that may include extending the gravity line thru the north side of the Tri-City shopping center and re-building the existing City lift station at the SW corner of the site (in lieu of building a new one on the project site).

18. All utilities shall conform to Chapter 78 of the City Code. Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all required water, irrigation and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.
19. A Stormwater Pond is shown on the eastern side of the site. No fill or runoff will be allowed onto adjacent parcels. Transition slopes shall be provided to match existing grade at property line. Existing drainage patterns shall not be altered. Providing positive drainage within the site is the responsibility of the Design Engineer. The City will not maintain any portion of the on-site or off-site drainage systems or parking lot.

Provide geotechnical report to support stormwater design with final construction plans – this area has a high water table and clayey soils – not conducive to underground exfiltration or infiltration without underdrains.

20. Streetlighting both internally and on all street frontages is required pursuant to City Code – dark skies lighting is required. Coordinate with the City’s Dillard Street lighting design plans with final plans.
21. Permits or exemptions shall be provided from SJRWMD for stormwater and FDEP for water, wastewater and NPDES NOI.
22. Fire sprinkler systems will be required on all buildings over 6,000 s.f. with Point of Service (POS), backflow prevention, etc. shown. All work downstream of the POS shall be performed by a licensed fire sprinkler contractor. Show with final plans.
23. Any screen walls or retaining walls shall require a separate permit from the Building Department.
24. The use of Thermoplastic pipe shall meet all City material and installation requirements as specified in the City’s Standards & Specifications including Class I bedding, HP polypropylene pipe, laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).
25. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
26. All work shall conform to City of Winter Garden standards and specifications.
27. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
28. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
29. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others, including by way of any development order or permit issued. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City shall not be responsible and any corrective measures required will be the responsibility of the Owner/Developer. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as

contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

30. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of **2.25%** of the cost of all site improvements shall be paid prior to issuance of the building permit.

SECTION 3: *General Requirements.*

- a. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- b. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- c. **Expiration/Extension-** Expiration of this PCD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION 4: *Zoning Map.* The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 5: *Non-Severability.* Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 6: *Repeal and Replace.* This Ordinance repeals and replaces Ordinance 06-23.

SECTION 7: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

Exhibit "A"

Parcel ID: 12-22-27-6496-21-013; 12-22-27-6496-21-008

Legal Description:

A PARCEL OF LAND SITUATED IN WINTER GARDEN, FLORIDA, AND KNOWN AS A PORTION OF BLOCK T, OVERSTREET CRATE COMPANY'S SUBDIVISION, AS RECORDED IN PLAT BOOK F, PAGE 9, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND LYING IN THE SOUTHEAST 1/4 OF SECTION 23, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE POINT WHERE THE EASTERLY RIGHT OF WAY LINE OF SOUTH DILLARD STREET INTERSECTS WITH THE SOUTHERLY RIGHT OF WAY LINE OF PALMETTO STREET; THENCE SOUTH 00°12'05" WEST ALONG THE EASTERLY RIGHT OF WAY LINE OF SOUTH DILLARD STREET A DISTANCE OF 200.00 FEET MORE OR LESS, TO A 4 INCH SQUARE MONUMENT FOUND ON THE SOUTHWEST PROPERTY COMER OF THE FIRST UNION BANK AND BEING THE TRUE POINT OF BEGINNING FOR THE PARCEL OF LAND HEREIN DESCRIBED; THENCE SOUTH 89°50'3 L" EAST ALONG THE SOUTHERLY BOUNDARY OF THE FIRST UNION BANK A DISTANCE OF 599.71 FEET TO A 1 INCH IRON PIPE FOUND ON THE SOUTHEAST PROPERTY COMER OF THE FIRST UNION BANK; THENCE SOUTH 00°09'59" WEST A DISTANCE OF 423.41 FEET TO A 1 INCH IRON PIPE FOUND ON THE NORTHEAST PROPERTY COMER OF THE TRI-CENTER PLAZA; THENCE NORTH 89°55'55" WEST ALONG THE NORTHERLY BOUNDARY OF THE TRI-CENTER PLAZA, A DISTANCE OF 599.78 FEET TO A 1 INCH IRON PIPE FOUND ON THE EASTERLY RIGHT OF WAY LINE OF SOUTH DILLARD STREET AND ON THE NORTHWEST PROPERTY COMER OF THE TRI-CENTER PLAZA; THENCE NORTH 00°12'05" EAST ALONG THE EASTERLY RIGHT OF WAY LINE OF SOUTH DILLARD STREET A DISTANCE OF 424.34 FEET TO A 4 INCH SQUARE CONCRETE MONUMENT FOUND ON THE SOUTHWEST PROPERTY COMER OF THE FIRST UNION BANK AND BEING THE TRUE POINT OF BEGINNING.

Exhibit "B"

COVER PAGE

Central Parc at Winter Garden Planned Commercial Development Plan

(6 PAGES - ATTACHED)

CENTRAL PARC AT WINTER GARDEN PRELIMINARY DEVELOPMENT PLAN

DILLARD STREET, WINTER GARDEN, FL



**PRELIMINARY, NOT
FOR CONSTRUCTION**

PROJECT TEAM

OWNER/APPLICANT:
WINTER GARDEN DEVELOPMENT PARTNERS, LLC
52 RILEY ROAD, STE 155
CELEBRATION, FL 34747
(407) 616-3248
MARK GERENGER

ARCHITECT:
STOA STUDIOS, LLC
52 RILEY ROAD, STE 374
CELEBRATION, FL 34747
(407) 749-0789
BRANDT HAY

ENGINEER:
BRAVO ENGINEERING, LLC
7221 ALOMA AVE, STE 300
WINTER PARK, FL 32792
(407) 252-1671
CHRIS BRAVO

GEOTECH ENGINEER:
CAVIN GEOTECHNICAL & ENVIRONMENTAL, LLC
601 ISLEBAY DR
APOLLO BEACH, FL 33572
(813) 319-3966
SCOTT CAVIN

TRAFFIC ENGINEER:
LUKE TRANSPORTATION ENGINEERING CONSULTANTS
P. O. BOX 941556
MAITLAND, FL 32794
(407) 423-8055
TONY LUKE

SURVEYOR:
BISHMAN SURVEYING & MAPPING, INC
32 W. PLANT ST
WINTER GARDEN, FL 34787
(407) 905-8877
ARON D. BISHMAN

LANDSCAPE ARCHITECT:
BONNETT DESIGN GROUP, LLC
400 SOUTH ORLANDO AVE, STE 201
MAITLAND, FL 32751
(407) 622-1588
TODD BONNETT

SERVICE INFORMATION

WATER & SEWER:
WINTER GARDEN UTILITIES
300 W PLANT ST
WINTER GARDEN, FL 34787
(407) 656-4100

TELEPHONE:
CENTURYLINK
(877) 579-3689

ELECTRIC:
DUKE ENERGY
(407) 629-1010

GAS:
LAKE APOPKA GAS
1320 WINTER GARDEN-VINELAND RD
WINTER GARDEN, FL 34787
(407) 656-2734

CATV:

SOLID WASTE, FIRE AND POLICE PROTECTION:

VICINITY MAP



SCALE: NTS

LEGAL DESCRIPTION

(as provided by Owner)

A PARCEL OF LAND SITUATED IN WINTER GARDEN, FLORIDA, AND KNOWN AS A PORTION OF BLOCK T, OVERSTREET CRATE COMPANY'S SUBDIVISION, AS RECORDED IN PLAT BOOK F, PAGE 9, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND LYING IN THE SOUTHEAST 1/4 OF SECTION 23, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE POINT WHERE THE EASTERLY RIGHT OF WAY LINE OF SOUTH DILLARD STREET INTERSECTS WITH THE SOUTHERLY RIGHT OF WAY LINE OF PALMETTO STREET; THENCE SOUTH 00°12'05" WEST ALONG THE EASTERLY RIGHT OF WAY LINE OF SOUTH DILLARD STREET A DISTANCE OF 200.00 FEET MORE OR LESS, TO A 4 INCH SQUARE MONUMENT FOUND ON THE SOUTHWEST PROPERTY CORNER OF THE FIRST UNION BANK AND BEING THE TRUE POINT OF BEGINNING FOR THE PARCEL OF LAND HEREIN DESCRIBED; THENCE SOUTH 89°50'31" EAST ALONG THE SOUTHERLY BOUNDARY OF THE FIRST UNION BANK A DISTANCE OF 599.71 FEET TO A 1 INCH IRON PIPE FOUND ON THE SOUTHEAST PROPERTY CORNER OF THE FIRST UNION BANK; THENCE SOUTH 00°09'59" WEST A DISTANCE OF 423.41 FEET TO A 1 INCH IRON PIPE FOUND ON THE NORTHEAST PROPERTY CORNER OF THE TRI-CENTER PLAZA; THENCE NORTH 89°55'55" WEST ALONG THE NORTHERLY BOUNDARY OF THE TRI-CENTER PLAZA, A DISTANCE OF 599.78 FEET TO A 1 INCH IRON PIPE FOUND ON THE EASTERLY RIGHT OF WAY LINE OF SOUTH DILLARD STREET AND ON THE NORTHWEST PROPERTY CORNER OF THE TRI-CENTER PLAZA; THENCE NORTH 00°12'05" EAST ALONG THE EASTERLY RIGHT OF WAY LINE OF SOUTH DILLARD STREET A DISTANCE OF 424.34 FEET TO A 4 INCH SQUARE CONCRETE MONUMENT FOUND ON THE SOUTHWEST PROPERTY CORNER OF THE FIRST UNION BANK AND BEING THE TRUE POINT OF BEGINNING.

SHEET INDEX

SHEET NO.	TITLE
C0.0	COVER SHEET
C0.1	SURVEY (BY OTHERS, FOR INFO PURPOSES)
C1.0	PRELIMINARY DEVELOPMENT PLAN
C2.0	PRELIMINARY MANUEVERING PLAN
L101	TREE MITIGATION PLAN (BY OTHERS)
L401	LANDSCAPE PLAN (BY OTHERS)

PROJECT NARRATIVE

- THE APPLICANT PROPOSES TO COMBINE THE TWO PARCELS AND UPDATE THE PCD ZONING TO ALLOW DEVELOPMENT AS A COMMERCIAL, PROFESSIONAL, AND/OR MEDICAL USES
- THE SITE WILL REMAIN UNIFIED, BUT THE BUILDINGS WILL BE SOLD AS CONDOMINIUMS. A POA WILL BE CREATED, WHICH WILL OWN AND MAINTAIN THE DRAINAGE, SANITARY SEWER, LANDSCAPING, GARBAGE, ETC. THERE WILL BE CROSS ACCESS AND SHARED PARKING AGREEMENTS.
- THE EXISTING UTILITIES ALONG THE WEST SIDE OF THE PROPERTY WILL BE RELOCATED TO MINIMIZE THE FRONT SETBACK.
- THERE IS AN EXISTING 5' CMU SCREENWALL 24"± OFF THE PROPERTY LINE, EAST OF THE SITE, WHICH THE APPLICANT IS WILLING TO UPGRADE.
- EXISTING CONDITION PLAN INCLUDED FOR INFORMATION PURPOSES ONLY. BRAVO ENGINEERING, LLC DOES NOT CERTIFY TO ACCURACY OF THE INFORMATION SHOWN HEREON.
- THE PROJECT IS LOCATED WITHIN THE LAKE APOPKA DRAINAGE BASIN.

CENTRAL PARC AT WINTER GARDEN
DILLARD STREET, WINTER GARDEN, FLORIDA

COVER SHEET

BRAVO ENGINEERING, LLC
7221 ALOMA AVE, STE 300
WINTER PARK, FLORIDA 32792
Telephone: 407-252-1671

This sheet is a part of a larger project and should not be used in isolation. It is intended for informational purposes only and does not constitute a contract. For more information, please contact the project manager.

NO.	DATE	DESCRIPTION
1	10/20/17	CONCEPT PLAN
2	10/20/17	REVISED CONCEPT PLAN
3	11/13/17	REVISED CONCEPT PLAN INITIAL SUBMIT TO CITY
4	11/17/17	REVISED PER CITY COMMENTS
5	11/17/17	REVISED PER OWNER
6	11/22/17	REVISED PER CITY COMMENTS
7	11/22/17	REVISED PER CITY COMMENTS

DRAWN BY: CTB
CHECK BY: CTB
PROJECT NO.: 2017-15
PROJECT DATE: 10/12/17

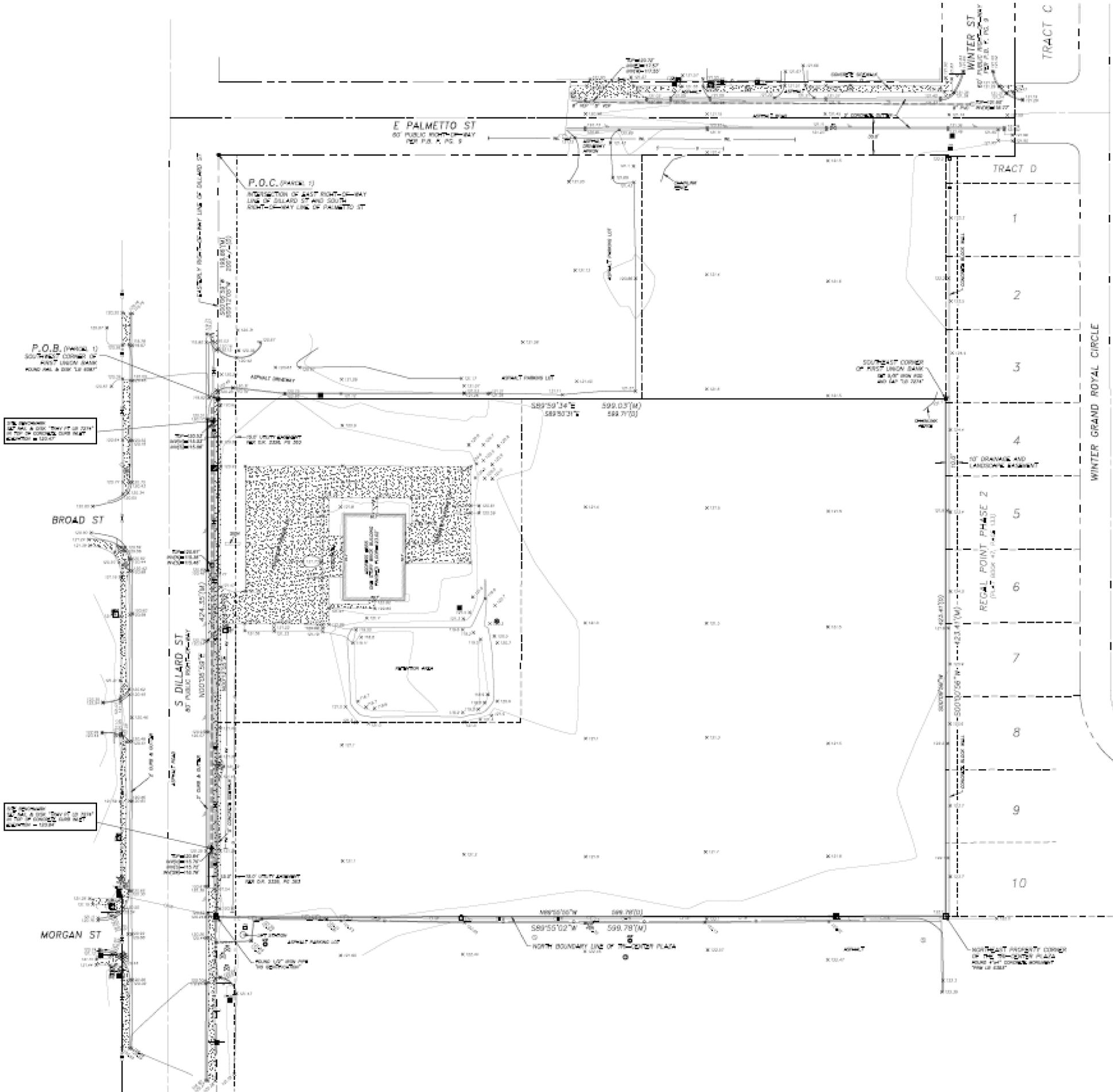
CHRISTOPHER T. BRAVO, P.E.
REGISTRATION # 58562
C.A. # 28953

C0.0

BOUNDARY AND TOPOGRAPHIC SURVEY

SECTION 23
TOWNSHIP 22 SOUTH
RANGE 27 EAST

SHEET 1 OF 1



DESCRIPTION

A PORTION OF LAND SITUATE IN WINTER GARDEN, FLORIDA, AND KNOWN AS A PORTION OF BLOCK 11, OVERSTREET DRIVE COMPANY'S SUBDIVISION, AS RECORDED IN PLAT BOOK 5, PAGE 9, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, AND LYING IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE POINT WHERE THE EASTERLY RIGHT-OF-WAY LINE OF SOUTH DILLARD STREET INTERSECTS WITH THE SOUTHWEST CORNER OF WAY LINE OF PALMETTO STREET, THENCE SOUTH 00°12'01" WEST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SOUTH DILLARD STREET A DISTANCE OF 200.00 FEET MORE OR LESS, TO A 4 INCH IRON MONUMENT FOUND ON THE SOUTHWEST PROPERTY CORNER OF THE FIRST UNION BANK AND BEING THE TRIP POINT OF BEGINNING FOR THE PARCELS OF LAND HEREIN DESCRIBED, THENCE SOUTH 89°03'11" EAST ALONG THE SOUTHWEST BOUNDARY OF THE FIRST UNION BANK A DISTANCE OF 593.01 FEET TO A 1 INCH IRON PIPE FOUND ON THE SOUTHWEST PROPERTY CORNER OF THE FIRST UNION BANK, THENCE SOUTH 00°00'00" WEST A DISTANCE OF 423.41 FEET TO A 1 INCH IRON PIPE FOUND ON THE NORTHWEST PROPERTY CORNER OF THE TRICENTURY PLAZA, THENCE NORTH 88°52'01" WEST ALONG THE NORTHERLY BOUNDARY OF THE TRICENTURY PLAZA A DISTANCE OF 598.78 FEET TO A 1 INCH IRON PIPE FOUND ON THE EASTERLY RIGHT-OF-WAY LINE OF SOUTH DILLARD STREET AND ON THE NORTHWEST PROPERTY CORNER OF THE TRICENTURY PLAZA, THENCE NORTH 00°12'01" EAST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SOUTH DILLARD STREET A DISTANCE OF 434.34 FEET TO A 4 INCH SQUARE CONCRETE MONUMENT FOUND ON THE SOUTHWEST PROPERTY CORNER OF THE FIRST UNION BANK AND BEING THE TRIP POINT OF BEGINNING.

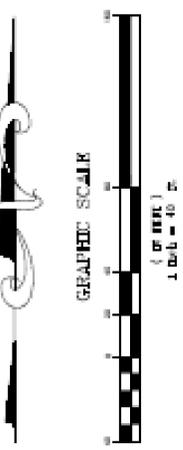
THE ABOVE DESCRIBED PROPERTY CONTAINS GLEBE ACROSS WORK OF 1800.

- SURVEYORS NOTES:**
- NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL, OR DIGITAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND APPROVED PRINTED COPIES OF A DIGITAL SIGNATURE AND ORIGINAL SURVEY ARE NOT VALID.
 - LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, DOWER, OR OTHER INSTRUMENTS OF RECORD, BY THIS AREA.
 - REVISIONS DO NOT CONSTITUTE A RE-IDENTIFICATION OF THE EXISTING FIELD CONDITIONS OF THIS SURVEY.
 - BEARINGS SHOWN HEREON ARE BASED ON THE EAST RIGHT-OF-WAY LINE OF SOUTH DILLARD STREET AS SHOWN HEREON'S (ASSUMED).
 - THE DESCRIPTION SHOWN HEREON WAS SUPPLIED BY THE CLIENT.
 - UNDERGROUND IMPROVEMENTS AND INSTALLATIONS HAVE NOT BEEN LOCATED.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATIONS INDICATED, ALTHOUGH HE EXERCISES DUE CARE AND ACCURACY AS POSSIBLE. ANY ADDITIONAL INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PERSONALLY LOCATED THE UNDERGROUND UTILITIES.
 - THE LANDS SHOWN HEREON LIE ENTIRELY WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE STATE ANNUAL CHANGE FLOOD) ACCORDING TO "MM" MAP NO. 1208800200K, COMMUNITY NO. 120179, DATED SEPTEMBER 23, 2009.
 - THE ELEVATIONS SHOWN HEREON ARE BASED ON NA83 (NORTH AMERICAN VERTICAL DATUM OF 1983) DATUM FOR ORANGE COUNTY GROUND MARK NUMBER 1653205, ELEVATION = 110.734'.
 - SEE BENCHMARKS AND SHOWN HEREON.
 - THE ALIENATIVE FEE FOR THIS PROJECT IS THE PROPERTY OF BISHMAN SURVEYING AND MAPPING, INC. AND IS NOT THE PROPERTY OF THE CLIENT.

LEGEND/ABBREVIATIONS

ALL DISTANCES AND BEARINGS UNLESS OTHERWISE NOTED ARE IN FEET

+	IRON MONUMENT	○	IRON PIPE
●	WOODEN MONUMENT	○	WOODEN PIPE
○	CONCRETE MONUMENT	○	CONCRETE PIPE
○	ALUMINUM MONUMENT	○	ALUMINUM PIPE
○	BRASS MONUMENT	○	BRASS PIPE
○	STEEL MONUMENT	○	STEEL PIPE
○	COPPER MONUMENT	○	COPPER PIPE
○	ZINC MONUMENT	○	ZINC PIPE
○	LEAD MONUMENT	○	LEAD PIPE
○	IRON MONUMENT	○	IRON PIPE
○	WOODEN MONUMENT	○	WOODEN PIPE
○	CONCRETE MONUMENT	○	CONCRETE PIPE
○	ALUMINUM MONUMENT	○	ALUMINUM PIPE
○	BRASS MONUMENT	○	BRASS PIPE
○	STEEL MONUMENT	○	STEEL PIPE
○	COPPER MONUMENT	○	COPPER PIPE
○	ZINC MONUMENT	○	ZINC PIPE
○	LEAD MONUMENT	○	LEAD PIPE
○	IRON MONUMENT	○	IRON PIPE
○	WOODEN MONUMENT	○	WOODEN PIPE
○	CONCRETE MONUMENT	○	CONCRETE PIPE
○	ALUMINUM MONUMENT	○	ALUMINUM PIPE
○	BRASS MONUMENT	○	BRASS PIPE
○	STEEL MONUMENT	○	STEEL PIPE
○	COPPER MONUMENT	○	COPPER PIPE
○	ZINC MONUMENT	○	ZINC PIPE
○	LEAD MONUMENT	○	LEAD PIPE



STATEMENT OF AUTHORIZATION LB 7274
32 W. PALM STREET
WINTER GARDEN, FL 34787
Phone No. 407.905.8877
Fax No. 407.905.8875

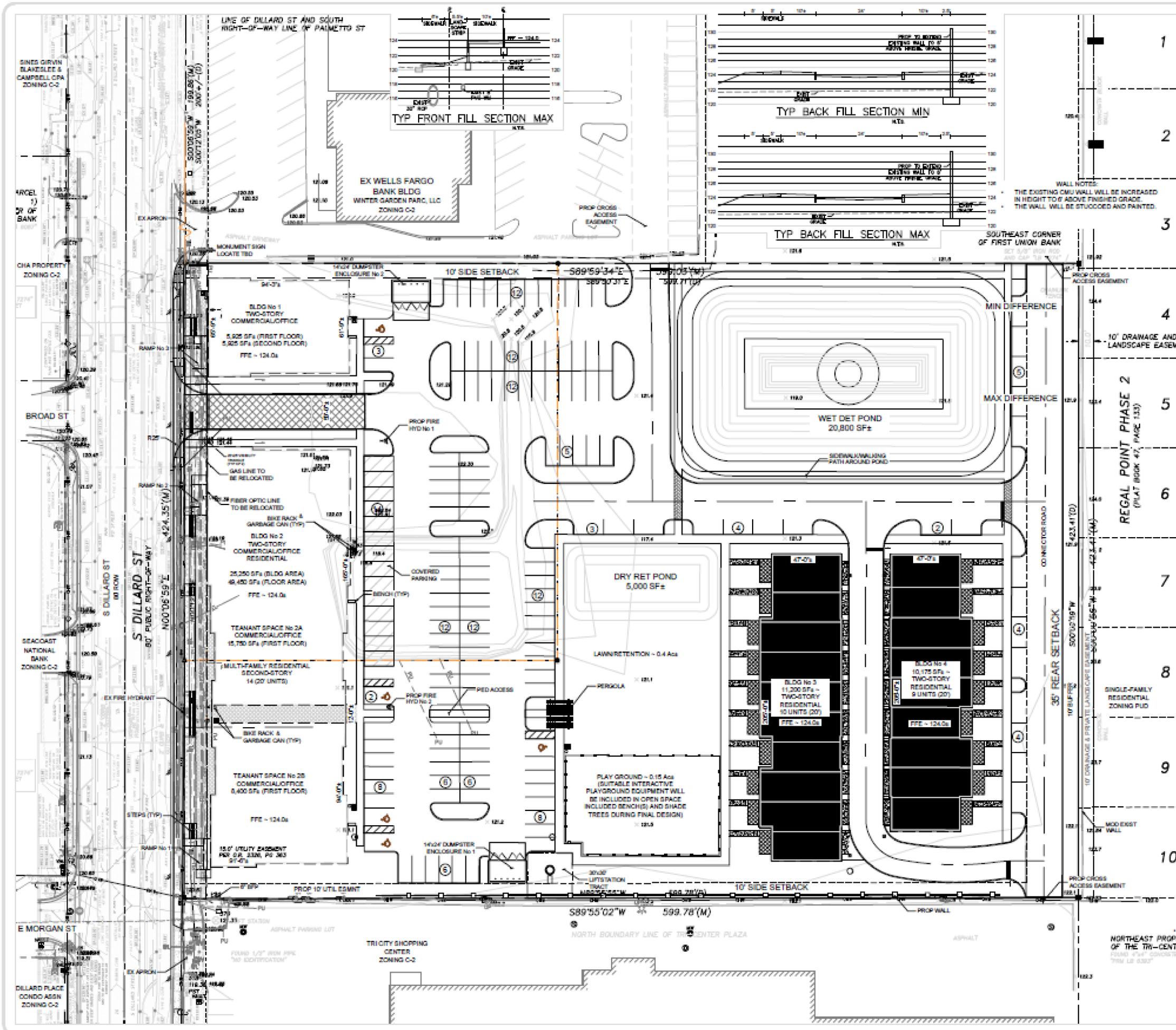
ARON D. BISHMAN, P.S.M. FLORIDA REGISTRATION NO. 5686

REVISIONS:

01/07/2008	ISSUE FOR CITY COUNCIL
05/04/2008	ADDITIONAL SPOT ELEVATIONS

JOB NUMBER: 19012.000

SURVEY DATE:	11/2007/09
FIELD BY:	A. BISHMAN
FIELD BOOK:	1902 / 1908
PAGES:	10-12 / 69
FIELD FILE:	19012.CAD
DRAWING FILE:	19012-2.DWG



SITE DATA

CONTIGUOUSLY OWNED AREA : 254,115 SF± (5.83 ACRES)

ZONING : PD
 EXISTING LAND USE : CHURCH/VACANT
 PROPOSED USE : MIXED USE (SEE USE TABLE NO.08)
 BUILDING HEIGHT : <50'
 F.A.R. : 0.27

BUILDING SETBACKS :
 FRONT : 0'
 SIDE : 10'
 REAR : 35'

PROPOSED AREAS

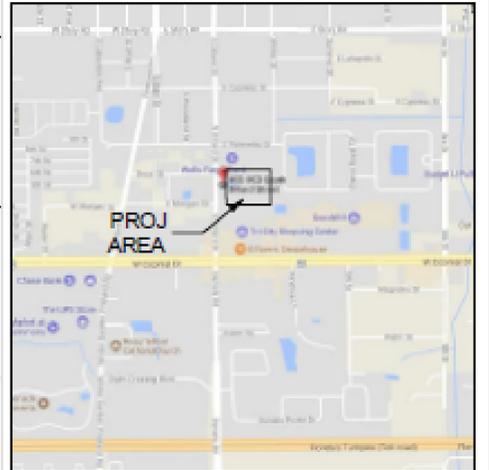
BUILDINGS : 0.27 AC± (FOOTPRINT)
 PARKING/DRIVEWAYS : 2.15 AC±
 SIDEWALK/OTHER : 0.35 AC±
 TOTAL IMPERVIOUS AREA : 3.47 AC± (59.58)
 NET POND AREA : 0.54 AC±
 PONDIOUS AREA : 1.82 AC±
 OPEN SPACE : 2.38 AC± (41.58)

PARKING

COMMERICAL/MIXED USE
 3 SPACES PER 1,000 SF BUILDING FLOOR AREA
 36,000 SF± @ 350/1,000 SF (SF) 108

RESIDENTIAL
 2 SPACES PER UNIT
 33 UNITS
 TOTAL SPACES REQ'D 141

PROVD
 STANDARD 138
 COVERED/SHAWNE 34
 HANDICAP 6
 TOTAL SPACES PROVD 178



USE TABLE

Permitted Uses	Special Exception Uses	Prohibited Uses
<ul style="list-style-type: none"> Art gallery, museum Bank or financial Business services Exercise gym Multi-family residential (above commercial uses) Multi-family residential (stand alone) Professional office Medical office Personal services Post office (in line as rental) Professional services Taco center Restaurants (no drive-thru) Non-profit park or playground 	<ul style="list-style-type: none"> Adult living facility House of worship Family day care Pre-K and Children's Recreational or community center "Entertainment" (stand alone) Emergency and essential Medical services Hotel 	<ul style="list-style-type: none"> Adult gambling/piano Ball bondman Billboards Cannery Quick check/clean Equipment rental (stand alone) Freeware sales or manufacturing Funeral home Heavy machinery Inconerator Junkyard Manufacturing Pawn shop Restaurant, drive-thru Tattoo parlor Truck stop Warehouse Wholesale Construction equipment Farm animals Car servicing Communication towers Gas station Medical Laboratories Education Mini-storage

CENTRAL PARC AT WINTER GARDEN
DILLARD STREET, WINTER GARDEN, FLORIDA
PRELIMINARY DEVELOPMENT PLAN

BRAVO ENGINEERING, LLC
 7321 ALMA AVE. STE 300
 WINTER PARK, FLORIDA 32792
 Telephone: 407-552-1671

NO.	REV.	DESCRIPTION
1	10/26/20	CONCEPT PLAN
2	08/04/21	RENDER CONCEPT PLAN
3	07/27/21	PRELIMINARY DEVELOPMENT PLAN
4	07/17/21	RENDER PER CITY COMMENTS
5	04/17/21	RENDER PER OWNER
6	04/17/21	RENDER PER OWNER
7	07/27/20	RENDER PER CITY COMMENTS
8	07/20/20	RENDER PER CITY COMMENTS

DRAWN BY: CTB
 CHECK BY: CTB
 PROJECT NO.: 2017-15
 PROJECT DATE: 10/12/17

C1.0

Exhibit "C"

COVER PAGE

Central Parc at Winter Garden Planned Commercial Development Architectural Design Standards

(6 PAGES - ATTACHED)

GNP

DEVELOPMENT

CENTRAL PARC AT WINTER GARDEN

DILLARD STREET REDEVELOPMENT • WINTER GARDEN, FLORIDA

Sheet:
A01
ARCHITECTURAL

Drawing:
COVER
SCALE: UNSCALED

Project:
CENTRAL PARC AT WINTER GARDEN
DILLARD STREET REDEVELOPMENT • WINTER GARDEN, FLORIDA

Date & Issue:
12 MARCH 2020
DESIGN REVIEW





PEDESTRIAN BREEEWAY

VEHICLE ENTRY

BUILDING 1: COMMERCIAL/OFFICE (1st Floor) + MULTI-FAMILY RESIDENTIAL (2nd Floor)

BUILDING 2: COMMERCIAL/OFFICE

Sheet:
A02
ARCHITECTURAL

Drawing:
ELEVATION • DILLARD STREET
SCALE: UNSCALED

Project:
CENTRAL PARC AT WINTER GARDEN
DILLARD STREET REDEVELOPMENT • WINTER GARDEN, FLORIDA

Date & Issue:
12 MARCH 2020
DESIGN REVIEW





TOP OF PARAPET
EL. 25'

CENTRAL PARC

CENTRAL PARC

PEDESTRIAN BREEZEWAY

Sheet:
A03
ARCHITECTURAL

Drawing:
PERSPECTIVE • DILLARD STREET
SCALE: UNSCALED

Project:
CENTRAL PARC AT WINTER GARDEN
DILLARD STREET REDEVELOPMENT - WINTER GARDEN, FLORIDA

Date & Issue:
12 MARCH 2020
DESIGN REVIEW





PEDESTRIAN BREEZEWAY

Sheet:
A04
ARCHITECTURAL

Drawing:
PERSPECTIVE • DILLARD STREET
SCALE: UNSCALED

Project:
CENTRAL PARC AT WINTER GARDEN
DILLARD STREET REDEVELOPMENT • WINTER GARDEN, FLORIDA

Date & Issue:
12 MARCH 2020
DESIGN REVIEW





DILLARD STREET

Sheet:
A04
ARCHITECTURAL

Drawing:
VIEW IN CONTEXT • BUILDING 1
SCALE: UNSCALED

Project:
CENTRAL PARC AT WINTER GARDEN
DILLARD STREET REDEVELOPMENT - WINTER GARDEN, FLORIDA

Date & Issue:
12 MARCH 2020
DESIGN REVIEW





PARK ELEVATION



TYPICAL SIDE ELEVATION



ALLEY ELEVATION

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

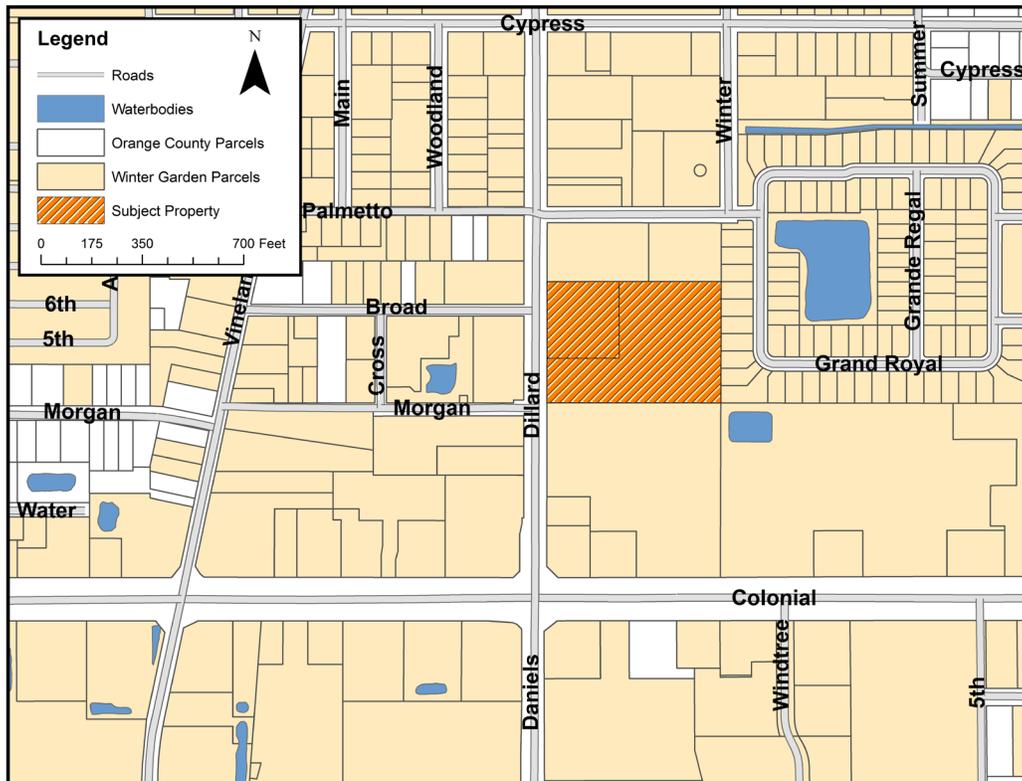
TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: SEPTEMBER 24, 2020
SUBJECT: PCD AMENDMENT / REZONING
855 & 955 S Dillard Street (5.83 +/- ACRES)
PARCEL ID # 12-22-27-6496-21-013; 12-22-27-6496-21-008

APPLICANT: Winter Garden Development Partners LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 855 & 955 S Dillard Street, east of South Dillard Street, south of East Palmetto Street, north of West Colonial Drive, and west of Grand Royal Circle and is approximately 5.83 ± acres in size. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to rezone the subject property to PCD (Planned Commercial Development), which, in part, includes amending an existing PCD (Ord 06-23) by repealing and replacing the requirements with new regulations (Ord 20-47). The subject property is located within the City of Winter Garden's municipal limits, and carries the zoning designation C-2 (Arterial Commercial) and PCD. The subject property is designated COM Commercial on the Future Land Use Map of the Comprehensive Plan.

The subject property is located on the east side of S Dillard Street, which is planned to be completely redeveloped in the next few years. The Dillard Street project is currently in the design development stage. The new road design will feature a number of improvements including a two-way off-street dedicated bike lane, wider sidewalks on both sides of the road, landscaping, lighting, street parking, three roundabouts, and other aesthetic improvements and pedestrian amenities.

EXISTING USE

The subject property currently contains a +/- 4,000 square foot professional office building that had been used previously as an administrative office for a church. The majority of the property consists of vacant land.

ADJACENT LAND USE AND ZONING

There are two properties located to the north of the subject property, both zoned C-2 and located within the City of Winter Garden's jurisdictional limits. One is developed with a two-story bank building and the other is vacant commercial land. The properties to the east are all part of the Regal Pointe subdivision and are developed with single family homes. These properties are zoned PUD (Planned Unit Development) and are located within the City of Winter Garden. The property to the south is developed with the Tri-City shopping center, which includes multiple commercial businesses in a strip development. This property is zoned C-2 and is located in Winter Garden. There are two properties to the west of the subject property, which are both zoned C-2 and located in the City of Winter Garden. One property is developed with an office building that had previously been used as a bank, and the other is developed with a professional office building.

PROPOSED USE

The applicant is requesting to approve the proposed PCD zoning ordinance to permit the redevelopment of the parcel that includes a mix of both commercial and residential uses. The project will include development of four new buildings: two townhome buildings with a total of 19 residential units; an 11,850 square foot two-story commercial/office building, and a 49,450 square foot building with 24,150 square foot of commercial/office space on the first floor and 14 multi-family residential units (condominiums) on the second floor. The proposed architecture draws on the 19th-century mercantile traditions of Winter Garden's historic commercial buildings. The development also includes associated site development such as outdoor recreation facilities, parking areas, sidewalks, pedestrian amenities, landscaping, buffering, and open spaces.

The wet detention pond and townhomes on the east side of the site are intended to provide a transitional use and physical buffer between the existing single-family homes to the east of the subject property and the commercial uses on the west side, adjacent to S Dillard Street. The property will include cross-access connections to adjacent commercial properties including the Tri-City shopping center to the south, the Wells Fargo bank property to the north, and also the

vacant commercial property to the north when it's developed in the future.

PUBLIC FACILITY ANALYSIS

The applicant submitted a traffic impact analysis for the proposed development that was reviewed and accepted by the City; the study concluded that the adjacent roadways and intersections will continue to maintain a satisfactory level of service after development. The property will be served by a full-service access driveway on S Dillard Street, which will align with Broad Street to the west. The final driveway alignment will require close coordination with the Dillard Street redesign plans to ensure the final designs are harmonious. As mentioned previously, cross access connections will be provided south to the Tri-City shopping center, north to the Wells Fargo bank property, and also north to the vacant commercial property when it's developed in the future.

Water, sewer, and reclaimed utilities by the City of Winter Garden will be required for any new development of the property. At such time that the property is developed, all necessary utility lines will be extended and connections made, all extension and connection costs shall be borne by the property owner.

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

All concurrency requirements identified by the City of Winter Garden Code of Ordinances and Comprehensive Plan will be met by the proposed development.

COMMUNITY MEETING

A Community Meeting was held on September 10, 2020 via a virtual meeting, at which time the applicant presented the proposed project to the adjacent property owners in attendance.

A question and answer session ensued, with the attendees inquiring about the proposed traffic impacts, cross-access connections, stormwater management, plans for improving the existing subdivision wall on the east side of the site, landscape buffering, timeframe for the project, and plans for repaving nearby roads. Several of the attendees also had questions about the Dillard Street redesign project. While several residents expressed concerns about the amount of traffic that will potentially result from the development, no one in attendance stated direct opposition to the project.

SUMMARY

The proposed development is a reasonable use of the land. If approved, the development will be the first major development along S Dillard Street since the kickoff of the Dillard Street redesign project. One of the major goals of the Dillard Street project is to encourage more pedestrian and bike activity in order to activate and energize the corridor, promoting economic development, increasing safety, and improving quality of life for City residents and visitors. The proposed PCD used the Dillard Street redesign as a jumping off point for the project, focusing on design elements that will help achieve these goals. These design elements include moving the buildings close to the street to create a comfortable architectural edge for pedestrians and bikers, and locating vehicular parking and drive aisles behind the buildings. Furthermore, the design of the mixed-use buildings was intended to align with the goal of beautifying Dillard Street by drawing inspiration from the City's early 20th century masonry vernacular traditions and adding a modern flair. The result will be architecture that will provide a seamless transition along S Dillard Street into Winter Garden's

Downtown Historic District.

The townhome buildings were designed to evoke a complementary style to the mixed use buildings along S Dillard Street. They include a modern palette of natural exterior materials, in simple architectural forms that evoke a clean, stylish, Scandinavian-inspired design. These townhomes will be buffered from the adjacent commercial uses by a large playground and park space to the west, a min. 6' tall masonry wall with dense landscaping to the south, and a large wet pond with heavy landscaping to the north. As mentioned previously, the townhomes are intended to provide a transitional use and physical buffer between the existing single-family homes to the east of the subject property and the commercial/mixed-uses on the west side, adjacent to S Dillard Street.

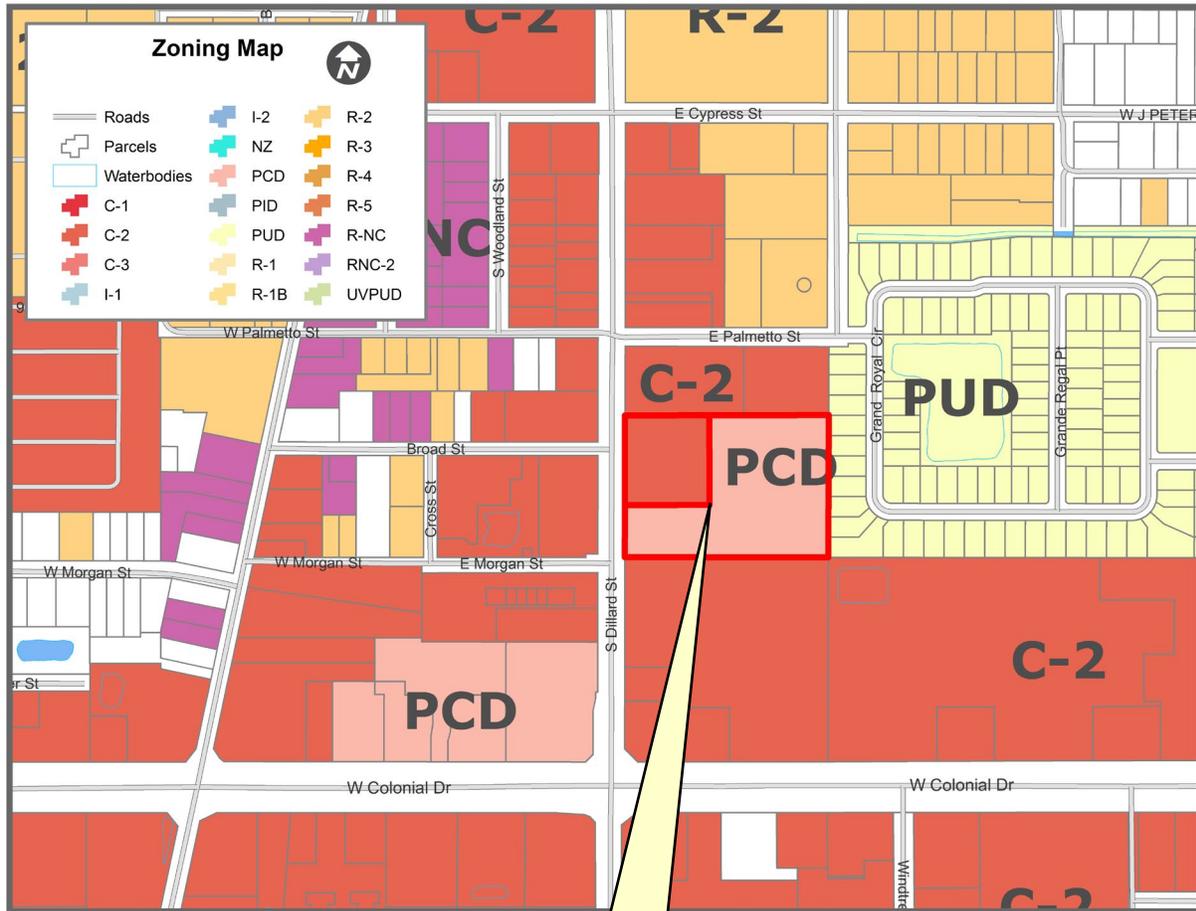
Including residential uses in addition to commercial uses will have the added benefit of promoting more pedestrian and bike activity on Dillard Street, not only during business hours, but also in the evening as residents walk or bike to nearby restaurants and shops. Including the mix of uses also has the benefit of ensuring staggered traffic patterns, reducing peak hour vehicular volumes in the morning and afternoon.

The proposed PCD is consistent with the City's Comprehensive Plan and the City of Winter Garden's Code of Ordinances. Staff recommends approval of Ordinance 20-47.

AERIAL PHOTO
855 & 955 S Dillard Street

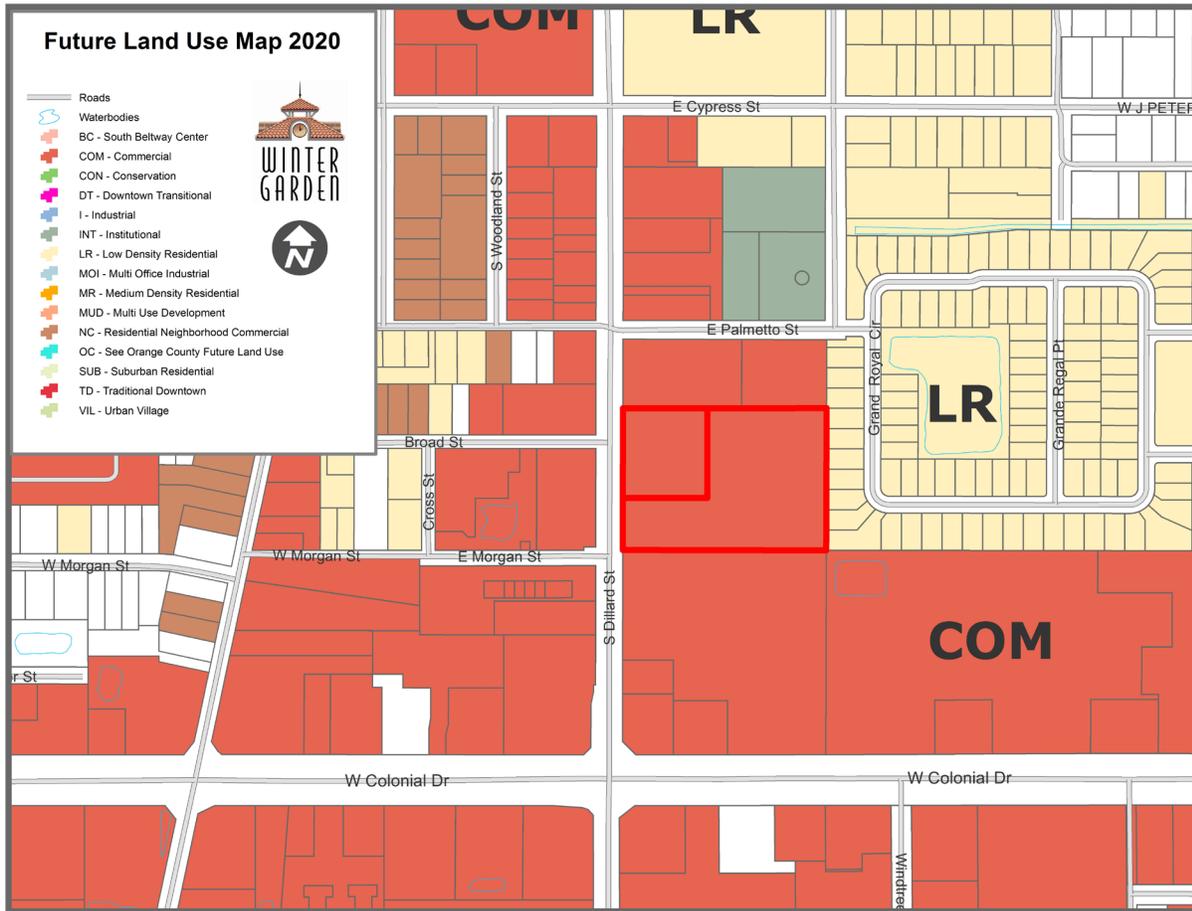


ZONING MAP 855 & 955 S Dillard Street



Subject Property
Rezoned from
C-2/PCD to PCD

FUTURE LAND USE MAP 855 & 955 S Dillard Street



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: October 13, 2020 **Meeting Date:** October 22, 2020

Subject: 427 English Lake Drive
Ordinance 20-48
PARCEL ID # 36-22-27-9189-00-160

Issue: The applicant is requesting to vacate certain drainage and utility easement(s) that exist over property located at 427 English Lake Drive.

Discussion:

The subject property, located on 427 English Lake Drive, is approximately 0.62 ± acres. The property is currently developed with a single-family home and the applicant is requesting to vacate a section of drainage and utility easement that was recorded with the final plat of the Westfield Lakes subdivision (as recorded in Plat Book 36, Page 35, of the Public Records of Orange County, Florida).

Lot 16 was combined with the platted tract D to the south in 2008, but the existing drainage & utility easement between the two lots was never vacated. The applicant is requesting to vacate this portion of the easement so that the future owners of the lot have the ability to construct a swimming pool in the backyard. The future owners are required to execute a replacement 5' wide drainage & utility easement that runs along the sides and rear of the platted Tract D portion of the subject property, and have the title company record it immediately after the deed at closing.

The subject property carries the zoning designation R-1 (Single Family Residential District) and is designated LR (Low Density Residential) on the Future Land Use Map of the Comprehensive Plan.

Recommended Action:

Staff recommends approval and adoption of Ordinance 20-48.

Attachment(s)/References:

Location Map
Ordinance 20-48

LOCATION MAP

427 English Lake Drive
Easement Vacation



ORDINANCE 20-48

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA VACATING A PORTION OF THE PLAT DEDICATED DRAINAGE AND UTILITY EASEMENT OVER LOT 16 OF WESTFIELD LAKES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 36, PAGE 35, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA (LOCATED AT 427 ENGLISH LAKE DRIVE, WINTER GARDEN, FLORIDA), AS MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING FOR AN EFFECTIVE DATE AND RECORDING.

WHEREAS, the simple owners (“Owner”) of the residential lot located at 427 English Lake Drive, Winter Garden, Florida, which is legally described as Lot 16, Westfield Lakes, according to the plat thereof, as recorded in Plat Book 36, Pages 35, of the Public Records of Orange County, Florida as combined with Tract D of the same Plat (the “Lot”) have requested the City to vacate a portion of a plat dedicated drainage and utility easement upon the Lot in the area legally described and graphically depicted on Exhibit “A” attached hereto (the “Proposed Vacated Drainage and Utility Easement”);

WHEREAS, the petition to vacate the Proposed Vacated Drainage and Utility Easement was duly presented to the City Commission at a regular meeting; and

WHEREAS, it appears that the Owner is the fee simple owner of all of the above described residential lot and the vacation of the Proposed Vacated Drainage and Utility Easement will not affect the distribution of utility services to the public and public drainage needs; and

WHEREAS, the Westfield Lakes Property Owners Association, Inc. has consented to the vacation of the Proposed Vacated Easement; and

WHEREAS, the City has received letters of no objection to the vacation of the Proposed Vacated Easements, from surrounding property owners, homeowners association, Duke Energy, Charter-Spectrum, Lake Apopka Natural Gas, CenturyLink, and the City of Winter Garden Staff; and

WHEREAS, it appears that all ad valorem taxes due and owing on said Lot have been paid, that due and proper notice of the Owner's easement vacation request has been given as required by law, and proof of publication of said notice has been received by the City; and

WHEREAS, the Owner (or future Owner) is required to grant to the City a replacement drainage and utilities easement to the City along the eastern, western and southern boundary of Tract D of the Westfield Lakes Plat (PB 36, PG 35) owned by the Owner as more specifically set forth in the conditions of approval on file with the City (“Replacement Easement”); and

WHEREAS, the City of Winter Garden is vested with home rule authority pursuant to Article VII, Section 2 of the Constitution of the State of Florida and Chapter 166, Florida Statutes, as well as the provisions of the City Charter and other law and therefore the City has the authority to vacate easements dedicated to the City and public.

NOW THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA, AS FOLLOWS:

SECTION 1: Recitals. The above recitals are true and accurate and are incorporated herein.

SECTION 2: Partial Easement Vacation — Drainage & Utility Easement. The portion of the drainage and utility easement depicted on Exhibit "A" and described above as the Proposed Vacated Drainage Easement located upon Lot 16, Westfield Lakes, according to the plat thereof, as recorded in Plat Book 36, Pages 35, of the Public Records of Orange County, Florida, is hereby vacated and annulled. The other easements dedicated on the plat over, under and through the Lot shall continue to exist and are unaffected by this Ordinance.

SECTION 3: Effective Date. This Ordinance shall take effect immediately, however, its effectiveness is contingent upon the Replacement Easement with terms acceptable to the City being executed and recorded in the public records of Orange County, Florida.

SECTION 4: Recording. A certified copy of this Ordinance shall be recorded in the public records of Orange County, Florida by the City Clerk. In the event it is discovered that a scrivener's error exists in this Ordinance and/or its exhibits, the City Manager and City Clerk are authorized to record a notice of scrivener's error to correct the errors in this Ordinance and/or its exhibit(s).

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

Exhibit A

LEGAL DESCRIPTION

A portion of Lot 16, WESTFIELD LAKES, as recorded in Plat Book 36, Page 35, of the Public Records of Orange County, Florida. Located in Section 36, Township 22 South, Range 27 East, Orange County, Florida. Said parcel being more particularly described as follows:

COMMENCE at the southwest corner of Lot 16 per said plat; thence along the southerly boundary line of said Lot 16, North 89° 47' 55" East, 5.01 feet to a point on the easterly line of a 5.00 foot Drainage & Utility Easement, said point also being the POINT OF BEGINNING; thence leaving said southerly line, run along the easterly line of said 5.00 foot Drainage & Utility Easement, North 00° 11' 53" West, 5.00 feet; thence leaving the easterly line of said 5.00 foot Drainage & Utility Easement, run North 89° 47' 55" East, 132.35 feet to a point on the westerly line of a 5.00 foot Drainage & Utility Easement; thence along the westerly line of said 5.00 foot Drainage & Utility Easement, South 19° 05' 14" West, 5.30 feet to a point on the aforementioned southerly boundary line of said Lot 16; thence leaving the westerly line of said 5.00 foot Drainage & Utility Easement, run along the southerly boundary line of said Lot 16, South 89° 47' 55" West, 130.60 feet to the POINT OF BEGINNING.

Said parcel contains 657 square feet, more or less.

NOTES

1. THIS SKETCH AND DESCRIPTION IS NOT A SURVEY.
2. THIS SKETCH AND DESCRIPTION IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER LISTED BELOW.
3. THE LAND DESCRIPTION HEREON WAS WRITTEN BY THIS SURVEYOR AT THE DIRECTION OF THE CLIENT.
4. BEARINGS SHOWN HEREON ARE BASED ON THE SOUTHERLY BOUNDARY LINE OF LOT 16, WESTFIELD LAKES, PLAT BOOK 36, PAGE 35, ORANGE COUNTY, FLORIDA, BEING SOUTH 89°47'55" WEST.



CERTIFICATION

I HEREBY STATE THAT THIS SKETCH AND DESCRIPTION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF; AND THAT THIS SKETCH AND DESCRIPTION MEETS THE STANDARDS OF PRACTICE FOR FLORIDA SURVEYORS AND MAPPERS, AS SET FORTH IN CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

McCrary, David

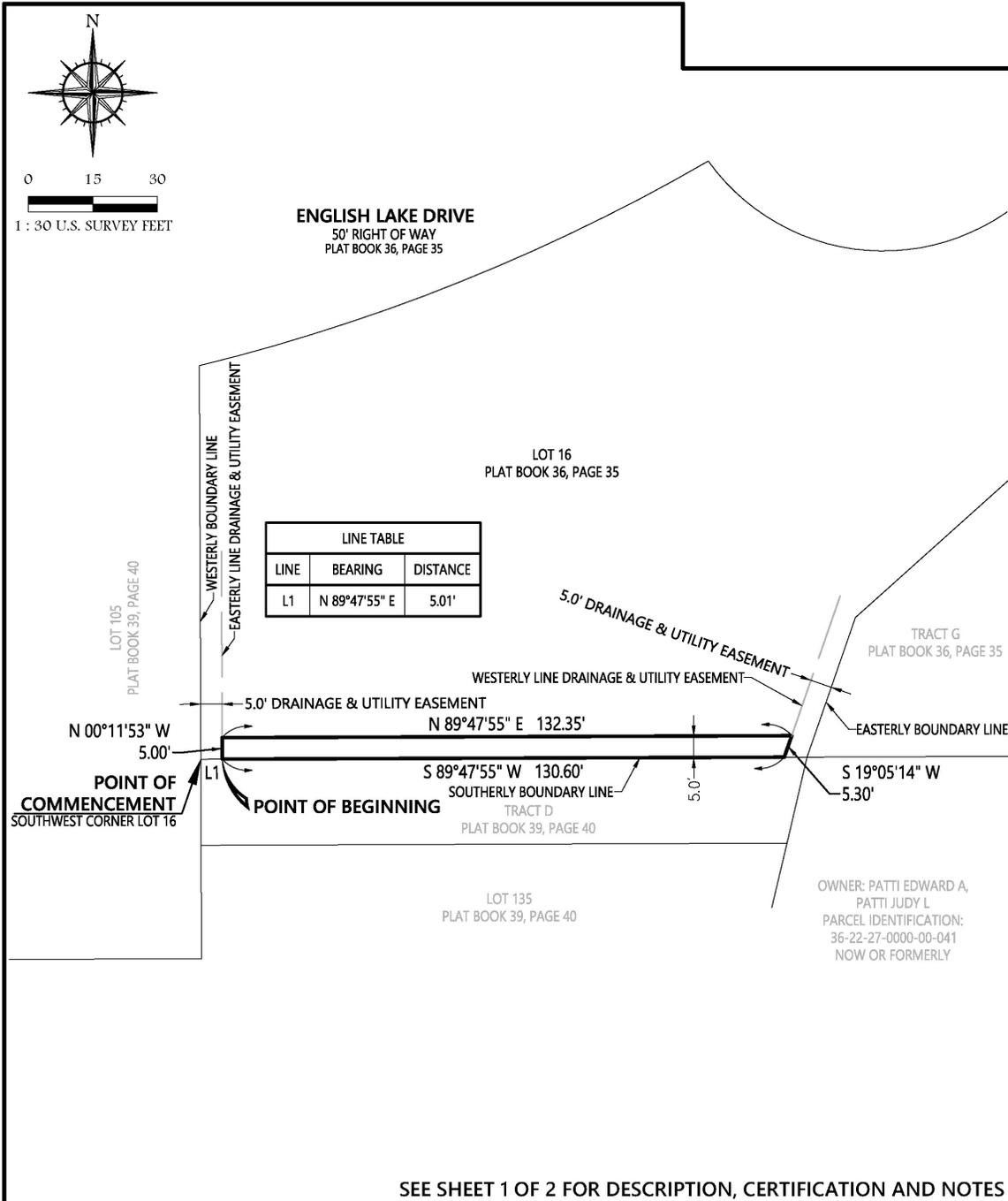
WM. DAVID MCCRARY
PROFESSIONAL LAND SURVEYOR
FLORIDA LICENSE NO. 4853

Digitally signed by McCrary, David
DN: cn=McCrary, David
Reason: I have reviewed this document
Date: 2020.08.28 11:06:02-0400'

DATE

SECTION 36, TOWNSHIP 22 SOUTH, RANGE 27 EAST - ORANGE COUNTY, FLORIDA

Landmark Center Two 225 E. Robinson St., Suite 300 Orlando, FL 32801 407.839.4006 / FAX 407.839.4008 Licensed Business # 7153 Vanasse Hangen Brustlin, Inc.	DRAWN BY: CAP	CHECKED: WDM	SKETCH & DESCRIPTION DRAINAGE & UTILITY EASEMENT ISSUED FOR: CITY OF WINTER GARDEN
	PROJECT # AS 2020	DRAWING: Lot 16 D&UE Esmt revised.dwg	
	DRAWING DATE: 08/27/2020		
	SHEET 1 OF 2		



SEE SHEET 1 OF 2 FOR DESCRIPTION, CERTIFICATION AND NOTES

SECTION 36, TOWNSHIP 22 SOUTH, RANGE 27 EAST - ORANGE COUNTY, FLORIDA

 <p>Landmark Center Two 225 E. Robinson St., Suite 300 Orlando, FL 32801 407.839.4006 / FAX 407.839.4008 Licensed Business # 7153 Vanasse Hangen Brustlin, Inc.</p>	<p>DRAWN BY: CAP CHECKED: WDM</p>	<p>SKETCH & DESCRIPTION DRAINAGE & UTILITY EASEMENT</p>
	<p>PROJECT # AS 2020</p>	
	<p>DRAWING: Lot 16 D&UE Esmt revised.dwg</p>	<p>ISSUED FOR:</p>
	<p>DRAWING DATE: 08/27/2020</p>	<p>CITY OF WINTER GARDEN</p>
<p>SCALE: 1" = 30'</p>	<p>SHEET 2 OF 2</p>	

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: October 15, 2020 **Meeting Date:** October 22, 2020

Subject: 21 West Smith Street
Ordinances 20-52
PARCEL ID # 23-22-27-2888-08-071

Issue: The applicant is requesting to rezone the property located at 21 West Smith Street.

Discuss The applicant has requested to rezone the subject property from R-2 Residential District to C-1 Central Commercial District in order to build a commercial office building. The proposed C-1 zoning is consistent with the property's TD – Traditional Downtown Future Land Use designation (See Staff Report). The proposed rezoning is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances.

Recommended Action:

Staff recommends approval and adoption of Ordinance 20-52.

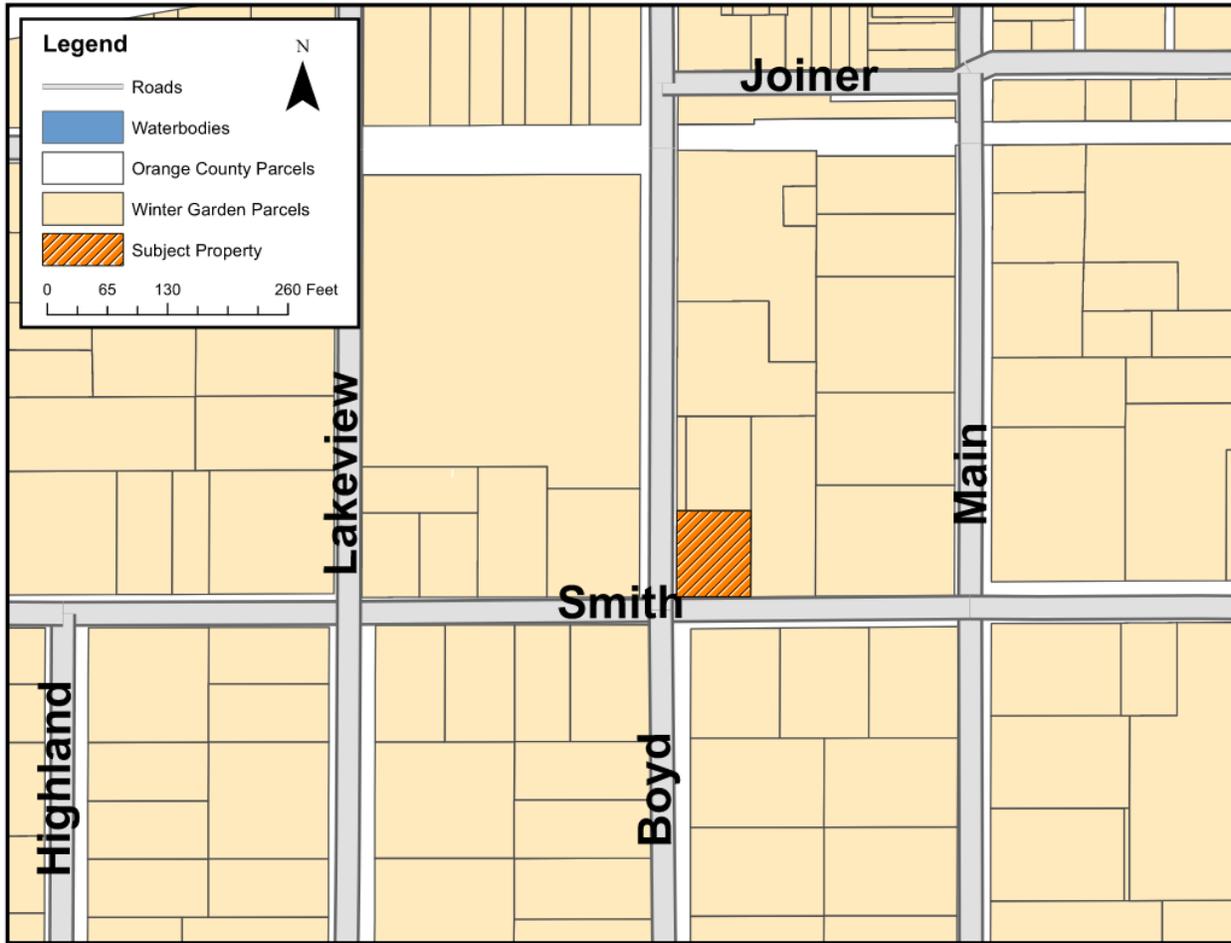
Attachment(s)/References:

Location Map
Ordinance 20-52
Staff Report

LOCATION MAP

21 W Smith Street

Rezoning



ORDINANCE 20-52

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 0.17 ± ACRES LOCATED AT 21 WEST SMITH STREET ON THE NORTHEAST CORNER OF WEST SMITH STREET AND SOUTH BOYD STREET FROM CITY R-2 RESIDENTIAL DISTRICT TO CITY C-1 CENTRAL COMMERCIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the owner of that certain real property generally described as 0.17 ± acres of land located at 21 West Smith Street on the Northeast Corner of West Smith Street and South Boyd Street, and legally described in Section 1 of this ordinance has petitioned the City to rezone said property from City R-2 Residential District to the City’s C-1 Central Commercial District zoning classification, therefore; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the rezoning approved by this Ordinance is consistent with the City of Winter Garden Comprehensive Plan; and

WHEREAS, further, the City Commission finds that based on competent, substantial evidence in the record, the rezoning approved by this Ordinance meets all applicable criteria for rezoning the Property to C-1 Central Commercial District contained within the City of Winter Garden Comprehensive Plan and the Code of Ordinances.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. The above “Whereas” clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of real property legally described on ATTACHMENT “A,” is hereby rezoned from City R-2 Residential District to City C-1 Central Commercial District in the City of Winter Garden, Florida.

SECTION 2: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 3: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 4: Effective Date. This Ordinance shall become effective upon its adoption.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

Angela Grimmage, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

Parcel ID: 23-22-27-2888-08-071

Description:

FRIES PLAT OF WINTER GARDEN E/16 S 93 FT OF LOT 7 BLK H

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

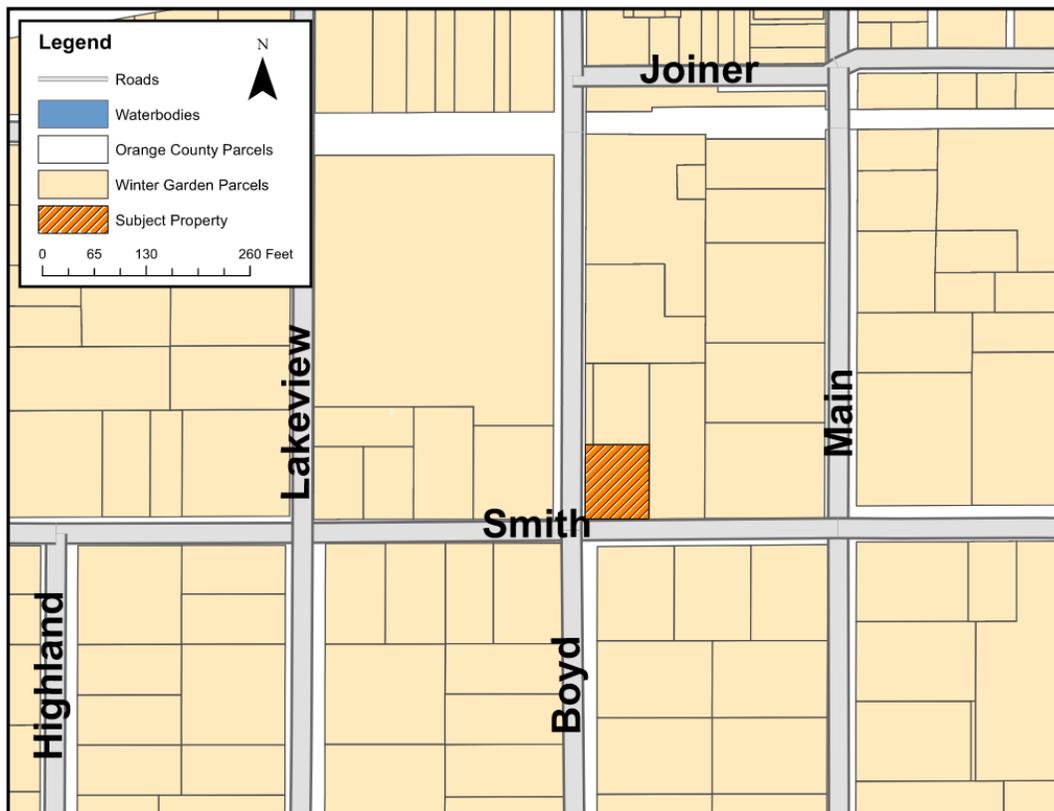
TO: PLANNING AND ZONING BOARD
PREPARED BY: Shane Friedman, Senior Planner
DATE: September 24, 2020
SUBJECT: REZONING
21 West Smith St (0.17 +/- ACRES)
PARCEL ID # 23-22-27-2888-08-071

APPLICANT: Brett Claflin

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property, located on 21 West Smith Street, is an approximately 0.17 ± acre lot. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to rezone the 0.17 ± acre property, which is located within the City of Winter Garden and carries the zoning designation R-2 (Residential District) and is designated TD (Traditional Downtown) on the Future Land Use Map of the City's Comprehensive Plan, to C-1 (Central Commercial) zoning district. The property is located within the City's Downtown Historic District.

EXISTING USE

The property had a two story single-family home on it, but it has since been demolished. The property is currently vacant.

ADJACENT LAND USE AND ZONING

The properties to the north and west of the subject property are both developed with commercial offices, are zoned C-1, and are in the City of Winter Garden's Municipal limits. The properties to the south and east are single-family residences with R-2 zoning and are in the City of Winter Garden's Municipal limits.

PROPOSED USE

The applicant is planning on developing the property into a single-story commercial office building similar to the building north of the subject property.

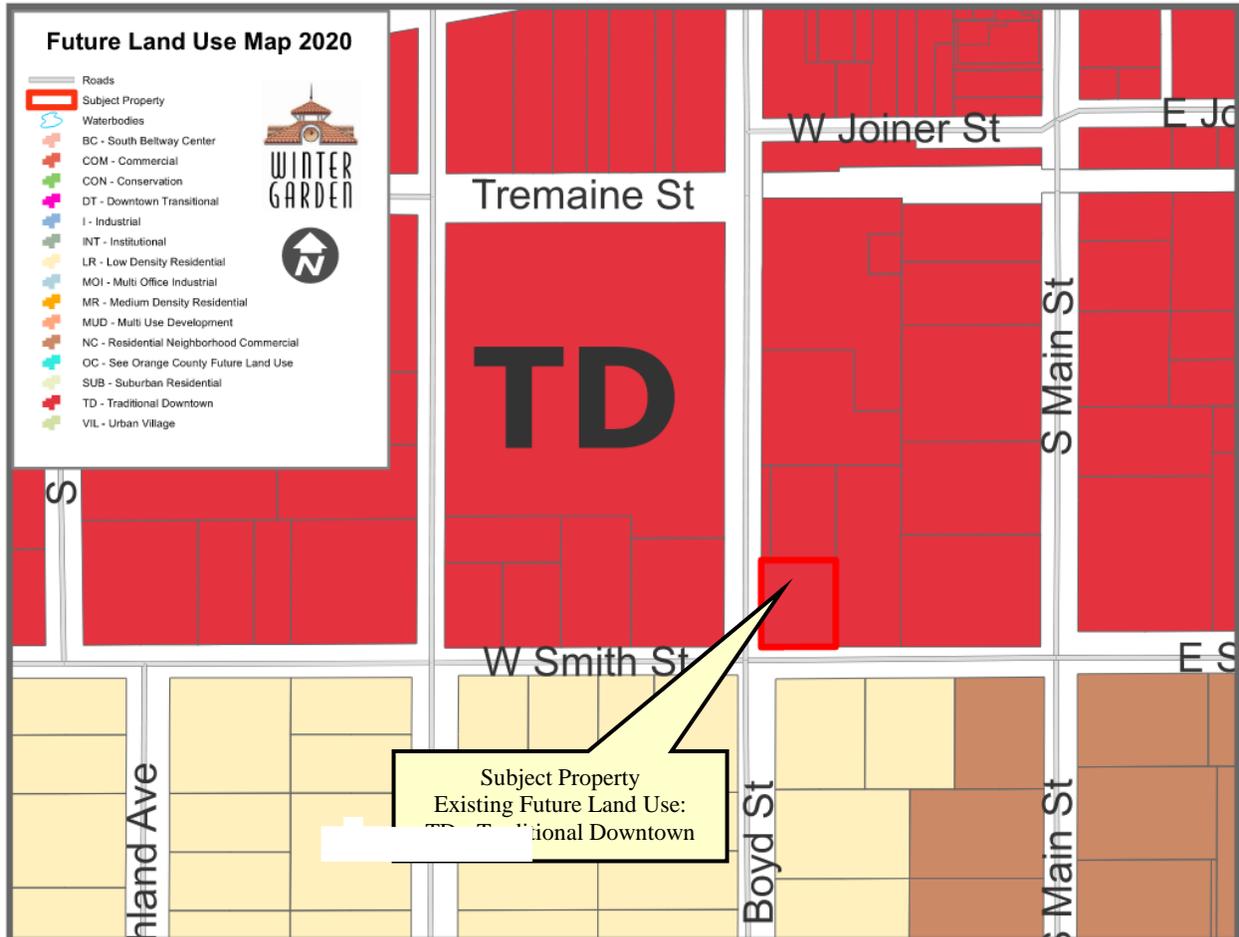
SUMMARY

The applicant's proposal to rezone the subject property from R-2 to C-1 is consistent with the property's Future Land Use designation of TD Traditional Downtown as well as the policies contained within the City's Comprehensive Plan. City Staff recommends approval of Rezoning Ordinance 20-52.

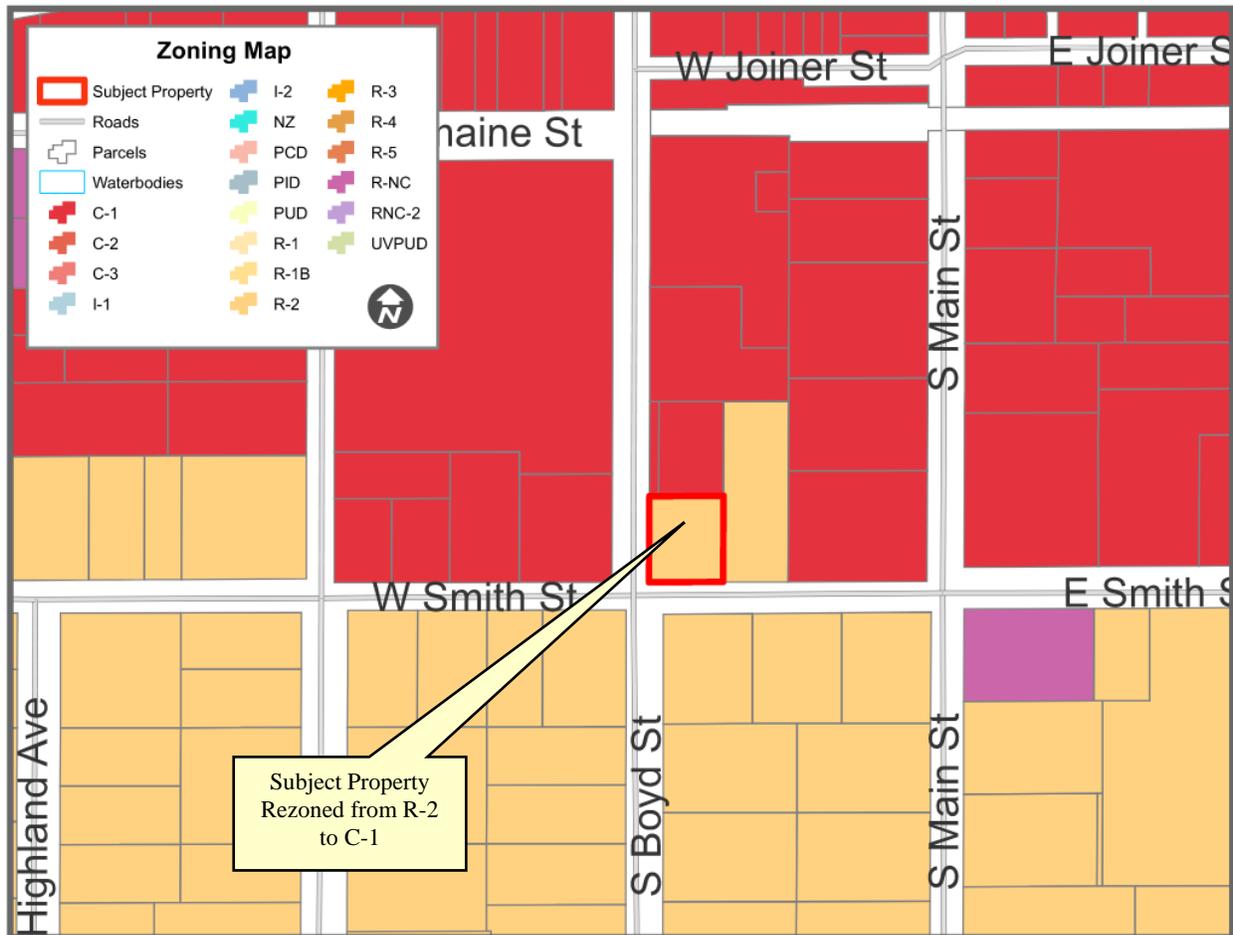
AERIAL PHOTO
21 W Smith Street



Future Land Use Map 21 W Smith Street



Zoning Map
21 W Smith Street



END OF STAFF REPORT

RESOLUTION 20-06

A RESOLUTION OF THE CITY OF WINTER GARDEN, FLORIDA, SUPPORTING THE CREATION OF A COMMUNITY PARTNERSHIP, UPON BOARD APPROVAL ON OCTOBER 27, 2020, WITH THE WEST ORANGE HEALTHCARE DISTRICT AND OTHER COMMUNITY PARTNERS TO CONSTRUCT TUCKER RANCH HEALTH AND WELLNESS PARK AND COMMIT TO FUND THE OPERATION AND MAINTENANCE OF THE PARK AND DILIGENTLY WORK TO CONNECT THE PARK TO THE WEST ORANGE TRAIL SYSTEM ALONG COUNTY ROAD 545

WHEREAS the City of Winter Garden (the City) intends to enter into a grant agreement as part of a community partnership upon board approval on October 27, 2020 with the West Orange Healthcare District and other community organizations to build a Health and Wellness park at Tucker Ranch; and,

WHEREAS the purpose of the Park is to provide the facilities, setting and programming to improve the health and wellness of the residents of West Orange County; and,

WHEREAS the West Orange Healthcare District and other organizations are providing funding to construct the Park; and,

WHEREAS the City intends to fund the operation and maintenance of the Park and to connect the Park to the bike trail system along County Road 545 south towards Horizons West and north to the West Orange Bike trail.

NOW, THEREFORE BE IT RESOLVED by the City Commission of the City of Winter Garden, Florida:

SECTION 1. The City supports the construction and operation of Health and Wellness Park at Tucker Ranch ("Park").

SECTION 2. Be it further resolved that the operation and maintenance of the Park is being funded by the City.

SECTION 3. Be it further resolved that it is the City's intent to support and work diligently with all necessary organizations to connect the Park to the trail system.

SECTION 4. Be it further resolved, the City will continue to work with Advent Health and Orlando Health to gain a financial partnership that assists with the funding of the Park.

SECTION 5. A copy of this Resolution will be included in the minutes of the City of Winter Garden. This Resolution is effective upon its adoption.

PASSED AND RESOLVED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

John Rees, Mayor / Commissioner

ATTEST:

Angela Grimmage, City Clerk

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: October 13, 2020 **Meeting Date:** October 22, 2020

Subject: 12301 W Colonial Dr.
Master Site Plan & Home2 Suites - Site Plan Approval
Fair Share Agreement for Road Improvements
PARCEL ID# 24-22-27-0000-00-016

Issue: The applicant is requesting Site Plan approval for the Master Site Plan of the People's Plaza development as well as the development of Lot 2 with a four story hotel building with associated site improvements on a property located at 12301 W Colonial Dr. The applicant is also requesting approval of the Fair Share Agreement for Road Improvements.

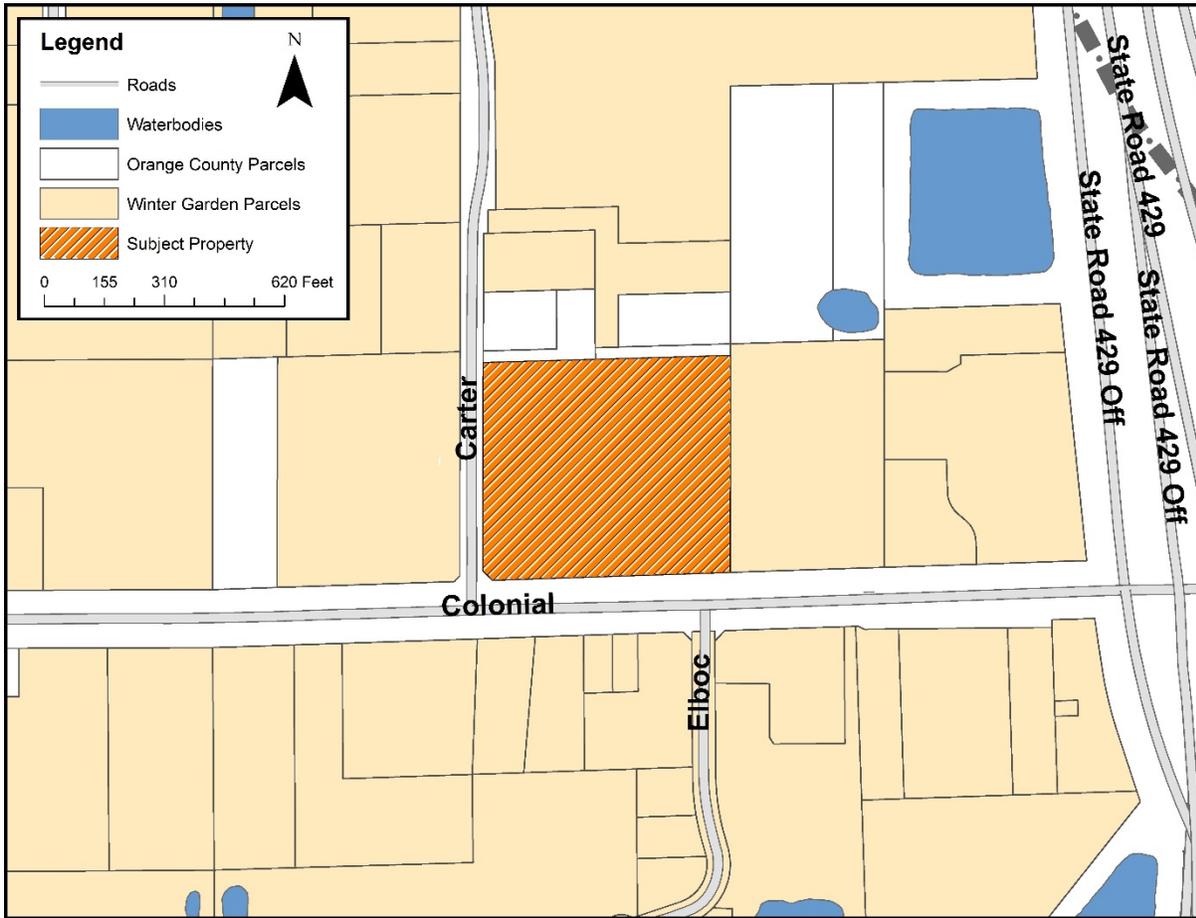
Discussion: The subject property is a 8.25 +/- acre parcel that is zoned PCD (Planned Commercial Development, Ord 20-04) and known as the Peoples Plaza commercial development. The applicant intends to develop the site with the common PCD infrastructure including the perimeter landscaping, utilities, and stormwater pond. The applicant also intends to develop Lot 2 with a four-story, 95 room hotel building (Home2 Suites) as well as the associated site elements such as parking areas, sidewalks, site furnishings, outdoor recreation amenities, and landscaping. The applicant is also requesting approval of the Fair Share Agreement, which is required to make the necessary improvements to Carter Road in order to support the proposed project.

Recommended Action: Staff recommends approval of the proposed Site Plan subject to the conditions of the DRC staff report dated October 13, 2020, with the condition that the property be phased in accordance with the proposed Phasing Plan. Staff also recommends approval of the Road Improvements Fair Share Agreement. Development of the property with a four story hotel building is consistent with the City's Comprehensive Plan & with the property's PCD zoning requirements.

Attachment(s)/References:
Location Map
DRC Staff Report
Site Plan Set & Building Elevations
Road Improvements Fair Share Agreement
Peoples Plaza – Phasing Plan

Location Map

Peoples Plaza
12301 W Colonial Drive



**THIS INSTRUMENT PREPARED BY
AND SHOULD BE RETURNED TO:**

City of Winter Garden
Attn: City Clerk
300 West Plant Street
Winter Garden, Florida 34787

Parcel Identification # 24-22-27-0000-00-016

ROAD IMPROVEMENTS FAIR SHARE AGREEMENT

THIS ROAD IMPROVEMENTS FAIR SHARE AGREEMENT, hereinafter referred to as the “Agreement,” is made this ___ day of _____, 2020, by and between the **City of Winter Garden**, a Florida municipal corporation, hereinafter referred to as the “City”; and **PEOPLES PLAZA, LLC**, a Florida limited liability company, whose address is 1126 S. Division Ave., Orlando, FL 32805, hereinafter referred to as the “Developer”.

WITNESSETH:

WHEREAS, the Developer is the fee simple owner of that certain approximately 8.25 +/- acres real property generally located at 12301 W. Colonial Drive and at the northeast intersection of S.R. 50 and Carter Road in Winter Garden, Orange County, Florida, having Orange County Tax Parcel Identification Number 24-22-27-0000-00-016, and legally described in **Exhibit “A”** attached hereto and incorporated herein (hereinafter referred to as the “Subject Property”); and

WHEREAS, the Subject Property is currently zoned PCD pursuant to City of Winter Garden Ordinance 20-04 (“PCD”); and

WHEREAS, the Developer desires to develop the Subject Property consistent with the PCD (the "Project"); and

WHEREAS, development of the Project remains subject to certain approvals by the City, including, but not limited to, site plan, issuance of building permits, certificates of completion and certificates of occupancy; and

WHEREAS, the impact of such a development on public roads will be significant given the traffic generated by the users of the Project; and

WHEREAS, development of the Subject Property at the intensity and configuration proposed requires the Developer to perform certain obligations and provide for certain impacts of such development in order to comply with the City’s Code of Ordinances, Comprehensive Plan, and otherwise address the impacts generated by the Project; and

WHEREAS, Developer acknowledges that there are inadequate public road facilities and infrastructure existing at this time to adequately serve the Project and, therefore, the Developer will need to provide certain public road facilities and infrastructure for the Subject Property,

perform certain obligations and provide for certain impacts of such development in order to comply with the City's Code of Ordinances, Comprehensive Plan, regulations and policies; and

WHEREAS, the Developer acknowledges that construction of the improvements and obligations required herein, which are necessary to serve the Subject Property, will be of direct benefit to the Developer and the Subject Property; and

WHEREAS, in light of the foregoing, the Developer is willing to pay a proportionate fair-share of the cost of planning, designing, permitting and constructing the required roadway improvements and to cause the design, permitting, procurement, installation and construction of the same; and

WHEREAS, the City has identified the need for certain improvements in order to accommodate Developer's development of the Subject Property including, but not limited to, the more particularly described herein; and

WHEREAS, the City and the Developer desire to enter into this Agreement to memorialize certain promises, agreements, covenants and expectations pertaining to the Developer's payment of a proportionate fair-share of road improvements and traffic signal improvements and other matters as provided for herein.

NOW, THEREFORE, for and in consideration of the above premises, the promises and provisions contained herein, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Developer and the City agree as set forth herein.

1. **Recitals.** The above premises are true and correct and are incorporated herein as material provisions of this Agreement. Any and all exhibits referred to in this Agreement are incorporated herein as material provisions of this Agreement.

2. **Carter Road Improvements.** In order to support the development of the Project on the Subject Property and other new development in the area, it is necessary to improve Carter Road from State Road 50 to the north property line of the Project, including, among other improvements, adding a south-bound left and right turn lanes, curbing, drainage and milling and repaving (hereinafter collectively referred to as the "Carter Road Improvements"). The Carter Road Improvements will address safety and capacity concerns that exist for current traffic and which will deteriorate as new development occurs in the area, including the development of the Subject Property. Developer shall cause the design, permitting, installation and construction of the Carter Road Improvements during Developer's installation and construction of the site infrastructure for the Project; the City will reimburse Developer for a portion of such costs as set forth in Paragraph 3 below. The Developer shall obtain approval of design plans for the Carter Road Improvements from the City prior to construction of such improvements and such improvements shall be constructed in accordance with City-approved plans. Further, the Developer shall obtain prior City approval of the construction contractor Developer would like to use in the construction of the Carter Road Improvements. Before commencing construction, the Developer's contractor for the Carter Road Improvements shall be required to post and deliver to

the City a payment and performance bond meeting the requirements of Section 255.05, Florida Statutes, with terms acceptable to the City, naming the City as a beneficiary and being in the amount of one-hundred and twenty percent (120%) of the full construction costs of the Carter Road Improvements.

3. **Fair Share Allocation.** The costs of the installation, construction, provision and completion of the Carter Road Improvements shall be borne by the Subject Property in its proportionate fair share, which the Developer and City agree is the full costs to design, permit, procure, install and construct the Carter Road Improvements less the City's Reimbursement Payment described below ("Fair Share Payment"). Based on Developer's Contractor's estimates, City and Developer agree that the City will reimburse the Developer for **50%** of the labor and material cost of the construction of the Carter Road Improvements based on documented cost incurred by the Developer up to a maximum reimbursement of **TWO HUNDRED TEN THOUSAND, TWO HUNDRED SIXTY FIVE AND 75/100 DOLLARS (\$210,265.75)** ("Reimbursement Payment"). The Reimbursement Payment does not include Developer's design or engineering services costs. Developer acknowledges and agrees that the Fair Share Payment is proportionate to the impacts of the development of the Subject Property and that the Carter Road Improvements provide a direct benefit to the Subject Property. Developer and the Subject Property shall not receive any impact fee credits for the Fair Share Payment.

4. **Payment for Carter Road Improvements.** City agrees to pay the Reimbursement Payment to the Developer within thirty (30) days of all of the following being completed: (i) completion of the Carter Road Improvements; (ii) the Developer's submission of contractor payment applications and other documentation evidencing the total cost incurred by the Developer for the Carter Road Improvements; (iii) issuance of a certificate of completion for site improvements on the Subject Property; and (iv) Developer providing to the City a maintenance bond with terms acceptable to the City in the amount of one-hundred and twenty percent (120%) of the full construction costs of the Carter Road Improvements meeting the City's 2 year maintenance bond requirements for platting under Chapter 110, City Code. No certificates of completion for site infrastructure or certificates of occupancy shall be issued for any building or structure on the Subject Property unless and until the Carter Road Improvements are completed to the satisfaction of the City.

Developer hereby assumes any and all risk arising out of or in any matters related to certificates of completion or certificates of occupancy not being issued by the City.

5. **No Third-Party Beneficiaries.** Nothing in this Agreement, express or implied, is intended to or will be construed to confer on any person, other than the parties of this Agreement, any right, remedy, or claim with respect to this Agreement.

6. **Validity.** If any portion of this Agreement is finally determined by a court of competent jurisdiction to be invalid, unconstitutional, unenforceable or void, the balance of the Agreement shall continue in full force and effect.

7. **Notices.** Any notices required or permitted under this Agreement, and copies thereof, shall be addressed to the City and the Developer at the following addresses, or at such other addresses designated in writing by the party to receive notice:

City: Mike Bollhoefer, City Manager
City of Winter Garden
300 West Plant Street
Winter Garden, Florida 34787
Telecopy: (407) 656-4952

With a copy to: A. Kurt Ardaman, City Attorney
City of Winter Garden
1947 Lee Road
Winter Park, Florida 32789
Telecopy: (407) 262-8402

Developer: Peoples Plaza, LLC
1126 S. Division Ave
Orlando, FL 32805-4701

Notices shall be either: (i) personally delivered (including delivery by Federal Express, UPS or other overnight courier service) to the addresses set forth above, in which case they shall be deemed delivered on the date of delivery; or (ii) sent by certified mail, return receipt requested, in which case they shall be deemed delivered on the date shown on the receipt unless delivery is refused or intentionally delayed by the addressee, in which event they shall be deemed delivered on the date of deposit in the U.S. Mail.

8. **Attorney's Fees.** In any lawsuit between the parties to this Agreement arising from this Agreement, each party shall bear their own attorney's fees and litigation costs, except as otherwise expressly allowed in this Agreement.

9. **Entire Agreement.** This Agreement embodies the entire understanding of the parties with respect to the matters specifically enumerated herein, and all negotiations, representations, warranties and agreements made between the parties are merged herein. The making, execution and delivery of this Agreement by all parties has been induced by no representations, statements, warranties or agreements that are not expressed herein. There are no further or other agreements or understandings; written or oral, in effect between or among the parties related to the subject matter hereof.

10. **Interpretation.** None of the parties shall be considered the drafter of all or any portion of this Agreement for the purposes of interpreting all or any portion of this Agreement, it being recognized that all parties have contributed substantially and materially to the preparation of this Agreement.

11. **Binding Effect and Successors.** This Agreement shall run with the Subject Property and the rights and the obligations under this Agreement shall benefit, burden, and bind

the successors, heirs and assigns of all parties to this Agreement. In the event of the assignment of this Agreement, or the conveyance or transfer of the Subject Property, or any part thereof, the Developer shall be and remain liable for performance of the obligations under this Agreement until such time as a written release is obtained from the City, in the City's sole discretion. Excluding the City, all transferees, transferor, grantees, grantors, assignees and assignors relating to the Subject Property are jointly and severally liable for the Developer's obligations under this Agreement. The rights granted to Developer under this Agreement relate specifically to the Subject Property and are not permitted to be transferred to any other property.

12. **Local Development Approvals and Permits.** Notwithstanding anything herein to the contrary, all development of the Project shall be in compliance with all applicable federal, state, county and municipal laws and ordinances, rules and regulations (including, but not limited to, the City's land development regulations, zoning requirements and comprehensive plan). Unless expressly authorized or granted herein, nothing in this Agreement shall constitute or be deemed to constitute or require the City to issue any approval by the City of any rezoning, Comprehensive Plan amendment, variance, special exception, final site plan, preliminary subdivision plan, final subdivision plan, building permit, grading, stormwater drainage, engineering, or any other land use or development approval. Nor shall this Agreement be deemed to reduce, eliminate, derogate from or otherwise adversely affect any such approvals, permissions or rights. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures with respect to same as otherwise set forth in the City's Code of Ordinances and subject to any conditions of approval thereof. Nothing in this Agreement shall constitute or be deemed to constitute a limitation, restriction or any other type of waiver of Developer's right or ability to seek a rezoning, comprehensive plan amendment, variance, special exception, site plan, preliminary subdivision plan, final subdivision plan, or any other land use or development approval.

13. **Authority.** Each party represents and warrants to the other party that it has all necessary power and authority to enter into and consummate the terms and conditions of this Agreement, that all acts, approvals, procedures, and similar matters required in order to authorize this Agreement have been taken, obtained, or followed, as the case may be, and that, upon the execution of this Agreement by all parties, this Agreement shall run with the Subject Property and the rights and obligations under this Agreement shall benefit, burden and be binding upon the parties hereto and their successors in interest and assigns. In the event Developer fails to pay the monies, dedicates the lands so required by this Agreement, or otherwise fails to meet Developer's obligations under this Agreement, no further development (including without limitation the issuance of permits, review of applications, or construction) of the Subject Property shall continue until such obligations are met.

14. **Effective Date.** This Agreement shall become effective upon execution by all parties (the "Effective Date").

15. **Breach.** In the event of a breach, default, or violation of one or more of the provisions herein by the Developer or the City, the violating party shall be given sixty (60) days to cure such violation upon receipt of written notice of the violation from a non-violating party. In the event such violation is not cured within said period, the City or the Developer, as the case may be, shall have the right to pursue any and all legal and equitable remedies available provided

by law. Notwithstanding the foregoing, the City shall be permitted to without notice immediately withhold the issuance of, and revoke, certificates of completion, certificates of occupancy or building permits associated with the Project in the event Developer is in violation of any provision of this Agreement. In addition to any of the above stated remedies, in the event the Developer fails to timely make payment of the Fair Share Payment for the Carter Road Improvements or any other amount due under this Agreement, the City may record a Notice of Lien against the Subject Property in an amount equal to the amounts owed to the City by Developer plus accrued interests. A copy of such Notice of Lien shall also be delivered to Developer in the same manner as required under this Agreement for delivery of written notices. The recorded Notice of Lien shall constitute a lien upon the Subject Property and the lien may be foreclosed upon for the benefit of the City any time after sixty (60) days after the Notice of Lien has been recorded in the public records. The City may foreclose the lien in accordance with the procedures established in Chapter 702, Florida Statutes, or successor statute or other statute providing for lien foreclosure procedures. Amounts past due shall accrue interest in favor of the City at the rate of eight percent per annum. The Developer may obtain a release from the lien by paying the amount stated in the lien, plus accrued interest of eight percent per annum, plus attorney's fees and costs incurred by the City in filing and collecting upon the lien.

16. **Amendment.** This Agreement may be amended, modified or cancelled by mutual consent of the parties hereto as represented by a written document executed by the City and the Developer.

17. **Governing Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Florida. Exclusive venue in any action to construe or enforce the provisions of this Agreement shall be in the circuit court of and for Orange County, Florida.

18. **Recording.** The City shall record this Agreement with the cost thereof to be borne by the Developer.

19. **Non-Waiver of Sovereign Immunity.** Nothing contained in this Agreement nor in any instruments executed pursuant to the terms of this Agreement shall be construed as a waiver or attempted waiver by the City of its sovereign immunity under the Constitution and laws of the State of Florida.

20. **Informed Execution.** This Agreement is entered into voluntarily by the Developer without duress and after full review, evaluation and consideration by the Developer. Developer is represented by counsel, or alternatively, has been afforded an opportunity to retain counsel for review of this Agreement.

21. **Reimbursement.** On or before ten (10) days after the date of invoicing, Developer shall reimburse the City for all the City's direct costs, expenses and fees incurred relating to the review, processing, inspection, and regulation (or any combination thereof) of applications related to the Project, including without limitation, the City's consultants', engineers' and attorneys' fees, concerning the preparation of this Agreement and for other

development review, processing, inspection, and regulation expenses in accordance with Chapter 88, City of Winter Garden Code of Ordinances.

22. **Time is of the Essence.** Time is hereby declared to be of the essence in the performance of the duties and obligations of the respective parties to this Agreement.

23. **Captions.** The captions or paragraph headings of this Agreement are provided for convenience only and shall not be deemed to explain, modify, amplify or aid in the interpretation, or meaning of this Agreement.

24. **Independent Parties.** City and Developer are not partners and this Agreement is not a joint venture and nothing in this Agreement shall be construed to authorize the City or Developer to represent or bind the any other party to matters not expressly authorized or provided in this Agreement.

AGREED to by the City Commission of the City of Winter Garden, Florida, a Florida municipality and the Developer on the date first written above.

<p>ATTEST:</p> <p>By: _____ ANGEE GRIMMAGE, CITY CLERK</p>	<p>“CITY”</p> <p>CITY OF WINTER GARDEN, FLORIDA</p> <p>By: _____ JOHN REES, MAYOR</p>
<p>_____ Print Name: _____ Witness</p>	<p>“DEVELOPER”</p> <p>PEOPLES PLAZA, LLC</p> <p>By: _____</p>
<p>_____ Print Name: _____ Witness</p>	<p>Print: _____</p> <p>Title: _____</p>

STATE OF _____
COUNTY OF _____

The foregoing instrument was executed, sworn to and acknowledged before me by means of physical presence or online notarization on this _____, 2020 by _____ as _____ for **PEOPLES PLAZA, LLC**, on its behalf. He (check one) is personally known to me, or has produced a valid driver's license as identification.

Notary Public, State and County Aforesaid
Name: _____
My Commission Expires: _____
My Commission Number is: _____

EXHIBIT "A"

LEGAL DESCRIPTION (as provided by client):

The Southeast 1/4 of the Southwest 1/4 of the Southeast 1/4 (less the West 30 feet, the South 75 feet, and the North 30 feet of the East 349.37 feet), in Section 24, Township 22 South, Range 27 East, Orange County, Florida.

LESS AND EXCEPT

The North 30 feet of the West 320 feet of the SE 1/4 of the SW 1/4 of the SE 1/4 of Section 24, Township 22 South, Range 27 East.

AND LESS and Except the following described:

Commence at small P-K nail and disk set in poured concrete in asphalt cut-out marking the Northeast corner of the Northwest 1/4 of Section 24, Township 22 South, Range 27 East, Orange County, Florida; thence run South 00°03'54" East along the North-South center-of-section line of said Section 24 a distance of 5329.27 feet to a point on the Centerline of Survey of State Road 50 as shown on Florida Department of Transportation Right of Way Map Section 75050, Financial Project No. 410983 1, said point also being a point on a non-tangent curve concave Northerly having a radius of 32,740.45 feet and a chord bearing of North 88°31'48" East; thence departing said North-South line, from a tangent bearing of North 88°57'45" East, run Easterly along said Centerline of Survey and along the arc of said curve through a central angle of 00°51'53" a distance of 494.11 feet to the point of tangency; said point also being a point on the South line of the Southwest 1/4 of aforesaid Section 24; thence departing said curve, run North 88°05'52" East along said Centerline of Survey and along said South line a distance of 205.55 feet to a point on the Southerly projection of the East right of way line of Carter Avenue; thence departing said Centerline of Survey and said South line, run North 00°02'46" West along said Southerly projection a distance of 75.04 feet to the intersection of the East right of way line of Carter Avenue with the existing North right of way line of aforesaid State Road 50 as shown on the aforesaid Right of Way Map for a Point of Beginning; thence continue North 00°02'46" West along said East right of way line of Carter Avenue a distance of 24.78 feet; thence departing said East right of way line of Carter Avenue, run South 46°41'33" East a distance of 34.90 feet to the aforesaid existing North right of way line of State Road 50; thence run South 88°05'52" West along said existing North right of way line of State Road 50 a distance of 25.39 feet to the **Point of Beginning**.

CONSTRUCTION PLANS FOR HOME2 SUITES AT PEOPLES PLAZA

24-22-27-0000-00-016
12301 WEST COLONIAL DRIVE
WINTER GARDEN, FLORIDA 34787



LOCATION MAP

NTS
SECTION 24, TOWNSHIP 22, RANGE 27

OWNER:
PEOPLES PLAZA, LLC
MR. DALE PARSONS
1126 S. DIVISION AVENUE
ORLANDO, FL 32805
(407) 709-0497



STATEMENT OF OWNERSHIP:

THE PROPERTY AND ALL IMPROVEMENTS AS SHOWN ARE OWNED AND SHALL BE MAINTAINED BY PEOPLES PLAZA, LLC.

GENERAL STATEMENT:

THE CHARACTER AND INTENDED USE OF THIS DEVELOPMENT SHALL BE THE CONSTRUCTION OF A HOTEL ALONG WITH THE ASSOCIATED UTILITIES, PARKING, ACCESS ROADS AND WATER MANAGEMENT FACILITIES.

SITE DATA:

PROJECT NAME: PEOPLES PLAZA
ADDRESS: 12301 WEST COLONIAL DRIVE
WINTER GARDEN, FL 34787
OWNER ADDRESS: 1126 S. DIVISION AVENUE
ORLANDO, FL 32805
TELEPHONE: (407) 709-0497

ZONING/LAND USE DATA:

ZONING: PCD (PEOPLES PLAZA)
PROPOSED USE: 95 ROOM HOTEL
NUMBER OF STORIES: FOUR
MAX. BUILDING HEIGHT: 60 FEET
FAR: 0.628
BUILDING COVERAGE: 15.13% *
PHASING: ONE PHASE
VEGETATION: EXISTING DEVELOPED PROPERTY
WATER SERVICE: CITY OF WINTER GARDEN
WASTEWATER SERVICE: CITY OF WINTER GARDEN
SOILS: 45-SMYRNA FINE SAND-URBAN LAND COMPLEX
55-ZOLFO-URBAN LAND COMPLEX
STORMWATER MANAGEMENT: PROPOSED ON-SITE WET DETENTION POND
FIRE: CITY OF WINTER GARDEN
TOTAL PROJECT AREA: 359,437 SF = 8.251 ACRES
EXISTING TOTAL PROJECT IMPERVIOUS AREA: 235,448 SF = 5.405 ACRES AT 65.50%
EXISTING TOTAL PROJECT OPEN SPACE AREA: 123,989 SF = 2.846 ACRES AT 34.50%
SITE AREA: 81,672 SF = 1.875 ACRES
IMPERVIOUS: 66,490 SF = 1.526 ACRES AT 81.41%
BUILDING: 12,833 SF = 0.295 ACRES AT 15.13% *
PAVEMENT/SIDEWALKS: 53,657 SF = 1.232 ACRES AT 65.70%
OPEN SPACE: 15,182 SF = 0.348 ACRES AT 18.59% **
OPEN SPACE (MINIMUM REQUIRED): 16,334 SF = 0.375 ACRES AT 20.00%
PROPOSED OFF-SITE IMPERVIOUS: 26,346 SF = 0.605 ACRES
TOTAL PROPOSED IMPERVIOUS AREA: 92,836 SF = 2.131 ACRES

SETBACKS/BUFFERS:

FRONT (SOUTH): 20 FEET/0 FEET
REAR (NORTH): 10 FEET/5 FEET
SIDE (EAST): 30 FEET/5 FEET
SIDE (WEST): 10 FEET/0 FEET

PARKING REQUIREMENTS:

PARKING REQUIRED:
HOTEL: ONE SPACE PER HOTEL ROOM (PER PCD NOTE #7)
(95 ROOM)(1 SPACE PER ROOM)=95 SPACES
TOTAL: 95 SPACES
REGULAR SPACES PROVIDED: 93
HANDICAPPED SPACES PROVIDED: 4
TOTAL SPACES PROVIDED: 97 SPACES

UTILITY COMPANIES:

POWER: DUKE ENERGY
452 E. CROWN POINT ROAD
WINTER GARDEN, FL 33787
(407) 905-3321
SEWER: CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FL 34787
(407) 656-4111
WATER: CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FL 34787
(407) 656-4111
TELEPHONE: AT&T-SOUTHEAST
450 N. GOLDENROD ROAD
ORLANDO, FL 32807
(407) 380-0938
GAS: LAKE APOPKA NATURAL GAS
1320 WINTER GARDEN-VINELAND ROAD
WINTER GARDEN, FL 34778
(407) 656-2734

LEGAL DESCRIPTION:

The Southeast 1/4 of the Southwest 1/4 of the Southeast 1/4 (less the West 30 feet, the South 75 feet, and the North 30 feet of the East 349.37 feet), in Section 24, Township 22 South, Range 27 East, Orange County, Florida.

LESS AND EXCEPT

The North 30 feet of the West 320 feet of the SE 1/4 of the SW 1/4 of the SE 1/4 of Section 24, Township 22 South, Range 27 East.
AND LESS and Except the following described:

Commence at small P-K nail and disk set in poured concrete in asphalt cut-out marking the Northeast corner of the Northwest 1/4 of Section 24, Township 22 South, Range 27 East, Orange County, Florida; thence run South 00°03'54" East along the North-South center-of-section line of said Section 24 a distance of 5329.27 feet to a point on the Centerline of Survey of State Road 50 as shown on Florida Department of Transportation Right of Way Map Section 75050, Financial Project No. 410983 1, said point also being a point on a non-tangent curve concave Northerly having a radius of 32,740.45 feet and a chord bearing of North 88°31' 48" East; thence departing said North-South line, from a tangent bearing of North 88°57'45" East, run Easterly along said Centerline of Survey and along the arc of said curve through a central angle of 00°51' 53" a distance of 494.11 feet to the point of tangency, said point also being a point on the South line of the Southwest 1/4 of aforesaid Section 24; thence departing said curve, run North 88°05'52" East along said Centerline of Survey and along said South line a distance of 205.55 feet to a point on the Southerly projection of the East right of way line of Carter Avenue; thence departing said Centerline of Survey and said South line, run North 00°02' 46" West along said Southerly projection a distance of 75.04 feet to the intersection of the East right of way line of Carter Avenue with the existing North right of way line of aforesaid State Road 50 as shown on the aforesaid Right of Way Map for a Point of Beginning; thence continue North 00°02' 46" West along said East right of way line of Carter Avenue a distance of 24.78 feet; thence departing said East right of way line of Carter Avenue, run South 48°41' 33" East a distance of 34.90 feet to the aforesaid existing North right of way line of State Road 50; thence run South 88°05'52" West along said existing North right of way line of State Road 50 a distance of 25.39 feet to the Point of Beginning.

ENGINEER:

MITCH COLLINS, P.E., INC.
801 E. SOUTH STREET
ORLANDO, FL 32801
(407) 850-8557

SURVEYOR:

ALLEN AND COMPANY
16 E. PLANT STREET
WINTER GARDEN, FL 34787
(407) 654-5355

ARCHITECT:

CHARLES H. PARSONS ARCHITECT, P.A.
1126 S. DIVISION AVENUE
ORLANDO, FL 32805
(407) 709-0497

LANDSCAPE ARCHITECT:

MAGLEY DESIGN
1817 EAST WASHINGTON STREET
ORLANDO, FL 32803
(407) 898-0223

INDEX OF DRAWINGS

SHT. NO.	DESCRIPTION
	COVER SHEET
1	BOUNDARY AND TOPOGRAPHIC SURVEY
2	BOUNDARY AND TOPOGRAPHIC SURVEY (CONTINUED)
3	BOUNDARY AND TOPOGRAPHIC SURVEY (CONTINUED)
D-1	DEMOLITION PLAN
C-1	SITE LAYOUT PLAN
C-1A	ROADWAY IMPROVEMENT PLAN
C-1B	PRELIMINARY SUBDIVISION PLAN
C-1C	FDOT SIGNAGE/STRIPING PLAN
C-2	GRADING AND DRAINAGE PLAN
C-3	EROSION CONTROL PLAN
C-4	WATER UTILITY PLAN
C-5	SANITARY AND RECLAIM UTILITY PLAN
C-6	DETAILS AND NOTES
C-7	DETAILS AND NOTES
C-8	DETAILS AND NOTES
C-9	DETAILS AND NOTES
C-10	DETAILS AND NOTES
C-11	DETAILS AND NOTES
C-12	DETAILS AND NOTES
C-13	DETAILS AND NOTES
L-1	PLANTING PLAN
L-2	PLANTING PLAN (CONTINUED)
L-3	PLANTING PLAN (CONTINUED)
L-4	PLANTING PLAN (CONTINUED)
L-5	PLANTING NOTES, SCHEDULE AND DETAILS
L-6	IRRIGATION PLAN
L-7	IRRIGATION PLAN
L-8	IRRIGATION PLAN
L-9	IRRIGATION PLAN
L-10	IRRIGATION NOTES AND SCHEDULES
L-11	IRRIGATION SCHEDULES
L-12	IRRIGATION SCHEDULES AND REFERENCE PLAN
L-13	IRRIGATION DETAILS
L-14	IRRIGATION DETAILS
E102	SITE PLAN PHOTOMETRICS
E103	SITE FIXTURE CUT SHEETS
A5.01	ELEVATIONS
A5.02	ELEVATIONS (CONTINUED)
A0.04	REFUSE RECEPTACLE

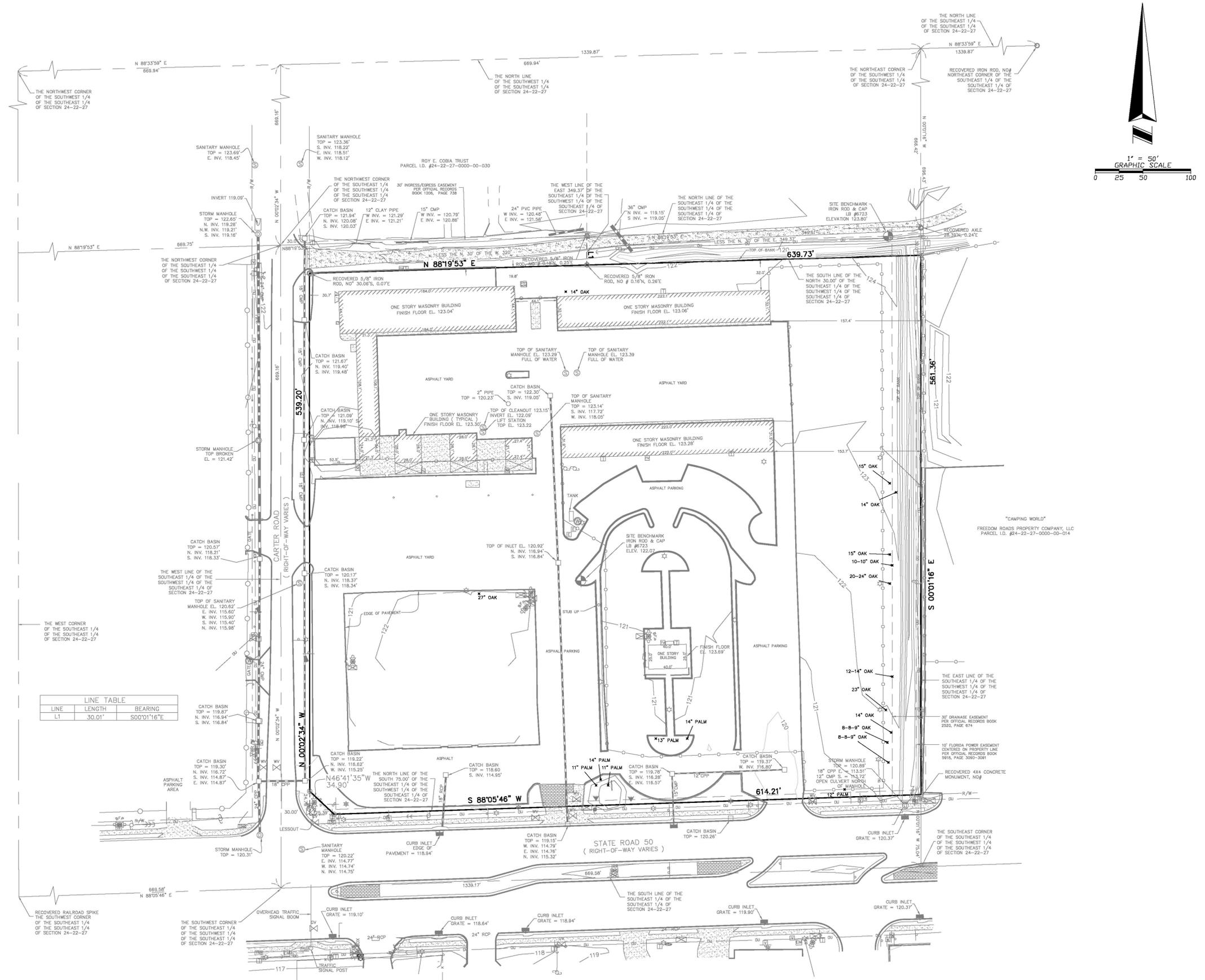
* EXCLUDES PORTE COCHERE AND POOL EQUIPMENT ROOM
** MINIMUM OPEN SPACE ON LOT 1 HAS BEEN INCREASED (SEE PLAN SHEET C-2)

ALTANSPS LAND TITLE BOUNDARY TOPOGRAPHIC & TREE SURVEY OF S.R. 50 AND CARTER ROAD SITE
SECTION 24, TOWNSHIP 22 SOUTH, RANGE 27 EAST
ORANGE COUNTY, FLORIDA

FOR: **DALE PARSONS**

DATE	REVISIONS
12/27/19	add tree survey
12/17/19	add additional info

JOB # 20180556
DATE: 10/17/19
SCALE: 1" = 50'
CALC BY: GMJ
FIELD BY: TP/AH
DRAWN BY: PJR/EGT/CDK
CHECKED BY: GMJ/DY





DEMOLITION LEGEND

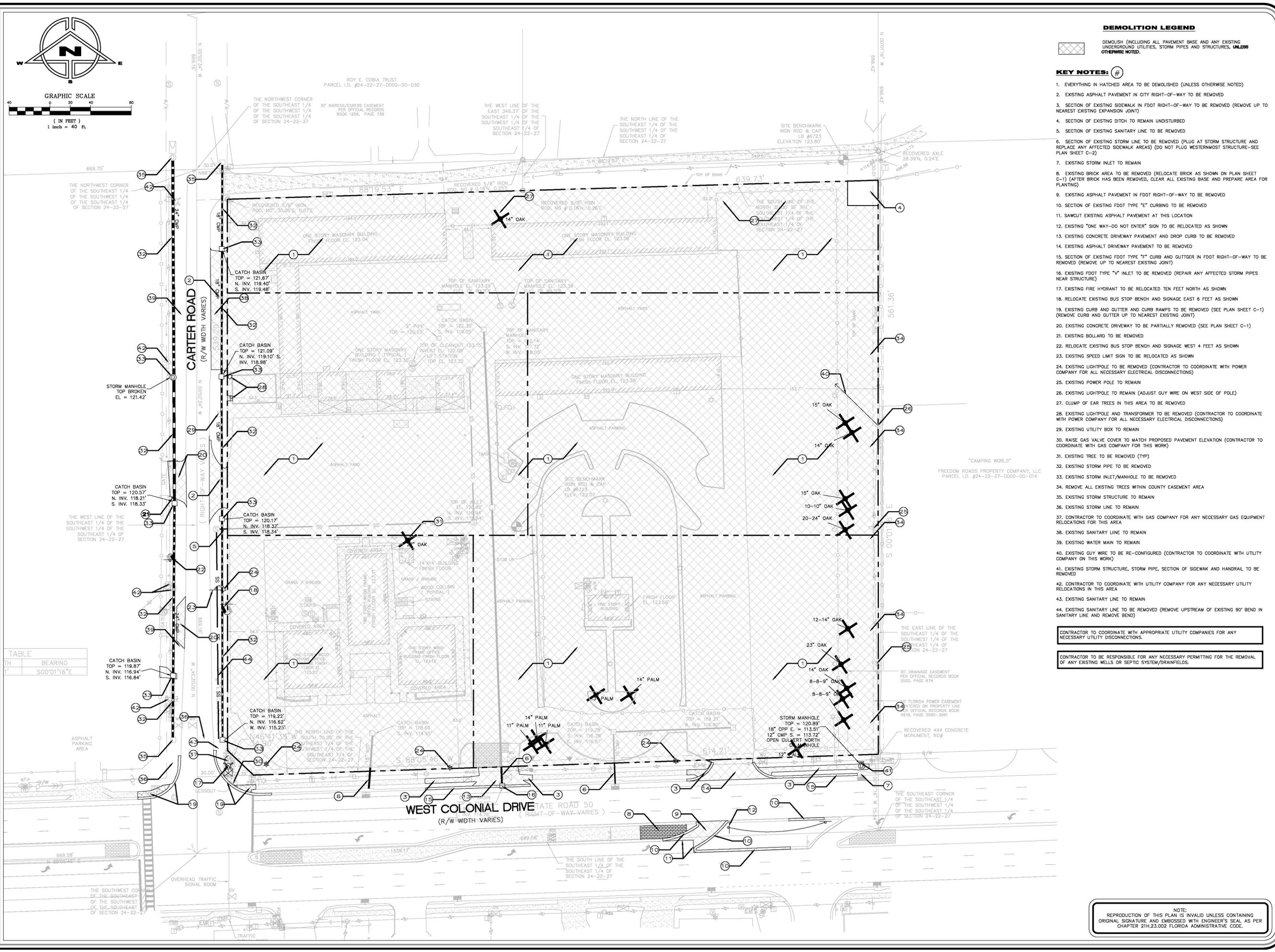
DEMOLISH (INCLUDING ALL PAVEMENT BASE AND ANY EXISTING UNDERGROUND UTILITIES, STORM PIPES AND STRUCTURES, UNLESS OTHERWISE NOTED.)

KEY NOTES:

1. EVERYTHING IN HATCHED AREA TO BE DEMOLISHED (UNLESS OTHERWISE NOTED)
2. EXISTING ASPHALT PAVEMENT IN CITY RIGHT-OF-WAY TO BE REMOVED
3. SECTION OF EXISTING SIDEWALK IN FDOT RIGHT-OF-WAY TO BE REMOVED (REMOVE UP TO NEAREST EXISTING EXPANSION JOINT)
4. SECTION OF EXISTING DITCH TO REMAIN UNDISTURBED
5. SECTION OF EXISTING SANITARY LINE TO BE REMOVED
6. SECTION OF EXISTING STORM LINE TO BE REMOVED (PLUG AT STORM STRUCTURE AND REPLACE ANY AFFECTED SIDEWALK AREAS) (DO NOT PLUG WESTERMOST STRUCTURE-SEE PLAN SHEET C-2)
7. EXISTING STORM INLET TO REMAIN
8. EXISTING BRICK AREA TO BE REMOVED (RELOCATE BRICK AS SHOWN ON PLAN SHEET C-1) (AFTER BRICK HAS BEEN REMOVED, CLEAR ALL EXISTING BASE AND PREPARE AREA FOR PLANTING)
9. EXISTING ASPHALT PAVEMENT IN FDOT RIGHT-OF-WAY TO BE REMOVED
10. SECTION OF EXISTING FDOT TYPE "E" CURBING TO BE REMOVED
11. SAWCUT EXISTING ASPHALT PAVEMENT AT THIS LOCATION
12. EXISTING "ONE WAY-DO NOT ENTER" SIGN TO BE RELOCATED AS SHOWN
13. EXISTING CONCRETE DRIVEWAY PAVEMENT AND DROP CURB TO BE REMOVED
14. EXISTING ASPHALT DRIVEWAY PAVEMENT TO BE REMOVED
15. SECTION OF EXISTING FDOT TYPE "F" CURB AND GUTTER IN FDOT RIGHT-OF-WAY TO BE REMOVED (REMOVE UP TO NEAREST EXISTING JOINT)
16. EXISTING FDOT TYPE "V" INLET TO BE REMOVED (REPAIR ANY AFFECTED STORM PIPES NEAR STRUCTURE)
17. EXISTING FIRE HYDRANT TO BE RELOCATED TEN FEET NORTH AS SHOWN
18. RELOCATE EXISTING BUS STOP BENCH AND SIGNAGE EAST 6 FEET AS SHOWN
19. EXISTING CURB AND GUTTER AND CURB RAMPS TO BE REMOVED (SEE PLAN SHEET C-1) (REMOVE CURB AND GUTTER UP TO NEAREST EXISTING JOINT)
20. EXISTING CONCRETE DRIVEWAY TO BE PARTIALLY REMOVED (SEE PLAN SHEET C-1)
21. EXISTING BOLLARD TO BE REMOVED
22. RELOCATE EXISTING BUS STOP BENCH AND SIGNAGE WEST 4 FEET AS SHOWN
23. EXISTING SPEED LIMIT SIGN TO BE RELOCATED AS SHOWN
24. EXISTING LIGHTPOLE TO BE REMOVED (CONTRACTOR TO COORDINATE WITH POWER COMPANY FOR ALL NECESSARY ELECTRICAL DISCONNECTIONS)
25. EXISTING POWER POLE TO REMAIN
26. EXISTING LIGHTPOLE TO REMAIN (ADJUST GUY WIRE ON WEST SIDE OF POLE)
27. CLUMP OF EAR TREES IN THIS AREA TO BE REMOVED
28. EXISTING LIGHTPOLE AND TRANSFORMER TO BE REMOVED (CONTRACTOR TO COORDINATE WITH POWER COMPANY FOR ALL NECESSARY ELECTRICAL DISCONNECTIONS)
29. EXISTING UTILITY BOX TO REMAIN
30. RAISE GAS VALVE COVER TO MATCH PROPOSED PAVEMENT ELEVATION (CONTRACTOR TO COORDINATE WITH GAS COMPANY FOR THIS WORK)
31. EXISTING TREE TO BE REMOVED (TYP)
32. EXISTING STORM PIPE TO BE REMOVED
33. EXISTING STORM INLET/MANHOLE TO BE REMOVED
34. REMOVE ALL EXISTING TREES WITHIN COUNTY EASEMENT AREA
35. EXISTING STORM STRUCTURE TO REMAIN
36. EXISTING STORM LINE TO REMAIN
37. CONTRACTOR TO COORDINATE WITH GAS COMPANY FOR ANY NECESSARY GAS EQUIPMENT RELOCATIONS FOR THIS AREA
38. EXISTING SANITARY LINE TO REMAIN
39. EXISTING WATER MAIN TO REMAIN
40. EXISTING GUY WIRE TO BE RE-CONFIGURED (CONTRACTOR TO COORDINATE WITH UTILITY COMPANY ON THIS WORK)
41. EXISTING STORM STRUCTURE, STORM PIPE, SECTION OF SIDEWALK AND HANDRAIL TO BE REMOVED
42. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR ANY NECESSARY UTILITY RELOCATIONS IN THIS AREA
43. EXISTING SANITARY LINE TO REMAIN
44. EXISTING SANITARY LINE TO BE REMOVED (REMOVE UPSTREAM OF EXISTING 90° BEND IN SANITARY LINE AND REMOVE BEND)

CONTRACTOR TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES FOR ANY NECESSARY UTILITY DISCONNECTIONS.

CONTRACTOR TO BE RESPONSIBLE FOR ANY NECESSARY PERMITTING FOR THE REMOVAL OF ANY EXISTING WELLS OR SEPTIC SYSTEM/DRAINFIELDS.



TH	BEARING
1'	S00°01'16"E

NOTE:
REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 21H.23.002 FLORIDA ADMINISTRATIVE CODE.

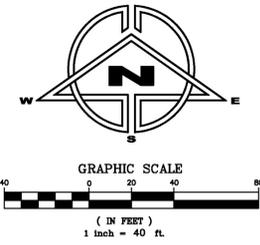
REV/DATE	BY
1-27-20	M.C.
AS PER CITY	M.C.
7-7-20	M.C.
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DEMOLITION PLAN
 FOR
HOME2 SUITES AT PEOPLE'S PLAZA
 WINTER GARDEN, FLORIDA
 12301 WEST COLONIAL DRIVE

MITCH COLLINS, P.E. # 54008, STATE OF FLORIDA, C.A.# 9023
 DATE _____



DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	1" = 40'
JOB NO:	219-002
SHEET NO:	D-1 OF C-13



SIGN LEGEND

NO.	TEXT	SYMBOL	SIZE
R1-1	STOP		30"x30"
R3-1	NO RIGHT TURN		24"x24"
R5-1	DO NOT ENTER		30"x30"
R6-1	ONE WAY		(SEE INDEX)
R3-7	LEFT LANE MUST TURN LEFT		30"x30"

ALL SIGNS SHALL CONFORM WITH F.D.O.T. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

ALL DETECTABLE WARNING MATS SHALL BE ARMOR TILE (OR APPROVED ALTERNATE) YELLOW AND CAST IN PLACE ONLY. SURFACE-MOUNTED DETECTABLE WARNING MATS WILL NOT BE ACCEPTED.

INSTALL EXPANSION AND CONTROL JOINTS FOR ALL PROPOSED SIDEWALKS PER SIDEWALK DETAIL ON PLAN SHEET C-11.

TYPICAL PARKING SPACE SHALL BE STRIPED WITH 4" WHITE STRIPING.

ALL PARKING SPACES, OTHER THAN HANDICAP SPACES SHALL BE 9' WIDE.

ALL RADII SHALL BE 5' UNLESS OTHERWISE NOTED.

ALL AFFECTED SIDEWALKS, RAMPS AND CROSSWALKS, WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.

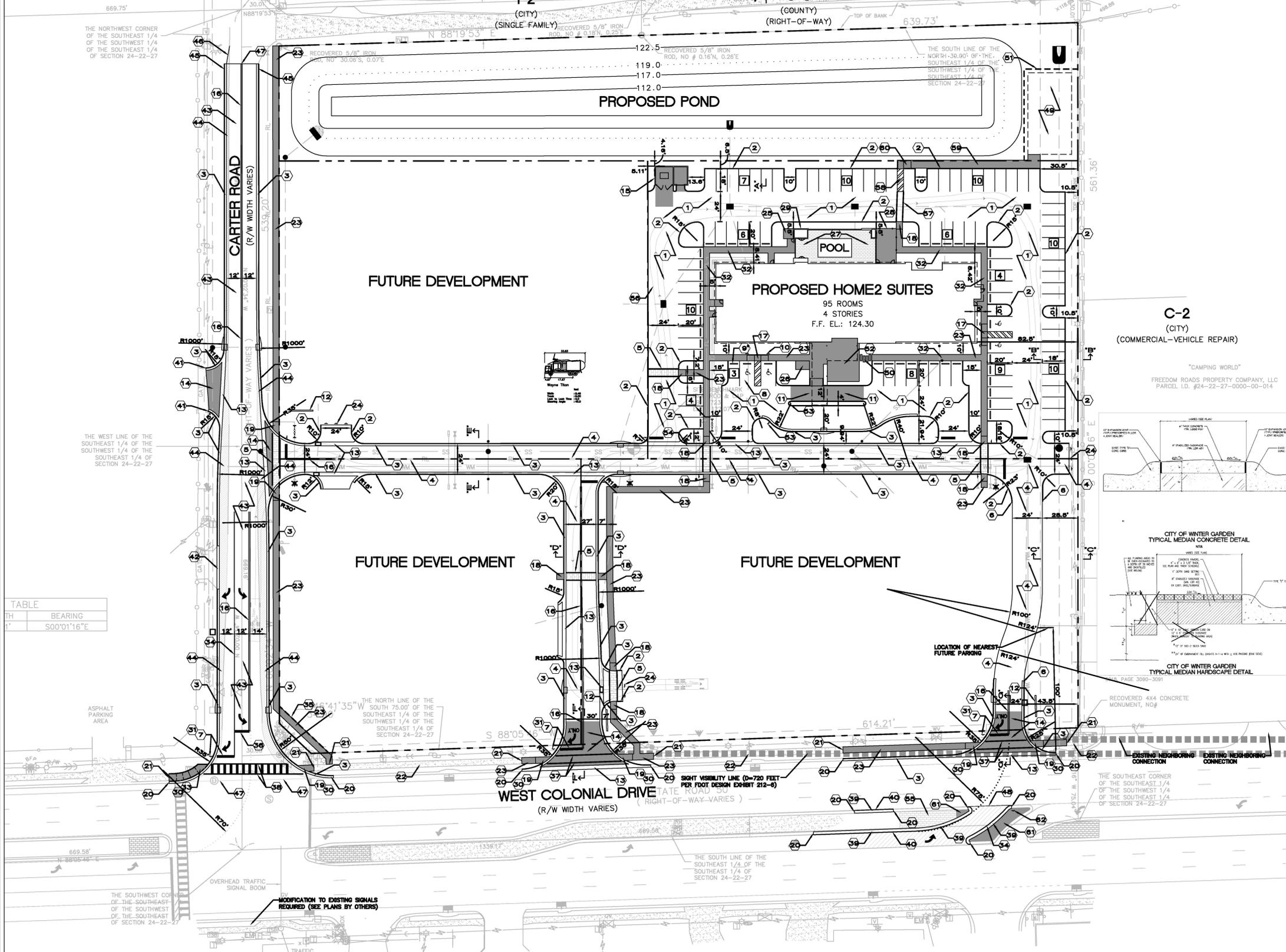
SITE LEGEND

	HANDICAP PARKING
	PROPOSED DRAINAGE INLET
	PROPOSED CURB
	SITE BOUNDARY LINE
	EXISTING EASEMENT (DEPICTED ON PLAN)
	PROPOSED EASEMENT (DEPICTED ON PLAN)
	CENTER LINE OF ROAD
	EXISTING EDGE OF PAVEMENT
	TYPICAL

SITE LEGEND

HC	HANDICAP
10	# OF PARKING SPACES
S/W	SIDEWALK
RS'	5' RADIUS
L.F.	LINEAR FEET
S.F.	SQUARE FEET
B.O.C.	BACK OF CURB
	PROPOSED ASPHALT PAVEMENT (SEE DETAIL)
	PROPOSED CONCRETE PAVEMENT (SEE DETAIL)

- KEY NOTES:**
- PROPOSED ASPHALT PAVEMENT (TYP) (SEE DETAIL, SHEET C-6)
 - PROPOSED FDOT TYPE "D" CURB (TYP) (SEE DETAIL, SHEET C-12)
 - PROPOSED FDOT TYPE "F" CURB AND GUTTER (TYP) (SEE DETAIL, SHEET C-12)
 - PROPOSED HEAVY DUTY ASPHALT PAVEMENT (TYP) (SEE DETAIL, SHEET C-6)
 - PROPOSED STAMPED ASPHALT (RED, WITH HERRING BONE PATTERN) (CONTRACTOR TO CONFIRM COLOR AND FINISH WITH DEVELOPER) (INCLUDE 12" WIDE WHITE THERMOPLASTIC STRIPING AT 6' ON CENTER)
 - TRANSITION CURB DOWN AT 2:1 IN THIS AREA
 - PROPOSED R1-1 (SEE DETAIL, SHEET C-1) AND 24" WIDE THERMOPLASTIC STOP BAR (TYP) (PROVIDE 5' MINIMUM SEPARATION BETWEEN STOP BAR AND CROSS-WALK WHERE APPLICABLE)
 - PROPOSED HANDICAP SPACE (TYP-4) (SEE DETAIL, SHEET C-6)
 - PROPOSED CONCRETE WHEELSTOP (TYP) (2 FEET MINIMUM FROM FACE OF CURB) (SEE DETAIL, SHEET C-6)
 - PROPOSED HANDICAP SIGN (TYP-4) (SEE DETAIL, SHEET C-6)
 - PROPOSED BRICK OR STAMPED CONCRETE PAVEMENT (CONFIRM WITH DEVELOPER)
 - PROPOSED SIGN LOCATION (SEE PLANS BY OTHERS) (EXACT LOCATION AND SIGN DESIGN TO BE PERMITTED SEPARATELY)
 - PROPOSED VALLEY GUTTER (SEE DETAIL, SHEET C-12)
 - PROPOSED CONCRETE PAVEMENT (SEE DETAIL, SHEET C-6)
 - PROPOSED MASONRY DUMPSTER ENCLOSURE AND CONCRETE APRON (SEE SEPARATE PLANS BY ARCHITECT) (TO BE PERMITTED SEPARATELY)
 - PROPOSED 6" DOUBLE YELLOW THERMOPLASTIC STRIPING
 - PROPOSED CURB CUT RAMP PER FDOT STANDARD PLANS INDEX 522-002, CR-C (SEE DETAIL, SHEET C-6)
 - PROPOSED CURB CUT RAMP PER FDOT STANDARD PLANS INDEX 522-002, CR-E (SEE DETAIL, SHEET C-6)
 - PROPOSED CURB CUT RAMP PER FDOT STANDARD PLANS INDEX 522-002, CR-F (SEE DETAIL, SHEET C-6)
 - CONNECT TO EXISTING CURB AND GUTTER (CONNECT AT NEAREST EXISTING JOINT)
 - CONNECT TO EXISTING SIDEWALK (CONNECT AT NEAREST EXISTING EXPANSION JOINT)
 - EXISTING 5' WIDE CONCRETE SIDEWALK
 - PROPOSED 5' WIDE CONCRETE SIDEWALK (SEE DETAIL, SHEET C-11)
 - PROPOSED REFLECTOR SIGNS PER FDOT INDEX 17349 (CASE 1) (SPACED AT MAXIMUM 8' CENTER TO CENTER)
 - PROPOSED TRANSFORMER PAD LOCATION (SEE SITE ELECTRICAL PLAN FOR EXACT LOCATION AND ADDITIONAL INFORMATION)
 - PROPOSED BICYCLE RACK W/ ROOM FOR 8 BIKES (MADRAX, U190, POWDER COATED, BLACK) (7'X11' CONCRETE PAD) (CONCRETE TO MATCH TYPICAL SIDEWALK CONCRETE) (INCLUDE EXPANSION JOINTS AND CONTROL JOINTS)
 - PROPOSED POOL DECK AREA (SEE PLANS BY OTHERS)
 - PROPOSED POOL AREA FENCE (SEE PLANS BY OTHERS)
 - PROPOSED POOL EQUIPMENT ROOM (SEE PLANS BY OTHERS)
 - DETECTABLE WARNING MATS IN RIGHT-OF-WAY SHALL BE RED
 - INCLUDE FTP-54R-06 RIGHT TURN ONLY SIGNS FOR STOP DRIVEWAYS ONTO STATE ROAD 50 ONLY (SEE FDOT STANDARD PLAN INDEX 700-103, SHEET 7 OF 11)
 - PROPOSED 5' WIDE CONCRETE SIDEWALK AT PARKING (SEE DETAIL, SHEET C-6)
 - PROPOSED CURB CUT RAMP PER FDOT STANDARD PLANS INDEX 522-002, CR-D
 - PROPOSED 6" WHITE THERMOPLASTIC STRIPING
 - PROPOSED PUBLIC SIDEWALK EASEMENT
 - PROPOSED 24" WIDE THERMOPLASTIC STOP BAR
 - PROPOSED CROSS-WALK PER FDOT STANDARD PLANS INDEX 711-001 (12" WHITE THERMOPLASTIC AT 8' ON CENTER)
 - PROPOSED FDOT TYPE "E" CURBING PER FDOT STANDARD PLANS INDEX 520-001
 - PROPOSED 6" YELLOW THERMOPLASTIC STRIPING
 - CONNECT TO EXISTING CURB
 - PROPOSED DROP CURB PER FDOT STANDARD PLANS INDEX 520-001
 - MILL EXISTING ROADWAY PAVEMENT AND OVERLAY (SEE PLAN SHEET C-1A)
 - PROPOSED NEW CARTER ROAD ROADWAY PAVEMENT (SEE PLAN SHEET C-1A)
 - TRANSITION CURB DOWN AT 12:1 AT THIS LOCATION
 - TRANSITION PROPOSED ASPHALT PAVEMENT TO EXISTING ASPHALT ROADWAY PAVEMENT
 - LIMIT OF CARTER ROAD PAVEMENT RESURFACING WORK
 - MILL AND REMOVE EXISTING 6" YELLOW STRIPING IN THIS AREA
 - PROPOSED RECREATIONAL COURT (CONFIRM DETAILS WITH DEVELOPER)
 - PROPOSED 18"X60" CONCRETE PANELS (4" THICK)
 - PROPOSED RECREATION EASEMENT
 - PROPOSED BRICK OR STAMPED CONCRETE PAVEMENT (CONFIRM WITH DEVELOPER) (DIFFERENT FROM KEYNOTE #11)
 - PROPOSED "DO NOT ENTER" SIGNS
 - PROVIDE FIRE LANE STRIPING AND SIGNAGE IN THIS AREA FOR FDC
 - RELOCATED BRICK PAVERS (SEE PLAN SHEET D-1) (PROVIDE BASE FOR BRICKS PER DETAIL ON THIS PLAN SHEET)
 - PROPOSED TRASH TRUCK ROUTE (SEE DETAIL ON THIS PLAN SHEET)
 - PROPOSED 12" WHITE THERMOPLASTIC STRIPING AT 6' ON CENTER
 - PROPOSED 5' WIDE STRIPED AREA TO MATCH ADA PARKING STRIPING
 - PROPOSED 6.5' WIDE SIDEWALK ADJACENT TO BACK OF CURB (PROVIDE EXPANSION JOINT BETWEEN SIDEWALK AND CURB)
 - PROPOSED CURB CUT RAMP PER FDOT STANDARD PLANS INDEX 522-002, CR-C-MODIFIED (SEE DETAIL, SHEET C-6)
 - PROPOSED 6" THICK (3,000 PSI) CONCRETE IN MEDIAN (SEE DETAIL ON THIS PLAN SHEET)
 - RELOCATED "ONE-WAY/DO NOT ENTER" SIGN (SEE PLAN SHEET D-1)



TABLE

TH	BEARING
1'	S00°01'16"E

REV/DATE **BY**

1-27-20	M.C.
AS PER CITY	
9-19-20	M.C.
AS PER CITY/FDOT	
7-7-20	M.C.
HOME2 SUITES	
-	-
-	-
-	-

SITE LAYOUT PLAN

FOR

HOME2 SUITES AT PEOPLE'S PLAZA

WINTER GARDEN, FLORIDA

12301 WEST COLONIAL DRIVE

MITCH COLLINS, P.E. # 54608, STATE OF FLORIDA, C.A.# 9523

DATE

DRAWN BY: M.C.

CHECKED BY: M.C.

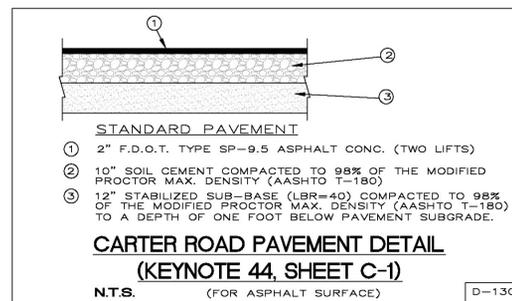
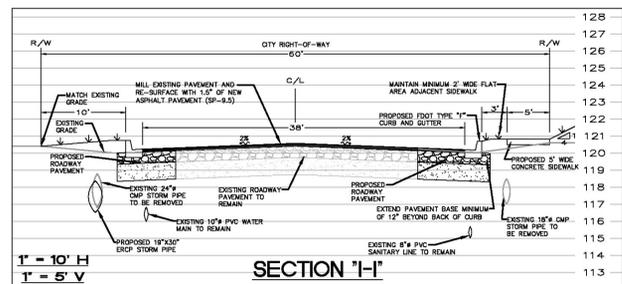
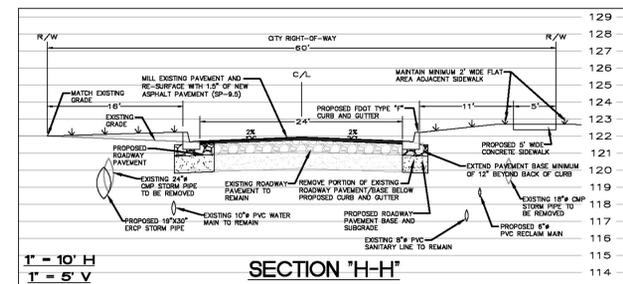
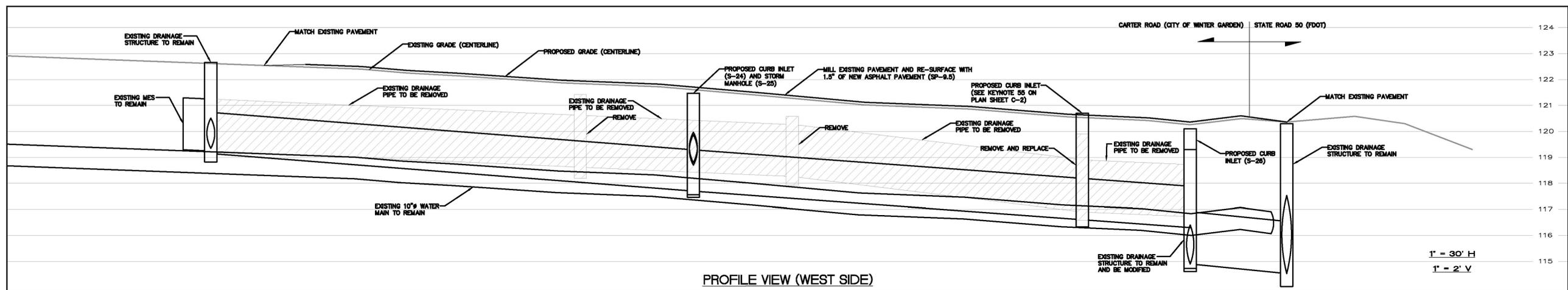
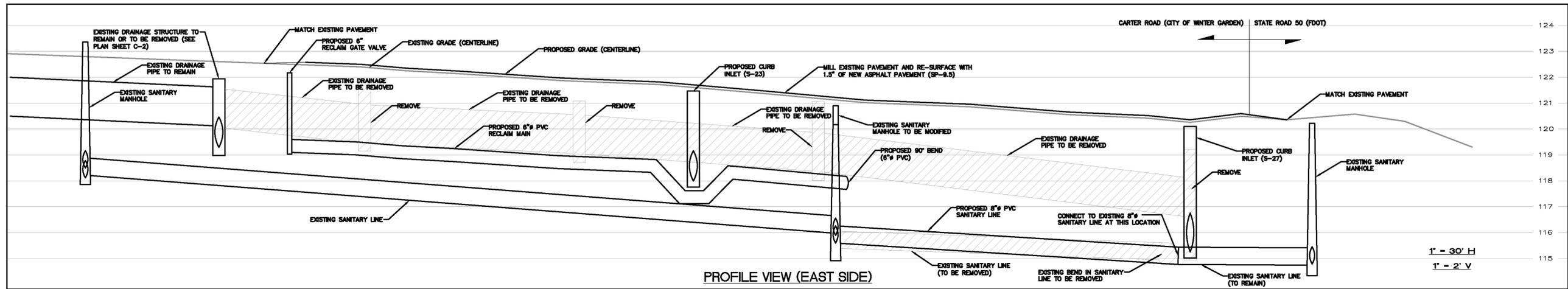
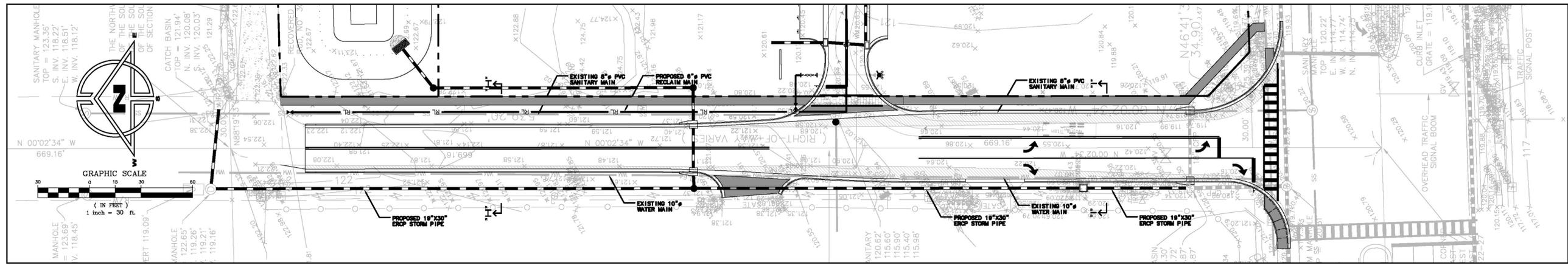
DATE: 6-17-19

SCALE: 1" = 40'

JOB NO.: 219-002

SHEET NO.: C-1 OF C-8

NOTE: REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 21H.23.002 FLORIDA ADMINISTRATIVE CODE.



NOTE:
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REV/DATE	BY
1-27-20	M.C.
AS PER CITY	

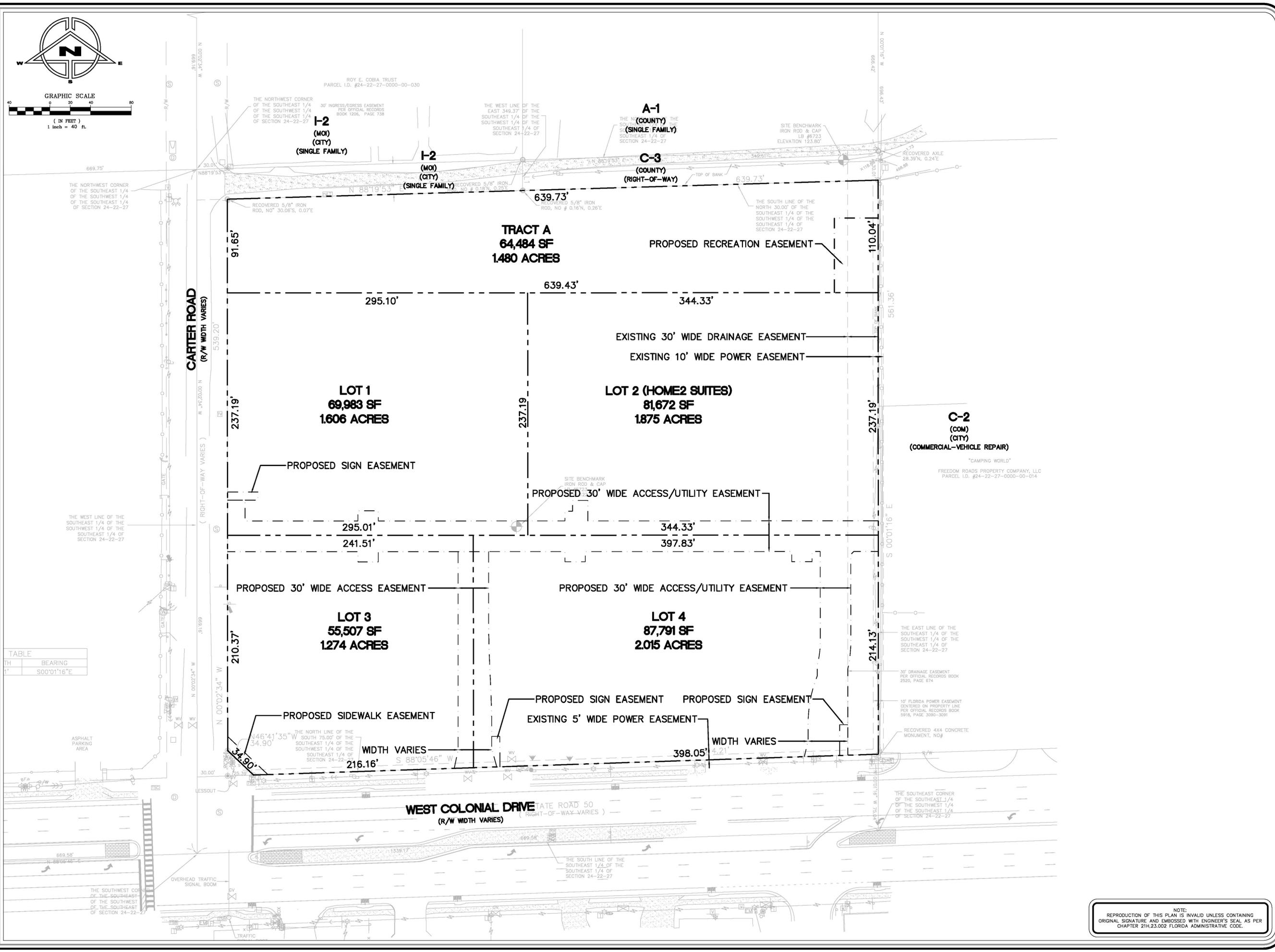
ROADWAY IMPROVEMENT PLAN
FOR
HOME2 SUITES AT PEOPLE'S PLAZA
WINTER GARDEN, FLORIDA
12301 WEST COLONIAL DRIVE

MITCH COLLINS, P.E. # 54608, STATE OF FLORIDA, C.A.# 9023
DATE _____
801 EAST FAIRWAY STREET, SUITE 100, WINTER GARDEN, FLORIDA 32787
PH: 407.850.8357
WWW.MITCHCOLLINS.COM

DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	1" = 30'
JOB NO:	219-002
SHEET NO:	C-1A OF C-13



TH	BEARING
1'	S00°01'16"E



REV/DATE	BY
1-27-20	M.C.
AS PER CITY	M.C.
7-7-20	M.C.
HOME2 SUITES	M.C.
-	-
-	-
-	-
-	-

PRELIMINARY SUBDIVISION PLAN
FOR
HOME2 SUITES AT PEOPLE'S PLAZA
WINTER GARDEN, FLORIDA

12301 WEST COLONIAL DRIVE

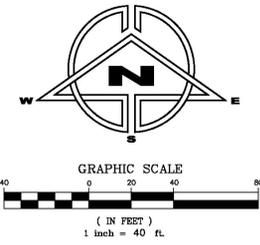
MICH COLLINS, P.E. # 54608, STATE OF FLORIDA, C.A.# 9023

DATE

mich collins, p.e., inc.
107 E. 15th Street
Tombigbee, IL 62880
michcollins.net

DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	1" = 40'
JOB NO:	219-002
SHEET NO:	C-1B OF C-1B

NOTE:
REPRODUCTION OF THIS PLAN IS UNLAWFUL UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 21H.23.002 FLORIDA ADMINISTRATIVE CODE.



SIGN LEGEND

NO.	TEXT	SYMBOL	SIZE
R1-1	STOP		30"x30"
R3-1	NO RIGHT TURN		24"x24"
R5-1	DO NOT ENTER		30"x30"
R6-1	ONE WAY		(SEE INDEX)
R3-7	LEFT LANE MUST TURN LEFT		30"x30"

ALL SIGNS SHALL CONFORM WITH F.D.O.T. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

ALL DETECTABLE WARNING MATS SHALL BE ARMOR TILE (OR APPROVED ALTERNATE) YELLOW AND CAST IN PLACE ONLY. SURFACE-MOUNTED DETECTABLE WARNING MATS WILL NOT BE ACCEPTED.

INSTALL EXPANSION AND CONTROL JOINTS FOR ALL PROPOSED SIDEWALKS PER SIDEWALK DETAIL ON PLAN SHEET C-11.

ALL AFFECTED SIDEWALKS, RAMPS AND CROSSWALKS, WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.

SITE LEGEND

	HANDICAP PARKING
	PROPOSED DRAINAGE INLET
	PROPOSED CURB
	SITE BOUNDARY LINE
	EXISTING EASEMENT (DEPICTED ON PLAN)
	PROPOSED EASEMENT (DEPICTED ON PLAN)
	CENTER LINE OF ROAD
	EXISTING EDGE OF PAVEMENT
	TYPICAL

SITE LEGEND

HC	HANDICAP
10	# OF PARKING SPACES
S/W	SIDEWALK
RS'	5' RADIUS
L.F.	LINEAR FEET
S.F.	SQUARE FEET
B.O.C.	BACK OF CURB
	PROPOSED ASPHALT PAVEMENT (SEE DETAIL)
	PROPOSED CONCRETE PAVEMENT (SEE DETAIL)

REV/DATE	BY
7-7-20	M.C.
HOME2 SUITES	

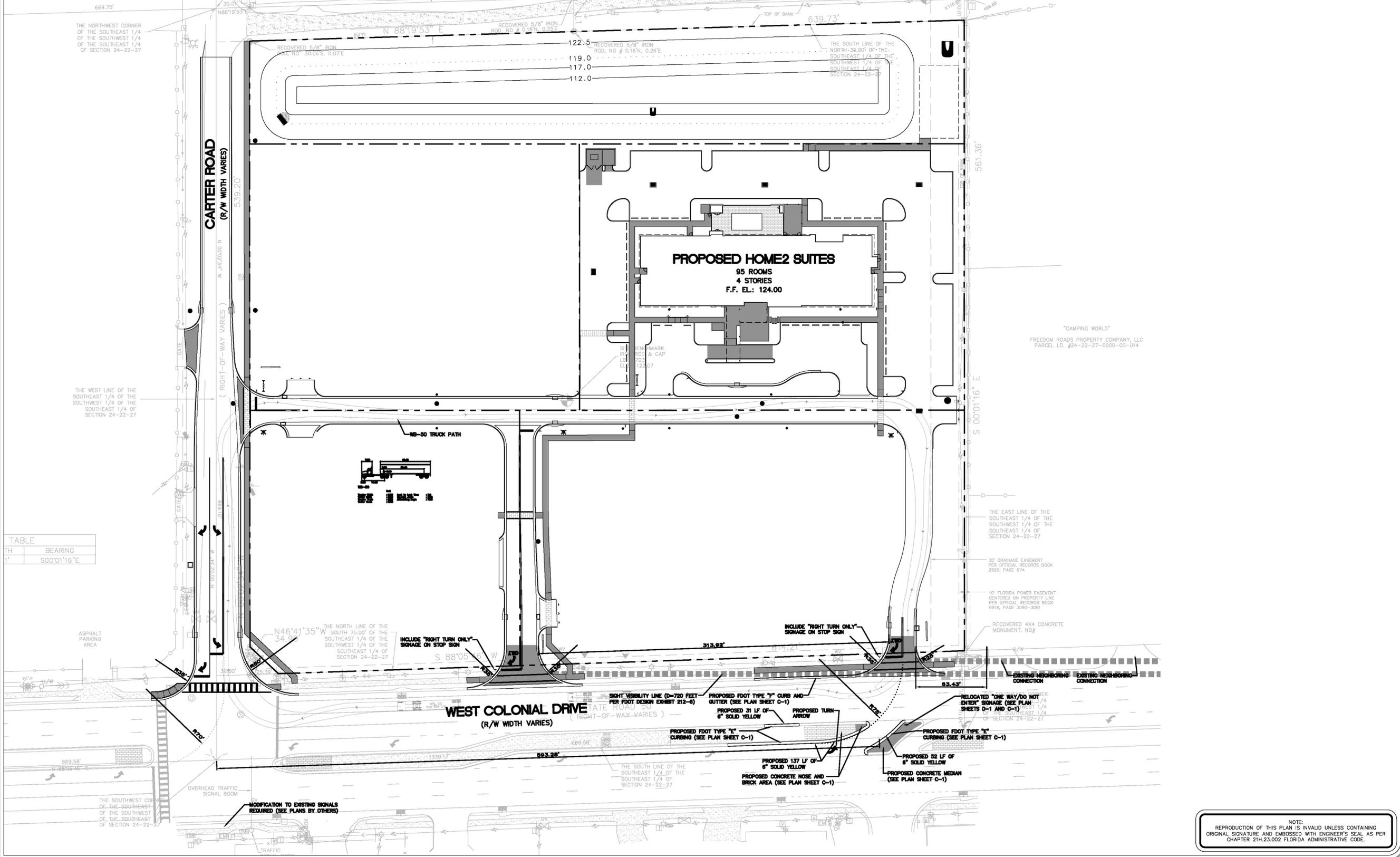
FDOT SIGNAGE/STRIPING PLAN

FOR

HOME2 SUITES AT PEOPLE'S PLAZA

WINTER GARDEN, FLORIDA

12301 WEST COLONIAL DRIVE



TABLE

TH	BEARING
1'	S00°01'16"E

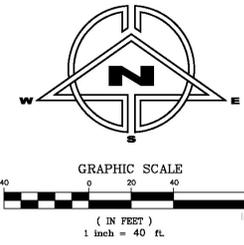
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MITCH COLLINS, P.E. # 54608, STATE OF FLORIDA, C.A.# 9023

DATE

801 east fourth street, suite 11280, winter garden, fl 32787
mitch@collinspe.com
407.850.8357

DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	1" = 40'
JOB NO:	219-002
SHEET NO:	C-1C OF C-13



ALL TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY ALLEN AND COMPANY, DATED 12-18-2019, USING DATUM 1988 (NAVD).

ALL DENSITIES IN UTILITY AND STORM TRENCHES SHALL BE 98% MINIMUM.

ALL SANITARY SEWER AND STORM SEWERS SHALL BE VIDEO INSPECTED BEFORE PAVING AND AGAIN 91 PRIOR TO THE END OF THE ONE YEAR WARRANTY PERIOD.

ALL SANITARY AND STORM SEWERS WITH LESS THAN 5' OF COVER SHALL BE 65 VIDEO INSPECTED AFTER BASE INSTALLATION.

GRADING LEGEND

- EL ELEVATION
- TYP TYPICAL
- L.F. LINEAR FEET
- C.O. CLEAUNOUT
- INV. INVERT ELEVATION
- X 49.58 EXISTING ELEVATION
- 50.23 PROPOSED SPOT ELEVATION
- 50.23 PROPOSED SPOT ELEVATION BASED ON EXISTING GRADE
- 50.23 PROPOSED SPOT ELEVATION (TOP OF SIDEWALK/ASPHALT)

- MITERED END SECTION
- DRAINAGE PIPE
- EXISTING EASEMENT (DEPICTED ON PLAN)
- PROPOSED EASEMENT (DEPICTED ON PLAN)
- SURFACE STORMWATER FLOW
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- RCP REINFORCED CONCRETE PIPE
- FINISHED FLOOR
- STORM SEWER STRUCTURE ID
- SILT FENCE BARRIER (SEE SHEET C-3)
- PROPOSED ASPHALT PAVEMENT (SEE DETAIL)
- PROPOSED CONCRETE PAVEMENT (SEE DETAIL)

KEY NOTES:

1. GRADE TO ELEVATION 122.00 AND SEED AND MULCH
2. PROPOSED 316 LF OF 36"x60" ERCP AT 0.51%
3. PROPOSED 239 LF OF 36"x60" ERCP AT 1.00%
4. CONNECT TO EXISTING STORM INLET AT INVERT ELEVATION 114.60 (REPAIR EXISTING HOLE ON NORTH SIDE OF INLET)
5. EXISTING STORM STRUCTURE WITH CULVERT OPENING ON NORTH SIDE (RIM=120.88)
6. PROPOSED 132 LF OF 18" HDPE AT 0.76%
7. PROPOSED 95 LF OF 18" HDPE AT 2.31%
8. PROPOSED 67 LF OF 36" HDPE AT 0.45%
9. PROVIDE 12" HDPE PIPE CONNECTION TO STORM STRUCTURE S-4 FOR POOL BACKWASH WATER (PROVISION SHALL BE MADE FOR DE-CHLORINATION OF WATER BEFORE BACKWASH WATER CAN BE CONNECTED) (DE-CHLORINATION MUST COMPLY WITH WINTER GARDEN CITY CODE, CHAPTER 106 AND FDEP ALLOWABLE DISCHARGE REQUIREMENTS)
10. PROPOSED 43 LF OF 12" HDPE AT 3.49% WITH WYE CONNECTION (INVERT=117.80) AT DOWNSTREAM END (INVERT AT BUILDING=119.00) (SEE PLUMBING PLANS)
11. PROPOSED 24 LF OF 18" HDPE AT 0.89%
12. PROPOSED 45 LF OF 12" HDPE AT 9.33% (INVERT AT BUILDING=119.00) (SEE PLUMBING PLANS)
13. PROPOSED 30 LF OF 18" HDPE AT 1.67% (STUBOUT AT INVERT ELEVATION 118.50)
14. PROPOSED 26 LF OF 18" HDPE AT 1.92%
15. PROPOSED 62 LF OF 18" HDPE AT 0.81%
16. PROPOSED 102 LF OF 24" HDPE AT 1.96%
17. PROPOSED 20 LF OF 24" HDPE AT 1.00%
18. PROPOSED 111 LF OF 24" HDPE AT 0.45%
19. PROPOSED 89 LF OF 30" HDPE AT 0.56%
20. PROPOSED 53 LF OF 18" HDPE AT 0.94% (STUBOUT AT INVERT ELEVATION 117.50)
21. PROPOSED 21 LF OF 18" HDPE AT 0.95%
22. PROPOSED 239 LF OF 18" HDPE AT 0.63%
23. PROPOSED 20 LF OF 18" HDPE AT 1.00%
24. PROPOSED 189 LF OF 18" HDPE AT 0.53%
25. PROPOSED 159 LF OF 18" HDPE AT 1.70%
26. PROPOSED 159 LF OF 18" HDPE AT 0.50%
27. PROPOSED 27 LF OF 15" HDPE AT 0.37%
28. PROPOSED 147 LF OF 15" HDPE AT 0.34%
29. PROPOSED 17 LF OF 15" HDPE AT 1.18%
30. PROVIDE 6" DEEP GRAVEL FOR 5' RADIUS AT THIS LOCATION
31. EXISTING CURB INLET (INVERT ELEVATION=114.60)
32. EXISTING 36"x60" ERCP STORM PIPE (FLOWS SOUTH)
33. PROPOSED 30 LF OF 18" HDPE AT 1.00% (STUBOUT AT INVERT ELEVATION 116.80)
34. PROPOSED 35 LF OF 18" HDPE AT 1.00% (STUBOUT AT INVERT ELEVATION 118.35)
35. PROVIDE MINIMUM 24" FLAT AREA BEHIND BACK OF CURB AND GRADE EVENLY TO PROPERTY LINE
36. PROPOSED STORM/SANITARY CROSSING (BOTTOM OF STORM PIPE=116.85; TOP OF SANITARY PIPE=116.40; CLEARANCE=7 INCHES)
37. PROPOSED STORM/SANITARY CROSSING (BOTTOM OF STORM PIPE=117.70; TOP OF SANITARY PIPE=117.10; CLEARANCE=7 INCHES)
38. PROPOSED STORM/SANITARY CROSSING (TOP OF STORM PIPE=115.85; BOTTOM OF SANITARY PIPE=116.65; CLEARANCE=10 INCHES)
39. PROPOSED STORM/SANITARY CROSSING (TOP OF STORM PIPE=116.40; BOTTOM OF SANITARY PIPE=117.10; CLEARANCE=8 INCHES)
40. PROPOSED STORM/SANITARY CROSSING (TOP OF STORM PIPE=116.90; BOTTOM OF SANITARY PIPE=117.55; CLEARANCE=8 INCHES)
41. SIDEWALK LEVEL WITH ASPHALT IN THIS AREA (SEE CURB CUT RAMP DETAIL)
42. PROPOSED 30 LF OF 18" HDPE AT 0.50% (STUBOUT AT INVERT ELEVATION 116.85)
43. REMOVE EXISTING STRUCTURE AND REPLACE WITH NEW FOOT TYPE "E" STRUCTURE (RATE=122.20; N. INVERT 120.08; W. INVERT ELEVATION 119.50) (DO NOT REPLACE STRUCTURE IF BOTTOM OF EXISTING STRUCTURE IS LOWER THAN 119.50)
44. PROPOSED 43 LF OF 14"x23" ERCP AT 0.47%
45. CORE AND DRILL INTO EXISTING STORM MANHOLE AT INVERT ELEVATION 119.30
46. REMOVE EXISTING STORM PIPE ON SOUTH SIDE AND INSTALL NEW 19"x30" ERCP STORM PIPE AT INVERT ELEVATION 118.10
47. PROPOSED 276 LF OF 19"x30" ERCP AT 0.51%
48. PROPOSED 23 LF OF 14"x23" ERCP AT 0.87%
49. PROPOSED 5 LF OF 14"x23" ERCP AT 6.00%
50. PROPOSED 222 LF OF 19"x30" ERCP AT 0.49%
51. CONNECT EXISTING 18" STORM PIPE TO NEW STORM STRUCTURE S-27 AT WEST INVERT ELEVATION 115.20
52. REMOVE EXISTING STORM PIPE ON NORTH SIDE AND INSTALL NEW 19"x30" ERCP STORM PIPE AT INVERT ELEVATION 118.30 (REMOVE TOP OF STRUCTURE AND INSTALL MANHOLE TOP AT RIM ELEVATION 121.00) (CONNECT EAST SIDE OF INLET WITH WEST SIDE OF PROPOSED STORM STRUCTURE S-25)
53. EXISTING 24" STORM PIPE
54. PROPOSED 58 LF OF 19"x30" ERCP AT 0.49%
55. PROPOSED FOOT TYPE 9 INLET (OPENING FACING WEST) (TOP OF STRUCTURE=120.70; OPENING ELEVATION=119.00; N. INVERT=116.60; S. INVERT=116.60)

PROPOSED POND

PROPOSED HOME2 SUITES
95 ROOMS
4 STORIES
F.F. EL.: 124.30'

FUTURE DEVELOPMENT
MAXIMUM 75% IMPERVIOUS AREA

FUTURE DEVELOPMENT
MAXIMUM 80% IMPERVIOUS AREA

FUTURE DEVELOPMENT
MAXIMUM 80% IMPERVIOUS AREA

WEST COLONIAL DRIVE
(R/W WIDTH VARIES)

TABLE

TH	BEARING
1	S00°01'16"E

STORM STRUCTURE TABULATION

STRUCTURE	TYPE OF STRUCTURE	GRATE CL.	N. INV.	S. INV.	E. INV.	W. INV.	NOTES
S-1	MANHOLE	48"	118.60	---	---	---	(SEE DETAIL)
S-2	MANHOLE	122.00	117.00	117.00	---	---	(7' DIAMETER)
S-3	TYPE "C"	122.40	---	---	118.00	---	(SEE DETAIL)
S-4	TYPE "C"	122.40	---	118.60	117.00	---	(SEE DETAIL)
S-5	TYPE "C"	122.60	112.80	114.80	112.80	---	(SEE DETAIL)
S-6	TYPE "C"	---	112.50	---	---	---	(SEE DETAIL)
S-7	CURB INLET	122.00	---	117.00	117.00	---	(FOOT TYPE 5)(ON 5% SLOPE)
S-8	GUTTER INLET	122.00	116.50	---	116.50	---	(FOOT TYPE "Y")(ON 5% SLOPE)
S-9	TYPE "E"	123.80	116.00	---	117.00	---	(SEE DETAIL)
S-10	CURB INLET	122.00	114.00	114.00	117.00	---	(FOOT TYPE 6)
S-11	CURB INLET	122.00	113.60	---	---	---	(FOOT TYPE 6)
S-12	TYPE "E"	122.60	113.30	---	115.30	---	(SEE DETAIL)
S-13	GUTTER INLET	122.20	118.70	---	---	---	(FOOT TYPE "Y")(ON 4% SLOPE)
S-14	GUTTER INLET	122.20	118.50	---	118.50	---	(FOOT TYPE "Y")(ON 4% SLOPE)
S-15	CURB INLET	122.00	---	118.70	---	---	(FOOT TYPE 6)(ON 5.5% SLOPE)
S-16	CURB INLET	122.00	118.50	---	118.50	---	(FOOT TYPE 9)(ON 5% SLOPE)
S-17	TYPE "C"	122.30	---	117.50	---	---	(SEE DETAIL)
S-18	MANHOLE	123.68	114.80	114.80	114.80	---	(SEE DETAIL)
S-19	TYPE "E"	121.50	---	119.00	---	---	(SEE DETAIL)(OVERFLOW)(TYPE H)
S-20	MANHOLE	123.00	---	118.90	---	---	(SEE DETAIL)
S-21	CURB INLET	122.30	---	115.00	---	---	(FOOT TYPE 6)
S-22	---	---	---	---	---	---	---
S-23	CURB INLET	121.47	---	118.20	118.00	---	(FOOT TYPE 5)
S-24	CURB INLET	121.47	---	118.00	118.00	---	(FOOT TYPE 5)
S-25	MANHOLE	122.00	117.70	---	---	---	(SEE DETAIL)
S-26	CURB INLET	120.10	---	114.90	---	---	(FOOT TYPE 5)
S-27	CURB INLET	120.10	---	---	115.20	---	(FOOT TYPE 5)
S-28	MANHOLE	122.20	118.40	---	118.40	---	(SEE DETAIL)

NOTE:
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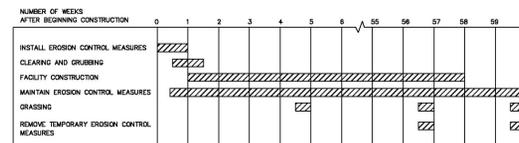
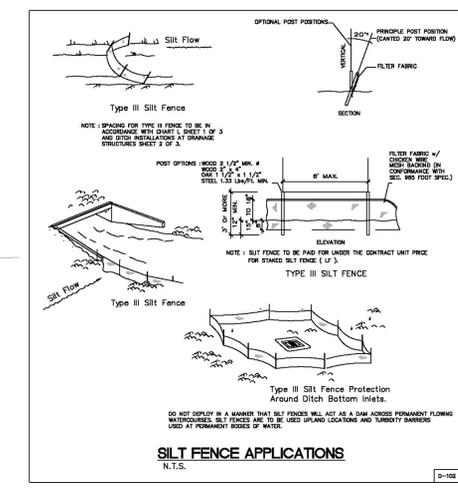
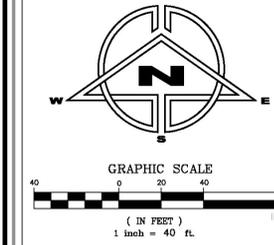
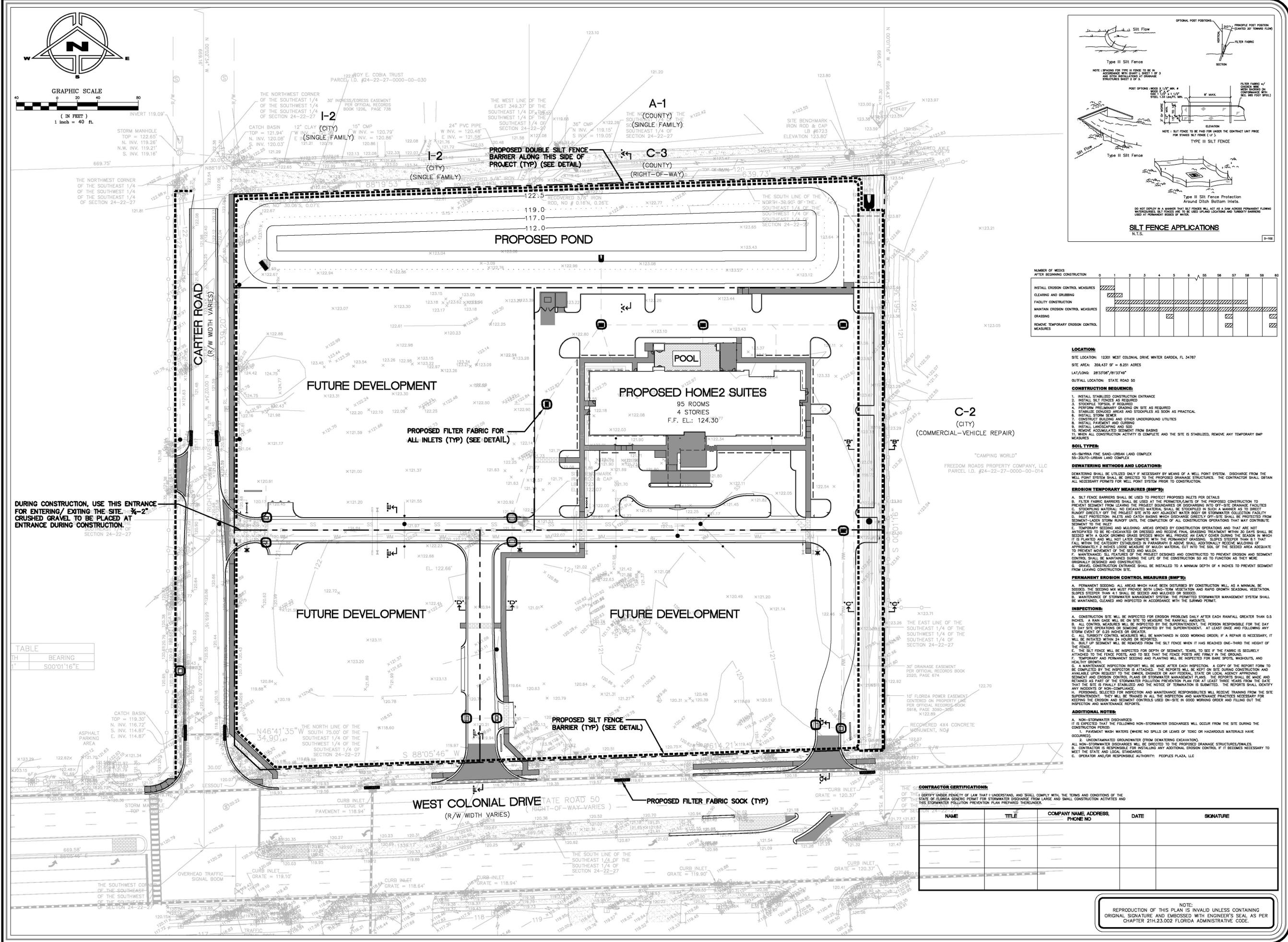
REV/DATE	BY
1-27-20	M.C.
AS PER CITY/S/R/MD	
3-13-20	M.C.
AS PER CITY	
6-14-20	M.C.
REVISED PIPES 2 AND 3	
7-7-20	M.C.
HOME2 SUITES	

GRADING AND DRAINAGE PLAN
 FOR
HOME2 SUITES AT PEOPLE'S PLAZA
 WINTER GARDEN, FLORIDA
 12301 WEST COLONIAL DRIVE

MITCH COLLINS, P.E. # 54008, STATE OF FLORIDA, C.A.# 9023

DATE: _____

DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	1" = 40'
JOB NO:	219-002
SHEET NO:	C-2 OF C-3



LOCATION:
SITE LOCATION: 12301 WEST COLONIAL DRIVE, WINTER GARDEN, FL 34787
SITE AREA: 359,437 SF = 8.291 ACRES
LAT/LONG: 28°33'08"/81°33'46"

CONSTRUCTION SEQUENCE:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE
2. INSTALL SILT FENCES AS REQUIRED
3. STOCKPILE TOPSOIL IF REQUIRED
4. PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED
5. STABILIZE DISTURBED AREAS AND STOCKPILES AS SOON AS PRACTICAL
6. INSTALL STORM SEWER
7. CONSTRUCT BUILDING AND OTHER UNDERGROUND UTILITIES
8. INSTALL PAVEMENT AND CURBING
9. INSTALL LANDSCAPING AND SOIL
10. REMOVE ACCUMULATED SEDIMENT FROM BASINS
11. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY BMP MEASURES

SOIL TYPES:
45-SHYRNA FINE SAND-URBAN LAND COMPLEX
55-ZOLFO-URBAN LAND COMPLEX

DEWATERING METHODS AND LOCATIONS:
DEWATERING SHALL BE UTILIZED ONLY IF NECESSARY BY MEANS OF A WELL POINT SYSTEM. DISCHARGE FROM THE WELL POINT SYSTEM SHALL BE DIRECTED TO THE PROPOSED DRAINAGE STRUCTURES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WELL POINT SYSTEM PRIOR TO CONSTRUCTION.

EROSION TEMPORARY MEASURES (BMP'S):

- A. SILT FENCE BARRIERS SHALL BE USED TO PROTECT PROPOSED INLETS PER DETAILS
- B. FILTER FABRIC BARRIERS SHALL BE USED AT THE PERIMETER BOUNDARIES OF THE PROPOSED CONSTRUCTION TO PREVENT SEDIMENT FROM LEAVING THE PROJECT BOUNDARIES OR DISCHARGING INTO OFF-SITE DRAINAGE FACILITIES
- C. STOCKPILE MATERIALS NOT EXPOSED TO WIND OR DISCHARGED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY
- D. INLET PROTECTION, INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET
- E. TEMPORARY SEEDING AND MULCHING: AREAS OPENED BY CONSTRUCTION OPERATIONS THAT ARE NOT ANTICIPATED TO BE RE-VEGETATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 90 DAYS SHALL BE SEEDING WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPLETE WITH THE PERMANENT SEEDING. SPECIES GREATER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH B ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROPRIATE TYPE AND THICKNESS TO PROTECT THE SEED AND MULCH
- F. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT CONTROL SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED
- G. GRAVEL CONSTRUCTION ENTRANCE SHALL BE INSTALLED TO A MINIMUM DEPTH OF 4 INCHES TO PREVENT SEDIMENT FROM LEAVING CONSTRUCTION SITE

PERMANENT EROSION CONTROL MEASURES (BMP'S):

- A. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDING THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES GREATER THAN 4:1 SHALL BE SEEDING AND MULCHING OR SOILED
- B. MAINTENANCE OF STORMWATER MANAGEMENT SYSTEM: THE PERMITTED STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED, CLEANED AND INSPECTED IN ACCORDANCE WITH THE SCHEDULED POINT

INSPECTIONS:

- A. CONSTRUCTION SITE WILL BE INSPECTED FOR EROSION PROBLEMS DAILY AFTER EACH RAINFALL GREATER THAN 0.5 INCHES. A RAIN GAGE WILL BE ON SITE TO MEASURE THE RAINFALL AMOUNTS.
- B. ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.
- C. ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OR REPORTED.
- D. BUILT UP SEDIMENT WILL BE REMOVED FROM THE SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
- E. THE SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
- F. TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
- G. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION CONTROL PLANS OR STORMWATER MANAGEMENT PLANS. REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORMWATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.
- H. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ON-SITE IN GOOD WORKING ORDER AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORTS.

ADDITIONAL NOTES:

- A. NON-STORMWATER DISCHARGES: IT IS EXPECTED THAT THE FOLLOWING NON-STORMWATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:
1. PERSISTENT MASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS LIQUIDS HAVE OCCURRED)
2. UNOBTAINABLE UNDERGROUND (FROM DEWATERING EXCAVATION)

ALL NON-STORMWATER DISCHARGES WILL BE DIRECTED TO THE PROPOSED DRAINAGE STRUCTURES/SALES.

B. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL IF IT BECOMES NECESSARY TO MEET THE STATE AND LOCAL STANDARDS.

C. OPERATOR AND/OR RESPONSIBLE AUTHORITY: PEOPLES PLAZA, LLC

CONTRACTOR CERTIFICATIONS:

I, THE UNDERSIGNED, CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GOVIC POINT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

NAME	TITLE	COMPANY NAME, ADDRESS, PHONE NO	DATE	SIGNATURE

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REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 21H.23.002 FLORIDA ADMINISTRATIVE CODE.

REV/DATE	BY
1-27-20	M.C.
AS PER CITY	M.C.
3-13-20	M.C.
AS PER CITY	M.C.
7-7-20	M.C.
HOME2 SUITES	M.C.

EROSION CONTROL PLAN
 FOR
HOME2 SUITES AT PEOPLE'S PLAZA
 WINTER GARDEN, FLORIDA
 12301 WEST COLONIAL DRIVE

TABLE

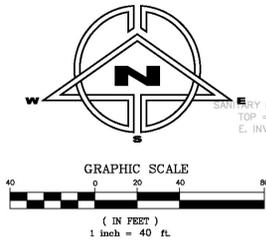
TH	BEARING
1	S00°01'16"E

DATE: _____

MITCH COLLINS, P.E. # 54608, STATE OF FLORIDA, C.A.F. 5023

601 East Fourth Street, Suite 1100
Winter Garden, FL 32787
Tel: 407.853.8777
mitchcollins.com

DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	1" = 40'
JOB NO:	219-002
SHEET NO:	C-3 OF C-13



GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

TABLE
TH BEARING
1' S00°01'16"E

THE NORTH LINE OF THE SOUTH 1/4 OF THE SOUTH 1/4 OF SECTION 24-22-27
N46°41'35"W 34.90'

THE WEST LINE OF THE SOUTH 1/4 OF THE SOUTH 1/4 OF SECTION 24-22-27
W. INV. 114.74'

THE SOUTH LINE OF THE SOUTH 1/4 OF THE SOUTH 1/4 OF SECTION 24-22-27
S. INV. 114.74'

THE EAST LINE OF THE SOUTH 1/4 OF THE SOUTH 1/4 OF SECTION 24-22-27
E. INV. 114.74'

THE WEST LINE OF THE SOUTH 1/4 OF THE SOUTH 1/4 OF SECTION 24-22-27
W. INV. 114.74'

THE SOUTH LINE OF THE SOUTH 1/4 OF THE SOUTH 1/4 OF SECTION 24-22-27
S. INV. 114.74'

THE EAST LINE OF THE SOUTH 1/4 OF THE SOUTH 1/4 OF SECTION 24-22-27
E. INV. 114.74'

THE WEST LINE OF THE SOUTH 1/4 OF THE SOUTH 1/4 OF SECTION 24-22-27
W. INV. 114.74'

THE SOUTH LINE OF THE SOUTH 1/4 OF THE SOUTH 1/4 OF SECTION 24-22-27
S. INV. 114.74'

THE EAST LINE OF THE SOUTH 1/4 OF THE SOUTH 1/4 OF SECTION 24-22-27
E. INV. 114.74'

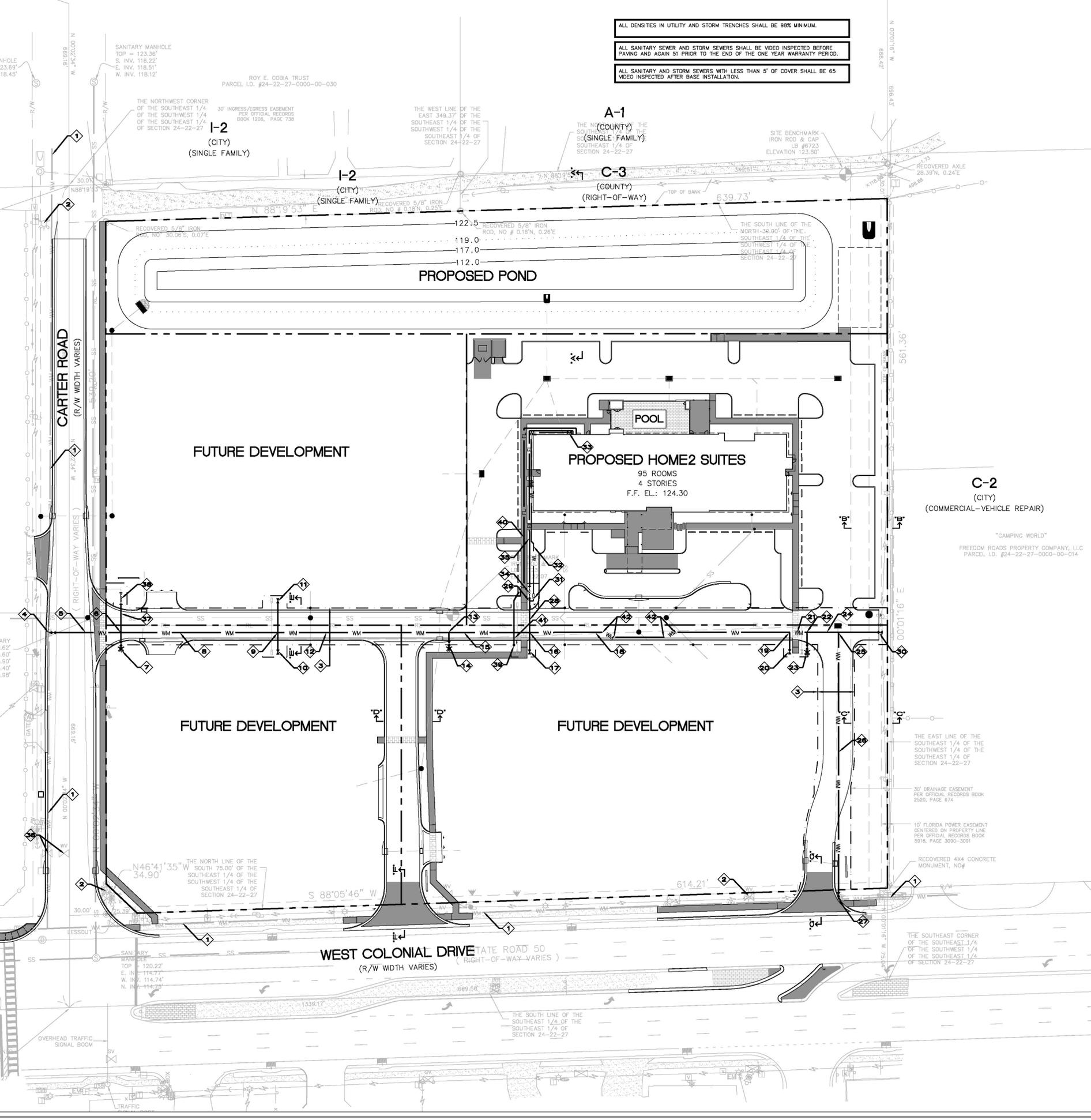
THE WEST LINE OF THE SOUTH 1/4 OF THE SOUTH 1/4 OF SECTION 24-22-27
W. INV. 114.74'

THE SOUTH LINE OF THE SOUTH 1/4 OF THE SOUTH 1/4 OF SECTION 24-22-27
S. INV. 114.74'

THE EAST LINE OF THE SOUTH 1/4 OF THE SOUTH 1/4 OF SECTION 24-22-27
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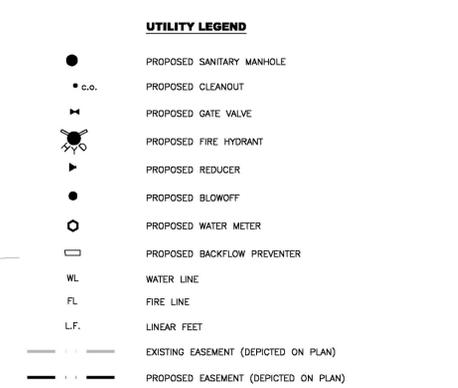
THE SOUTH LINE OF THE SOUTH 1/4 OF THE SOUTH 1/4 OF SECTION 24-22-27
S. INV. 114.74'



ALL DENSITIES IN UTILITY AND STORM TRENCHES SHALL BE 98% MINIMUM.

ALL SANITARY SEWER AND STORM SEWERS SHALL BE VIDEO INSPECTED BEFORE PAVING AND AGAIN 91 PRIOR TO THE END OF THE ONE YEAR WARRANTY PERIOD.

ALL SANITARY AND STORM SEWERS WITH LESS THAN 5' OF COVER SHALL BE 65 VIDEO INSPECTED AFTER BASE INSTALLATION.



KEY NOTES (WATER):

- EXISTING 10" PVC WATER MAIN
- EXISTING FIRE HYDRANT
- PROPOSED UTILITY EASEMENT (SEE PLAN SHEET C-18)
- PROPOSED 8" WET TAP (8"x10" SPLIT TAP SLEEVE, 8" TAP VALVE WITH BOX) (WET TAP BY CONTRACTOR)
- PROPOSED 58 LF OF 8" PVC WATER MAIN (JACK AND BORE) (SEE DETAIL)
- PROPOSED 8"x8" CROSSING
- PROPOSED FIRE HYDRANT (SEE DETAIL) AND 12 LF OF 6" PVC FIRE LINE
- PROPOSED 128 LF OF 8" PVC WATER MAIN
- PROPOSED 8" CROSS (PVC)
- PROPOSED 15 LF OF 8" PVC WATER STUBOUT (PLUG AT END AND INSTALL 8" GATE VALVE) (SEE DETAIL) (ANTICIPATED METER SIZE=1")
- PROPOSED 25 LF OF 8" PVC WATER STUBOUT (PLUG AT END AND INSTALL 8" GATE VALVE) (SEE DETAIL) (ANTICIPATED METER SIZE=2")
- PROPOSED 140 LF OF 8" PVC WATER MAIN
- PROPOSED 8"x8" TEE
- PROPOSED FIRE HYDRANT (SEE DETAIL) AND 12 LF OF 6" PVC FIRE LINE
- PROPOSED 95 LF OF 8" PVC WATER MAIN
- PROPOSED 8" CROSS (PVC)
- PROPOSED 15 LF OF 8" PVC WATER STUBOUT (PLUG AT END AND INSTALL 8" GATE VALVE) (SEE DETAIL) (ANTICIPATED METER SIZE=1")
- PROPOSED 212 LF OF 8" PVC WATER MAIN
- PROPOSED 8" TEE
- PROPOSED 15 LF OF 8" PVC WATER STUBOUT (PLUG AT END AND INSTALL 8" GATE VALVE) (SEE DETAIL) (ANTICIPATED METER SIZE=1")
- PROPOSED 14 LF OF 8" PVC WATER MAIN
- PROPOSED 8"x8" TEE
- PROPOSED FIRE HYDRANT (SEE DETAIL) AND 15 LF OF 6" PVC FIRE LINE
- PROPOSED 25 LF OF 8" PVC WATER MAIN
- PROPOSED 8" TEE (PVC)
- PROPOSED 216 LF OF 8" PVC WATER MAIN
- PROPOSED 8" WET TAP (8"x10" SPLIT TAP SLEEVE, 8" TAP VALVE WITH BOX) (WET TAP BY CONTRACTOR)
- PROPOSED 26 LF OF 8" PVC WATER LINE
- PROPOSED 8"x4" TEE (PVC)
- PROPOSED 32 LF OF 8" PVC WATER MAIN STUBOUT WITH BLOW-OFF VALVE AT END (INSTALL WATER MAIN UNDER PROPOSED STORM LINE)
- PROPOSED 2" DOMESTIC METER (BY CITY) w/ RPBP (BY CONTRACTOR) (SEE DETAIL)
- PROPOSED 181 LF. OF 3" PVC DOMESTIC SERVICE
- PROPOSED 3" GATE VALVE (SEE DETAIL)
- PROPOSED 8" DDVVA (POINT OF SERVICE) (SEE DETAIL) (ALL WORK DOWNSTREAM OF THIS LOCATION SHALL BE PERFORMED BY A LICENSED FIRE SPRINKLER CONTRACTOR)
- PROPOSED 164 LF OF 8" PVC FIRE LINE (C-900, DR-14, PC-200) (WORK SHALL BE PERFORMED BY A LICENSED FIRE SPRINKLER CONTRACTOR)
- RAISE COVER OF VALVES TO MATCH PROPOSED ROADWAY ELEVATION
- PROPOSED 22 LF OF 6" PVC WATER LINE
- PROPOSED 6" TEMPORARY JUMPER CONNECTION
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC) (ALL WORK DOWNSTREAM OF THIS LOCATION SHALL BE PERFORMED BY A LICENSED FIRE SPRINKLER CONTRACTOR)
- PROPOSED 225 LF OF 6" PVC FIRE LINE (C-900, DR-14, PC-200) (WORK SHALL BE PERFORMED BY A LICENSED FIRE SPRINKLER CONTRACTOR)
- PROVIDE FIRE LANE STRIPING AND SIGNAGE IN THIS AREA FOR FDC
- PROPOSED 30' BENDS

REV/DATE	BY
1-27-20	M.C.
AS PER CITY	M.C.
3-13-20	M.C.
AS PER CITY	M.C.
7-7-20	M.C.
HOME2 SUITES	M.C.
-	-
-	-
-	-

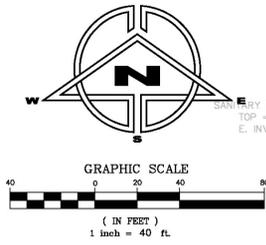
WATER UTILITY PLAN
 FOR
 HOME2 SUITES AT PEOPLE'S PLAZA
 WINTER GARDEN, FLORIDA
 12301 WEST COLONIAL DRIVE

MITCH COLLINS, P.E. # 54608, STATE OF FLORIDA, C.A.# 9023

DATE

DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	1" = 40'
JOB NO:	219-002
SHEET NO:	C-4 OF C-13

NOTE:
REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 21H.23.002 FLORIDA ADMINISTRATIVE CODE.



GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

669.75'

THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24-22-27

30.00'

88819.53'

THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24-22-27

669.58'

THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24-22-27

669.58'

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669.58'

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669.58'

THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24-22-27

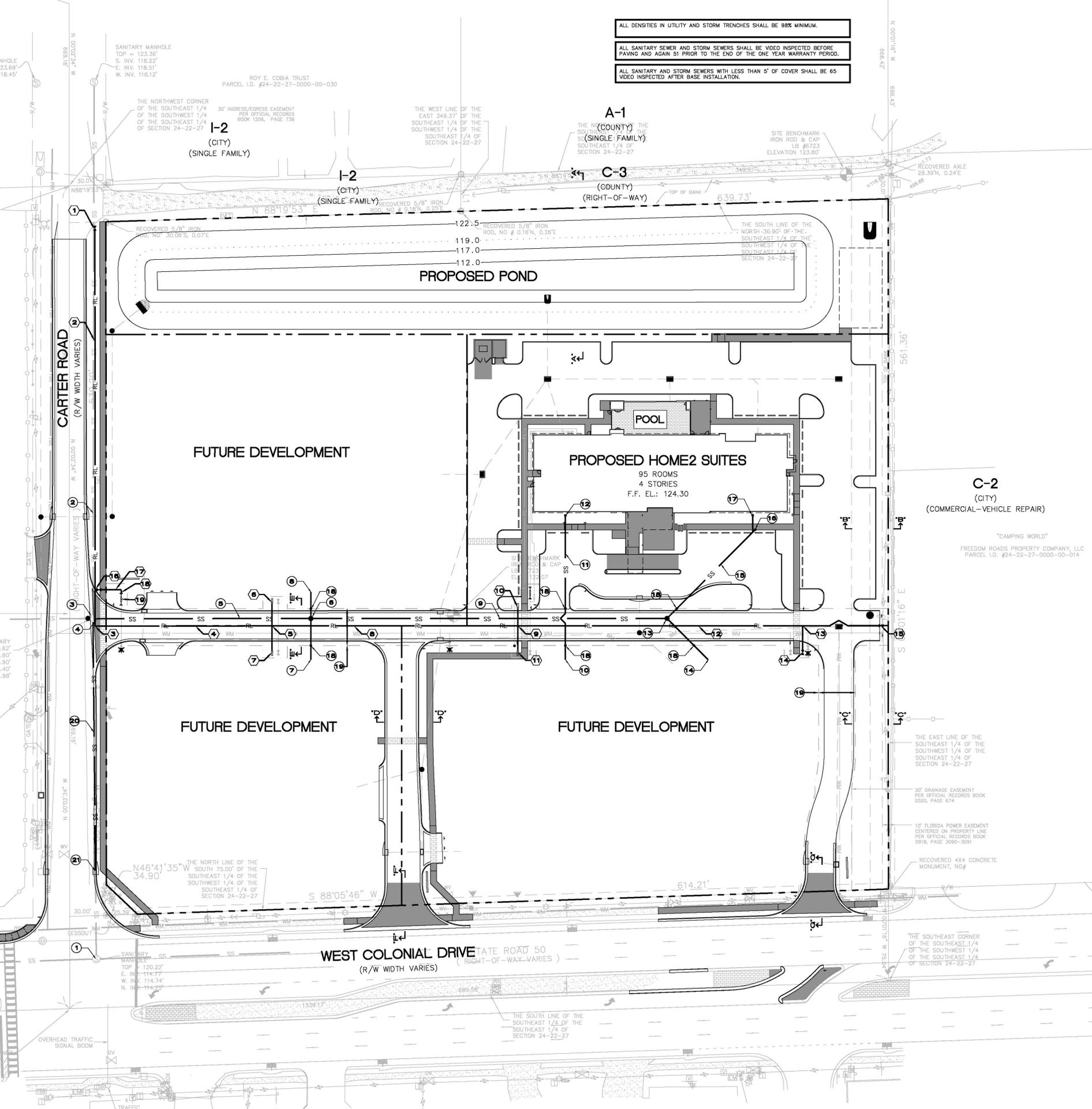
669.58'

THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24-22-27

669.58'

THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24-22-27

669.58'



TH	BEARING
1	S00°01'16"E

ASPHALT PARKING AREA

OVERHEAD TRAFFIC SIGNAL BOOM

TRAFFIC

THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24-22-27

669.58'

THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24-22-27

669.58'

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669.58'

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THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24-22-27

669.58'

THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24-22-27

669.58'

ALL DENSITIES IN UTILITY AND STORM TRENCHES SHALL BE 98% MINIMUM.

ALL SANITARY SEWER AND STORM SEWERS SHALL BE VIDEO INSPECTED BEFORE PAVING AND AGAIN 91 PRIOR TO THE END OF THE ONE YEAR WARRANTY PERIOD.

ALL SANITARY AND STORM SEWERS WITH LESS THAN 5' OF COVER SHALL BE 65 VIDEO INSPECTED AFTER BASE INSTALLATION.

UTILITY LEGEND

SS	SANITARY SEWER
●	PROPOSED SANITARY MANHOLE
• c.o.	PROPOSED CLEANOUT
SS-?	PROPOSED SANITARY STRUCTURE ID
⊗	PROPOSED FIRE HYDRANT
LF	LINEAR FEET
---	EXISTING EASEMENT (DEPICTED ON PLAN)
---	PROPOSED EASEMENT (DEPICTED ON PLAN)

- KEY NOTES (SEWER):** (#)
- EXISTING SANITARY MANHOLE (RIM=120.22, N=114.75, W=114.74, E=114.77)
 - EXISTING 8" PVC SANITARY LINE
 - EXISTING SANITARY MANHOLE (RIM=120.62, N=115.98, S=115.40, W=115.60, E=115.60) (REMOVE EXISTING MANHOLE TOP AND REPLACE WITH OFF-SET TOP TO AVOID VALLEY GUTTER) (NEW RIM ELEVATION=120.90) (NEW SOUTH INVERT ELEVATION=115.60) (NEW EAST INVERT ELEVATION=115.60)
 - CORE AND DRILL INTO EXISTING SANITARY MANHOLE AT INV. EL. 115.60
 - PROPOSED 172 L.F. OF 8" PVC SANITARY LINE AT 0.35%
 - PROPOSED SANITARY MANHOLE (RIM=123.13, N=116.20, S=116.20, E=116.20, W=116.20)
 - PROPOSED 31 L.F. OF 6" PVC SANITARY LINE AT 1.00% (PLUG END OF PIPE AND INCLUDE ABOVE-GROUND MARKER) (END OF PIPE INVERT ELEVATION=116.50)
 - PROPOSED 20 L.F. OF 6" PVC SANITARY LINE AT 1.00% (PLUG END OF PIPE AND INCLUDE ABOVE-GROUND MARKER) (END OF PIPE INVERT ELEVATION=116.40)
 - PROPOSED 287 L.F. OF 8" PVC SANITARY LINE AT 0.40%
 - PROPOSED 35 L.F. OF 6" PVC SANITARY LINE AT 1.00% WITH WYE CONNECTION AT DOWNSTREAM END (PLUG END OF PIPE AND INCLUDE ABOVE-GROUND MARKER) (END OF PIPE INVERT ELEVATION=117.35)
 - PROPOSED 85 L.F. OF 6" PVC SANITARY LINE AT 1.00% WITH WYE CONNECTION AT DOWNSTREAM END
 - PROPOSED IN-LINE CLEANOUT AT INV. EL. 117.85 (SEE DETAIL, SHEET C-9)
 - PROPOSED SANITARY MANHOLE (RIM=123.47, N=117.40, S=117.40, W=117.40)
 - PROPOSED 45 L.F. OF 6" PVC SANITARY LINE AT 1.00% (PLUG END OF PIPE AND INCLUDE ABOVE-GROUND MARKER) (END OF PIPE INVERT ELEVATION=117.90)
 - PROPOSED 100 L.F. OF 6" PVC SANITARY LINE AT 1.00%
 - PROPOSED OFF-LINE CLEANOUT AT INV. EL. 118.40 (SEE DETAIL, SHEET C-9)
 - PROPOSED IN-LINE CLEANOUT AT INV. EL. 118.60 AND 17 L.F. OF 6" PVC SANITARY LINE AT 1.00% WITH WYE CONNECTION AT DOWNSTREAM END (SEE DETAIL, SHEET C-9)
 - INSTALL IN-LINE CLEANOUT AT EASEMENT LINE (SEE DETAIL)
 - PROPOSED UTILITY EASEMENT (SEE PLAN SHEET C-18)
 - PROPOSED 202 L.F. OF 8" PVC SANITARY LINE AT 0.31%
 - CONNECT TO EXISTING 8" SANITARY LINE AT INVERT ELEVATION 114.96±

- KEY NOTES (RECLAIM):** (#)
- PROPOSED 6" GATE VALVE (SEE DETAIL, SHEET C-8)
 - PROPOSED 322 L.F. OF 6" PVC RECLAIM MAIN
 - PROPOSED 90° BEND
 - PROPOSED 144 L.F. OF 6" PVC RECLAIM MAIN
 - PROPOSED 6"x2" CROSSING
 - PROPOSED 18 L.F. OF 2" PVC RECLAIM LINE AND 1" IRRIGATION METER WITH 1.5" RPBP (SEE DETAIL, SHEET C-8)
 - PROPOSED 20 L.F. OF 2" PVC RECLAIM LINE AND 1" IRRIGATION METER WITH 1.5" RPBP (SEE DETAIL, SHEET C-8)
 - PROPOSED 199 L.F. OF 6" PVC RECLAIM MAIN
 - PROPOSED 6"x2" CROSSING
 - PROPOSED 13 L.F. OF 2" PVC RECLAIM LINE AND 1" IRRIGATION METER WITH 1.5" RPBP (SEE DETAIL, SHEET C-8)
 - PROPOSED 20 L.F. OF 2" PVC RECLAIM LINE AND 1" IRRIGATION METER WITH 1.5" RPBP (SEE DETAIL, SHEET C-8)
 - PROPOSED 233 L.F. OF 6" PVC RECLAIM MAIN
 - PROPOSED 6"x2" TEE (PVC)
 - PROPOSED 20 L.F. OF 2" PVC RECLAIM LINE AND 2" GATE VALVE (SEE DETAIL, SHEET C-8)
 - PROPOSED 33 L.F. OF 6" PVC RECLAIM MAIN STUBOUT WITH BLOW-OFF VALVE AT END (INSTALL RECLAIM MAIN UNDER PROPOSED STORM LINE)
 - PROPOSED 6" TEE WITH 6" GATE VALVE (SEE DETAIL, SHEET C-8)
 - PROPOSED 20 L.F. OF 6" PVC RECLAIM LINE
 - PROPOSED 90° BEND (PVC)
 - PROPOSED 3 L.F. OF 6" PVC RECLAIM LINE
 - PROPOSED TEMPORARY JUMPER CONNECTION

NOTE:
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REV/DATE	BY
1-27-20	M.C.
AS PER CITY	M.C.
3-13-20	M.C.
AS PER CITY	M.C.
7-7-20	M.C.
HOME2 SUITES	M.C.
-	-
-	-
-	-

SANITARY UTILITY PLAN
 FOR
HOME2 SUITES AT PEOPLE'S PLAZA
 WINTER GARDEN, FLORIDA
 12301 WEST COLONIAL DRIVE

MITCH COLLINS, P.E. # 54608, STATE OF FLORIDA, C.A.# 9023
 801 east fourth street, # 207
 WINTER GARDEN, FLORIDA 32789
 mitchcollinspe.com
 mitchcollinspe.com

DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	1" = 40'
JOB NO:	219-002
SHEET NO:	C-5 OF C-13

REV/DATE	BY

DETAILS AND NOTES
FOR
HOME2 SUITES AT PEOPLE'S PLAZA
WINTER GARDEN, FLORIDA
12301 WEST COLONIAL DRIVE

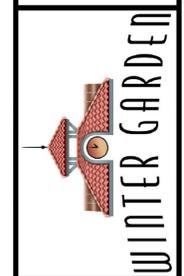
STANDARD DETAILS
FOR
WASTEWATER SYSTEMS

DATE: _____
WITCH COLLINS, P.E.# 54608, STATE OF FLORIDA, C.A.# 9503
mitch.collins@wca.com
P. 407.850.8587
F. 407.850.8587
www.wca.com

DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	N.T.S.
JOB NO:	219-002
SHEET NO:	C-9 OF C-13

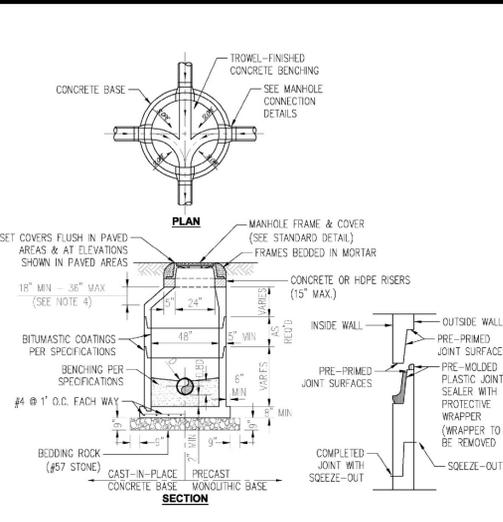
DATE	ITEM	REVISION
4/7/14	Sanitary Manhole	Official ARV Detail
4/7/14	Offset ARV Detail	

CITY OF WINTER GARDEN, FLORIDA
STANDARDS AND SPECIFICATIONS
FOR UTILITIES CONSTRUCTION

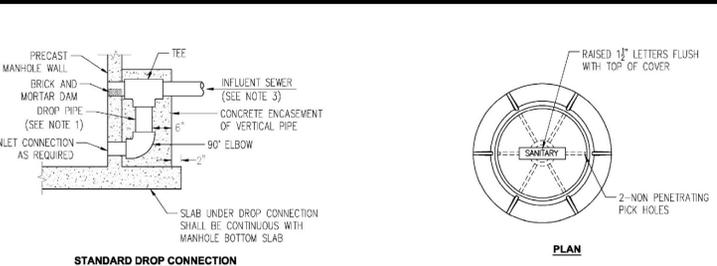


STANDARD DETAILS
FOR
WASTEWATER SYSTEMS

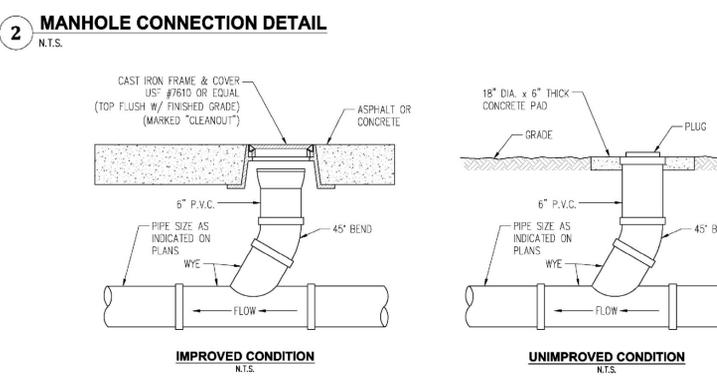
DATE
JUNE 2018
SHEET
3
3 OF 11



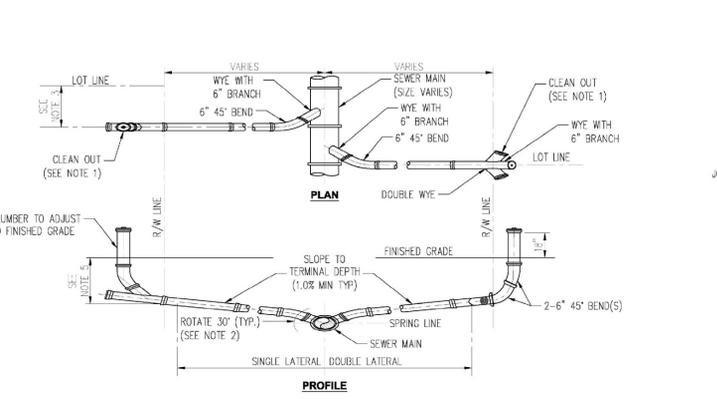
- 1 PRECAST CONCRETE SANITARY MANHOLE**
N.T.S.
- NOTES:
- DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAILS. ALL DROPS TO BE OUTSIDE OF THE MANHOLE.
 - E-2 RAPP OUTSIDE ALL JOINTS
 - GROUT WITH NON-SHRINKING GROUT INSIDE JOINTS
 - NO CONES OVER 3 FT. TALL
 - ALL PRECAST CONCRETE SHALL BE COATED INSIDE AND OUTSIDE WITH COAL TAR EPOXY, MINIMUM 16 MIL DMT.



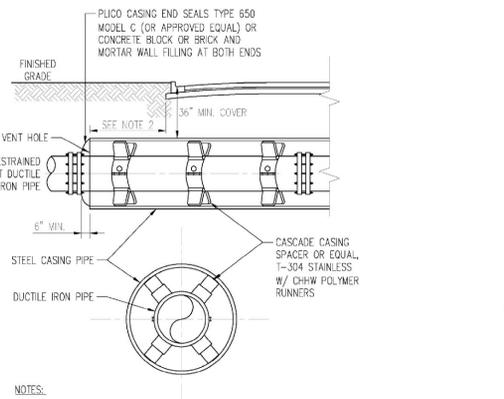
- 2 MANHOLE CONNECTION DETAIL**
N.T.S.
- NOTES:
- DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
 - AN OUTSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT WHICH HAVE AN INVERT 2' OR MORE ABOVE THE MANHOLE INVERT.
- 3 MANHOLE FRAME AND COVER**
N.T.S.
- NOTES:
- MANHOLE FRAME & COVER SHALL BE 24" OPENINGS, USE (AS-225) AS MANUFACTURED BY U.S. FOUNDRY & MFG. CORP. OR APPROVED EQUAL.
 - RAIN STOPPER LIDS OR RAIN GUARD LIDS (LFGHS) REQUIRED.



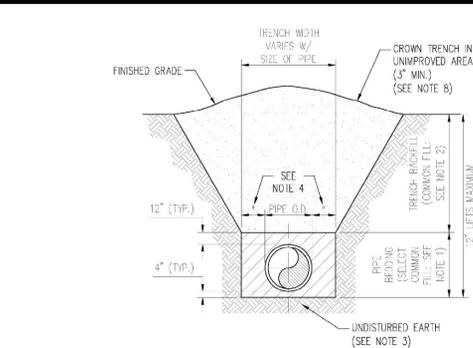
- 4 STANDARD BEDDING DETAIL**
N.T.S.



- 7 SANITARY SEWER SERVICE LATERAL DETAIL**
N.T.S.
- NOTES:
- CLEANOUT SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 - INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 - WYES AND 45° BENDS SHALL BE PVC (SDR 26).
 - LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE, 25" MAXIMUM.
 - 4" TYP TERMINAL DEPTH (3" MIN) REQUIRED FOR SERVICE AT RIGHT-OF-WAY.



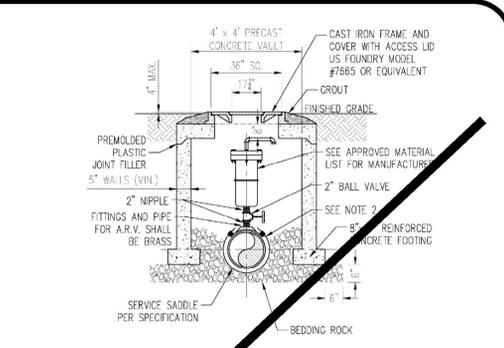
- 8 SEWER MAIN STEEL CASING DETAIL**
N.T.S.
- NOTES:
- WHERE PRACTICAL, CASING SHALL EXTEND 6' BEYOND EDGE OF PAYMENT AND SHALL NOT BE LESS THAN 6' BEYOND EDGE OF PAYMENT IN ANY CASE.
 - CASING SPACERS AND END SEALS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - DESIGN ENGINEER TO DETERMINE NEED FOR SACRIFICIAL ANODE (S) FOR CORROSION CONTROL.



- 4 STANDARD BEDDING DETAIL**
N.T.S.
- NOTES:
- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-190 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-190 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE, A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
 - (*) 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - REFER TO SECTION 32.5 OF THE CITY OF WINTER GARDEN MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION FOR SHEETING AND BRACING IN EXCAVATIONS.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY OF WINTER GARDEN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.



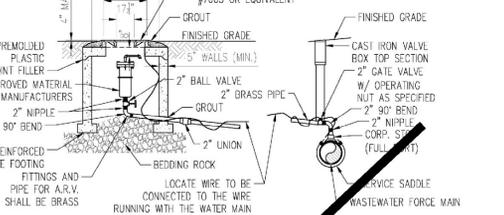
- 4 STANDARD BEDDING DETAIL**
N.T.S.



- 5 AIR RELEASE VALVE & VAULT**
N.T.S.
- NOTES:
- THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 3.0 FEET.
 - DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 - PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 - INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 - CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 - COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION AND "WASTEWATER".
 - NO GALVANIZED PIPE/VALVES.



- 5 AIR RELEASE VALVE & VAULT**
N.T.S.



- 10 OFFSET AIR RELEASE VALVE ASSEMBLY**
N.T.S.
- NOTES:
- THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
 - DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 - PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 - INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 - CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 - COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION, "SEWER" "RECLAIMED WATER OR POTABLE WATER".
 - NO GALVANIZED PIPE/VALVES.
 - LOCATE WIRE IN THE ARV VAULT SHALL BE SPLICED TO THE WIRE RUNNING WITH THE MAIN AND EXPOSED WIRE TO BE PLACED IN ARV VAULT. THE POINT OF CONNECTION AT THE MAIN SHALL HAVE WATER PROOF CONNECTOR.

10 OFFSET AIR RELEASE VALVE ASSEMBLY
N.T.S.

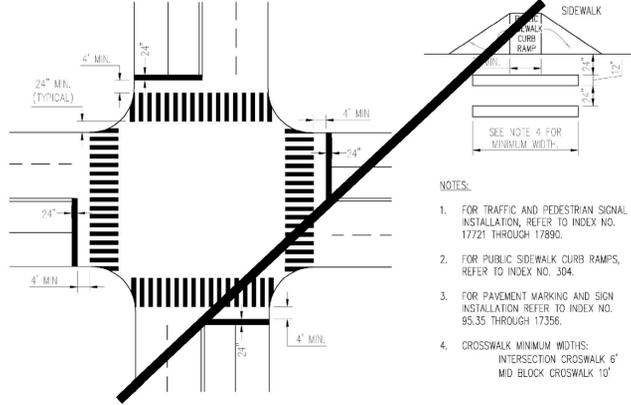
WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS' DOCUMENTS.

THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

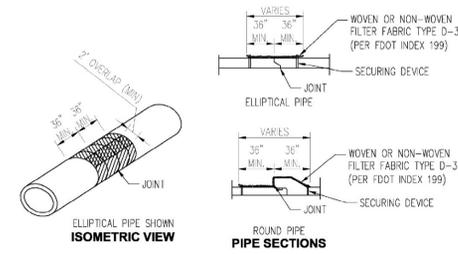
NOTE:
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GENERAL NOTES:

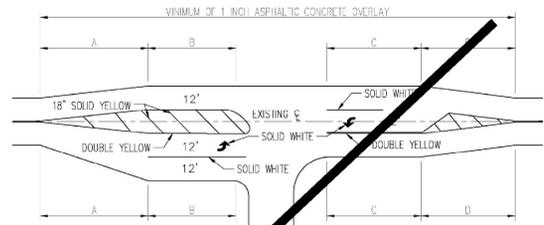
1. ALL NEW STORM AND SANITARY SEWER LINES IN THE CITY OF WINTER GARDEN SHALL BE SUBJECTED TO CLOSED CIRCUIT TV INSPECTION PRIOR TO BEING ACCEPTED BY THE CITY, WHETHER PRIVATE OR CITY MAINTAINED. ALL STORM SEWER PIPE SHALL BE REINSPECTED AT THE YEAR END, COST TO BE PAID BY THE OWNER.
2. PIPE MATERIAL SHALL BE AS SHOWN ON THE CONSTRUCTION PLANS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
3. CONTRACTOR AND OWNER ARE RESPONSIBLE FOR ENSURING THAT ALL CITY, COUNTY, STATE (FDEP, FDOT, SJRWMD, ETC.), AND FEDERAL PERMITS HAVE BEEN ISSUED FOR THE PROJECT.
4. ALL STORM SYSTEM MUST BE WATER-TIGHT WITH ALL JOINTS WRAPPED.
5. STORM SYSTEM WILL BE CLEANED PRIOR TO BEING T.Y'D.
6. THE OWNER SHALL KEEP A COPY OF THE WATER MANAGEMENT DISTRICT PERMIT, NPDES, NOI AND SWPP PLAN IN A CONSPICUOUS LOCATION ON THE JOB SITE AT ALL TIMES.
7. ALL STORM SEWER MANHOLES FRAME & COVER SHALL BE ASTM 225.
8. CLEAN SAND SHALL CONSIST OF MATERIAL HAVING LESS THAN 5% PASSING THE #200 SIEVE.
9. ONLY CONCRETE RISER RINGS WILL BE ALLOWED TO BE PLACED FOR STORM MANHOLES. ALL RISER RINGS SHALL BE SEALED TO THE STRUCTURE USING WRAPID SEAL. NO MORE THAN 15" WILL BE ALLOWED.
10. STORM SEWER PIPES SHALL MEET ASTM C76 & ASTM C507.
11. ALL STORM SEWER STRUCTURE SECTIONS SHALL BE SEALED WITH WRAPID SEAL.



1 TYPICAL CROSSWALK
N.T.S.



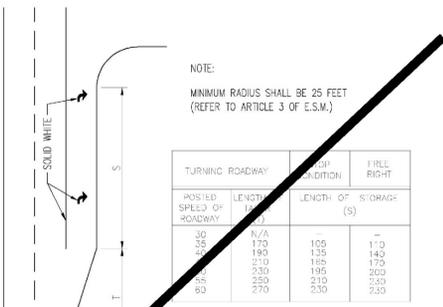
2 FILTER FABRIC JACKET
N.T.S.



- NOTES:**
- 1) STRIPING ACCORDING TO F.D.O.T. STANDARD INDEX #17346B.
 - 2) LANE WIDTHS TO MATCH EXISTING LANE WIDTHS.
 - 3) MINIMUM RADIUS SHALL BE 25 FEET (REFER TO ARTICLE 3 OF E.S.M.).
 - 4) ALL ROADWAY PAVEMENT MARKING SHALL BE THERMAPLASTIC.

PAVEMENT MARKING LENGTHS	A	B	C	D
40 MPH	190'	110'	135'	190'
45 MPH	210'	140'	165'	210'
50 MPH	230'	170'	195'	230'
55 MPH	250'	200'	210'	250'

3 TYPICAL INTERSECTION
N.T.S.



NOTE:
MINIMUM RADIUS SHALL BE 25 FEET (REFER TO ARTICLE 3 OF E.S.M.)

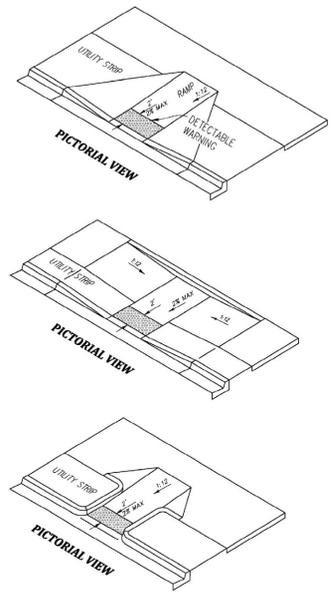
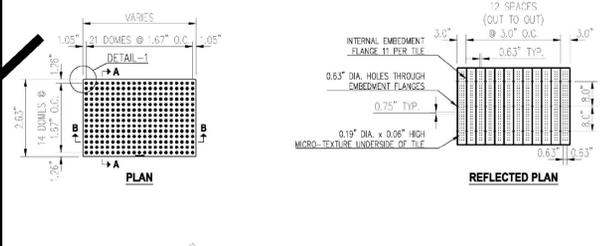
TURNING ROADWAY	POSTED SPEED OF ROADWAY	LENGTH OF DECELERATION LANE (S)	LENGTH OF STORAGE (S)	FILE RIGHT
30	N/A	105	110	-
35	170	135	140	-
40	195	165	170	-
45	210	195	200	-
50	230	225	230	-
55	250	255	260	-

POSTED SPEED OF ROADWAY	LENGTH OF TAPER (L)	LENGTH OF STORAGE (S)
30	150	100
35	170	105
40	190	135
45	210	165
50	230	195
55	250	225

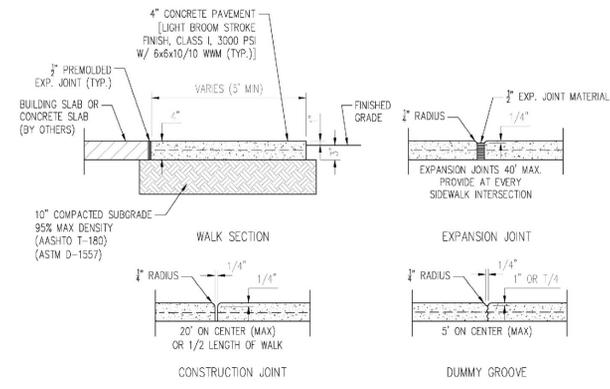
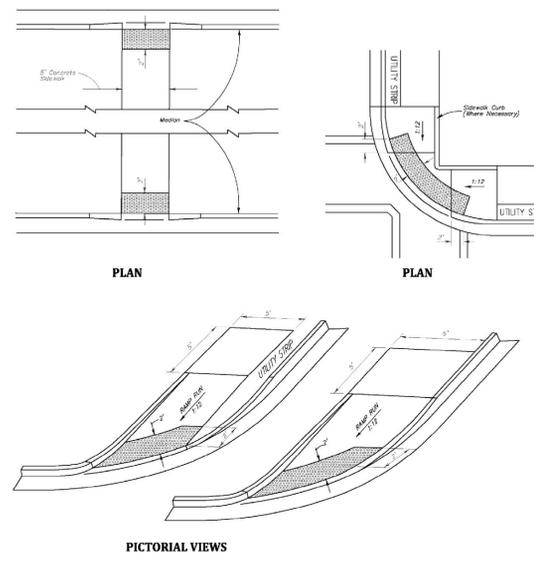
NOTE:
ALL ROADWAY PAVEMENT MARKINGS SHALL BE THERMAPLASTIC.

4 RIGHT TURN DECELERATION LANE
N.T.S.

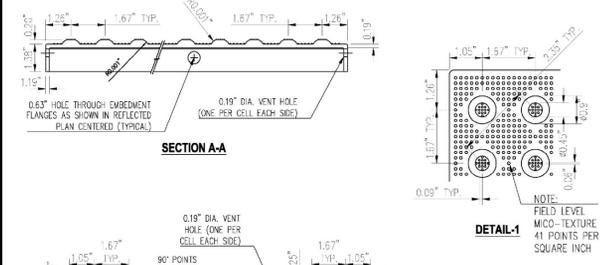
5 DIVIDED HIGHWAY LEFT TURN STORAGE LANE
N.T.S.



6 CURB RAMPS & DETECTABLE WARNING PLACEMENT
N.T.S.



7 SIDEWALK DETAILS
N.T.S.



8 DETECTABLE WARNING DETAIL
N.T.S.

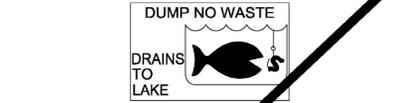
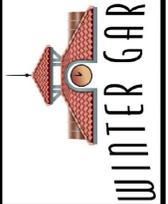


PLATE SHALL BE ADDED TO STORMWATER SHEETS AS REQUIRED BY THE CITY.

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS' DOCUMENTS.
THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT THE DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

NO.	ITEM	DATE

**CITY OF WINTER GARDEN, FLORIDA
STANDARDS AND SPECIFICATIONS
FOR ROADWAY & DRAINAGE CONSTRUCTION**



**STANDARD DETAILS
FOR
PUBLIC SERVICES**

DATE
JUNE 2018
SHEET
9
9 OF 11

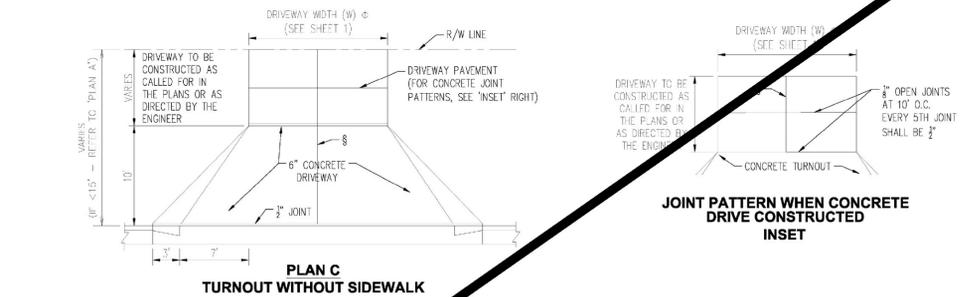
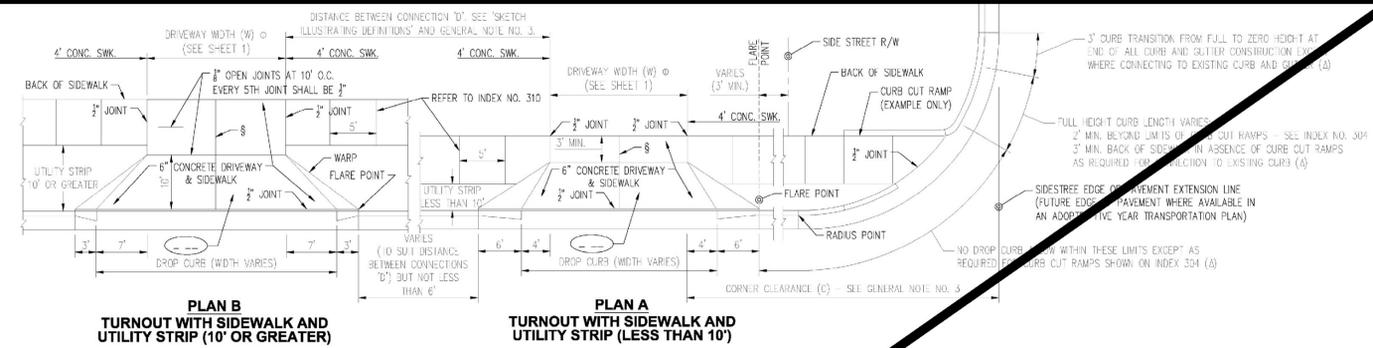
REV/DATE	BY

**DETAILS AND NOTES
FOR
HOME2 SUITES AT PEOPLE'S PLAZA
WINTER GARDEN, FLORIDA
12301 WEST COLONIAL DRIVE**

WINTER COLLINS, P.E. # 54608, STATE OF FLORIDA, C.A.# 9523
DATE _____
mitch.collins@wintercollins.com
P. 407.850.8557
F. 407.850.8557
www.wintercollins.com

DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	N.T.S.
JOB NO:	219-002
SHEET NO:	C-11 OF C-13

NOTE:
REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 21H.23.002 FLORIDA ADMINISTRATIVE CODE.



SPECIAL NOTES FOR URBAN FLARED TURNOUTS

- DRIVEWAY 6" CONCRETE PAVEMENT AND DROP CURB SHALL MEET THE MATERIAL AND CONSTRUCTION REQUIREMENTS OF SECTIONS 522 AND 520 RESPECTIVELY OF THE FDOT STANDARD SPECIFICATIONS. DRIVEWAY FOUNDATION SHALL MEET THE REQUIREMENT OF SECTION 522-4.
- FOR DETAILS OF DROP CURB AND CURB CUT RAMP REFER TO INDEXES NOS. 300 AND 304 RESPECTIVELY.
- WHERE TURNOUTS ARE CONSTRUCTED ON EXISTING CURB AND GUTTER, THE EXISTING CURB AND GUTTER SHALL BE REMOVED EITHER TO THE NEAREST JOINT BEYOND THE FLARE POINT OR TO THE EXTENT THAT NO REMAINING SECTION IS LESS THAN 5 FEET LONG, AND DROP CURB CONSTRUCTED IN ACCORDANCE WITH NOTES NOS. 1 AND 2.
- COST FOR PREFORMED JOINT FILLER SHALL BE INCLUDED IN THE COST FOR THE CONCRETE PAVEMENT (CONCRETE SIDEWALK, 6" THICK).
- TURNOUTS WITH RADIAL RETURNS SEE THE REQUIREMENTS UNDER THE "SUMMARY OF GEOMETRIC REQUIREMENTS FOR TURNOUTS", THE "GENERAL NOTES", THE DETAILS OF "RURAL TURNOUT CONSTRUCTION" AND THE DETAIL OF "LIMITS OF CLEARING & GRUBBING, STABILIZATION AND BASE AT INTERSECTIONS".
- DEPARTMENT MAINTENANCE OF PAVEMENT SHALL EXTEND OUT TO THE RIGHT OF WAY OR 2 FEET BACK OF SIDEWALK, WHICHEVER DISTANCE IS LESS.
- THE MAINTENANCE AND OPERATION OF HIGHWAY LIGHTING, TRAFFIC SIGNALS, ASSOCIATED EQUIPMENT, AND OTHER NECESSARY DEVICES SHALL BE THE RESPONSIBILITY OF A PUBLIC AGENCY.
- ALL PAVEMENT MARKINGS ON THE STATE HIGHWAYS, INCLUDING ACCELERATION AND DECELERATION LANE MARKINGS, AND SIGNING INSTALLED FOR THE OPERATION OF THE STATE HIGHWAY SHALL BE MAINTAINED BY THE DEPARTMENT.
- ALL SIGNING AND MARKING INSTALLED FOR THE OPERATION OF THE CONNECTION (SUCH AS STOP BARS AND STOP SIGNS FOR THE CONNECTION) SHALL BE THE RESPONSIBILITY OF THE PERMITTEE.
- TURNOUTS WILL BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR SIDEWALK CONCRETE (6" THICK), SY.

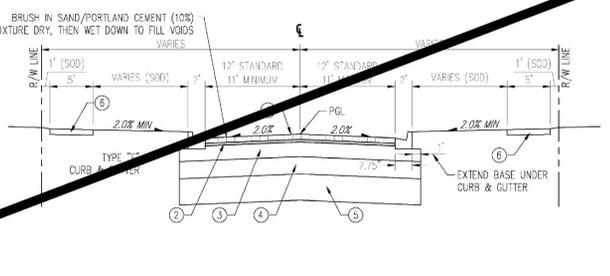
DESIGN NOTES FOR URBAN FLARED TURNOUTS

- DRIVEWAYS INDICATED AS "ADVERSE APPLICATIONS" ARE THOSE WITH SLOPES THAT CAN CAUSE OVERHANG DRAG FOR REPRESENTATIVE STANDARD PASSENGER VEHICLES UNDER FULLY LOADED CONDITIONS, OR THOSE WITH SLOPES THAT CAN CAUSE DRIVERS WHO ARE LEAVING THE ROADWAY TO SLOW OR PAUSE TO THE EXTENT THAT TRAFFIC DEMAND VOLUMES WILL BE IMPEDED.
- DRIVEWAYS INDICATED AS "MARGINAL APPLICATIONS" ARE THOSE WITH SLOPES THAT CAN CAUSE OVERHANG DRAG FOR REPRESENTATIVE STANDARD PASSENGER VEHICLES UNDER FULLY LOADED CONDITIONS WHEN THE DRIVEWAY IS LOCATED ON THE LOW SIDE OF FULLY SUPERELEVATED ROADWAYS.
- DRIVEWAYS INDICATED AS "GENERAL APPLICATIONS" ARE THOSE WITH SLOPES THAT CAN READILY ACCOMMODATE REPRESENTATIVE STANDARD PASSENGER VEHICLES AND THOSE THAT CAN ACCOMMODATE REPRESENTATIVE STANDARD TRUCKS, VANS, BUSES AND RECREATIONAL VEHICLES OPERATING UNDER NORMAL CROWN AND SUPERELEVATION CONDITIONS.

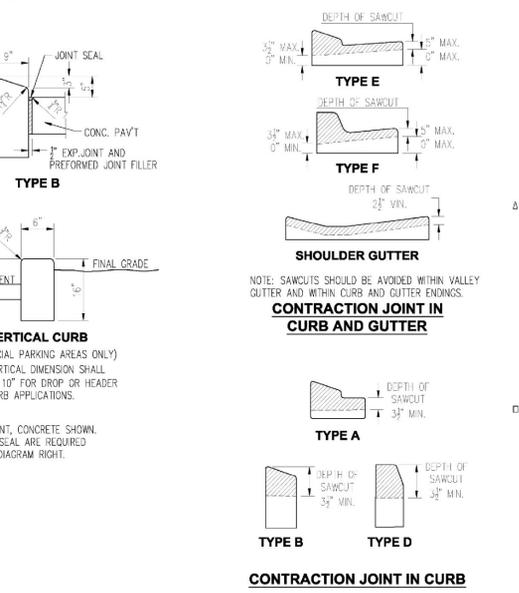
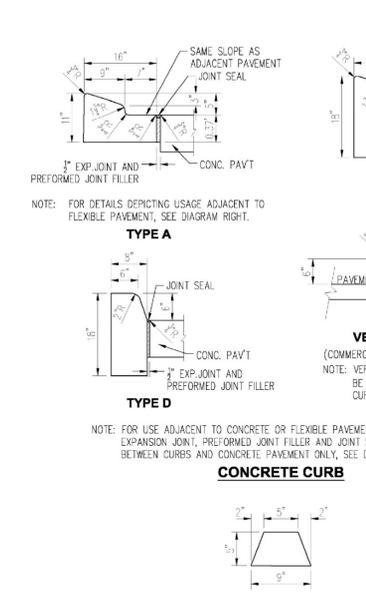
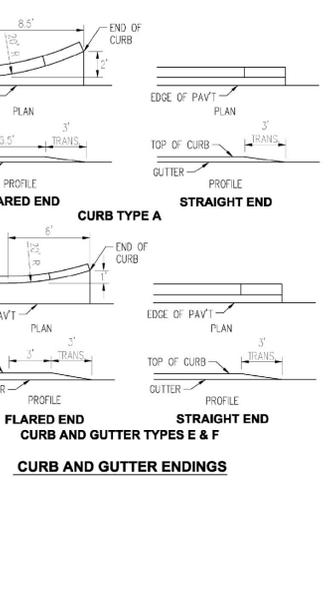
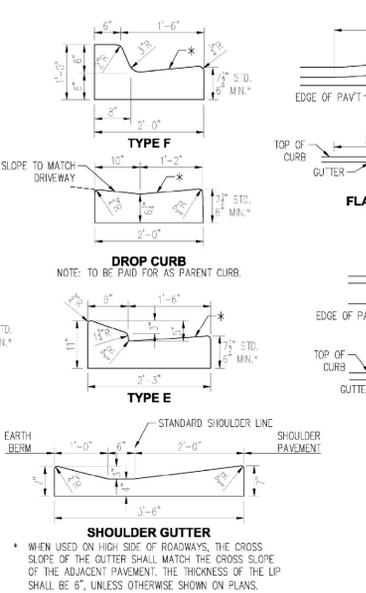
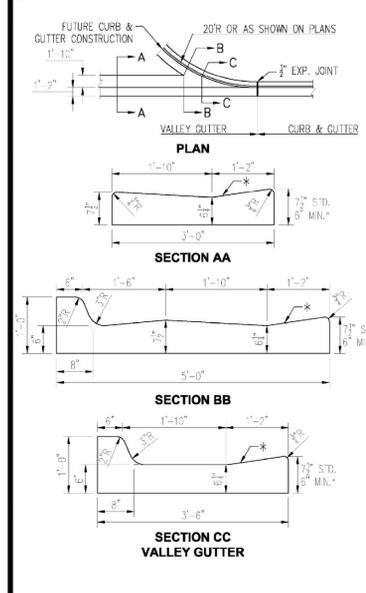
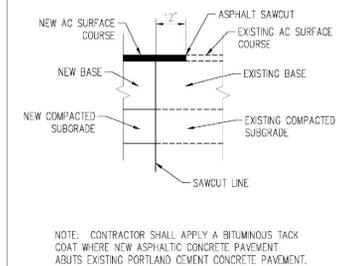
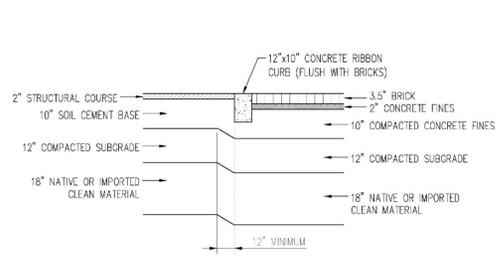
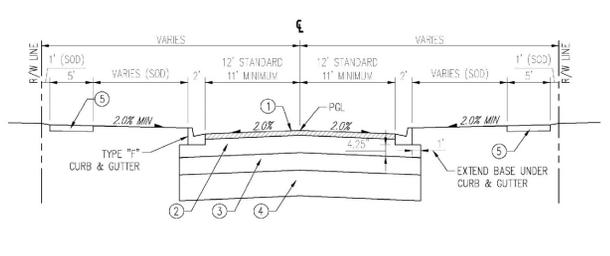
FOOTNOTES:

- ALL 1/2" JOINTS SHALL BE CONSTRUCTED WITH PREFORMED JOINT FILLER.
- OPEN JOINTS PLACED AT EQUAL (20' MAX.) INTERVALS FOR DRIVEWAYS OVER 20' WIDE. JOINTS IN CURB AND GUTTER TO MATCH JOINTS IN DRIVEWAYS.
- WHEN CONNECTING TO SIDESTREET CURB AND GUTTER SECTIONS, THE NO DROP CURB LIMITS SHOULD EXTEND BACK TO THE SIDESTREET RADIUS POINT, WITH OR WITHOUT CURB AND GUTTER, NO DRIVEWAY SHOULD ENCRoACH ON THE CORNER RADIUS.
- DRIVEWAYS (6" CONCRETE) SHALL BE OF A UNIFORM WIDTH (W) TO THE EXTENT THAT TRAFFIC DEMAND VOLUMES WILL BE IMPEDED.
- ALPHA-NUMERIC IDENTIFICATION OF A FLARED DRIVEWAY TYPE SPECIFICALLY CALLED FOR IN THE PLANS, SEE SHEETS 3 AND 4.

- PAVEMENT DESIGN**
- 3.5" BRICKS
 - 2" - 2" LOOSE CONCRETE FINES LEVELING BED
 - 10" BASE - COMPACTED CONCRETE FINES TO 98% MAX. DENSITY (AASHTO T-134). ASPHALTIC PRIME COAT APPLIED AT 0.15 GAL/SF
 - 12" COMPACTED SUBGRADE (98% DENSITY) AASHTO T-180 AND LBR 40
 - 18" OF NATIVE OR IMPORTED MATERIAL HAVING LESS THAN 5% PASSING #200 SIEVE COMPACTED TO 98% PER AASHTO T-180
 - 4" THICK CONCRETE SIDEWALK



- PAVEMENT DESIGN**
- 2" TYPE S-1 STRUCTURAL COURSE (2 LIFTS)
 - 10" BASE TYPE SOIL CEMENT COMPACTED TO 98% MAX. DENSITY (AASHTO T-134). ASPHALTIC PRIME COAT APPLIED AT 0.15 GAL/SF 300 PSI 7-DAY COMPRESSIVE STRENGTH
 - 12" COMPACTED SUBGRADE (98% DENSITY) AASHTO T-180 AND LBR 40
 - 18" OF NATIVE OR IMPORTED MATERIAL HAVING LESS THAN 5% PASSING #200 SIEVE COMPACTED TO 98% PER AASHTO T-180
 - 4" THICK CONCRETE SIDEWALK

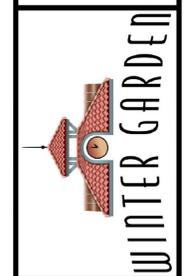


GENERAL NOTES

- FOR CURB, GUTTER, AND CURB AND GUTTER PROVIDE 1/2" - 1/2" CONTRACTION JOINTS AT 10' CENTERS (MAX.). CONTRACTION JOINTS ADJACENT TO CONCRETE PAVEMENT ON TANGENTS AND FLAT CURVES ARE TO MATCH THE PAVEMENT JOINTS. WITH INTERMEDIATE JOINTS NOT TO EXCEED 10' CENTERS. CURB, GUTTER AND CURB & GUTTER EXPANSION JOINTS SHALL BE LOCATED IN ACCORDANCE WITH SECTION 520 OF THE STANDARD SPECIFICATIONS.
- ENDS OF CURBS TYPES B AND D SHALL TRANSITION FROM FULL TO ZERO HEIGHTS IN 3 FEET.

NO.	ITEM	DATE
1	Druck Typical Section	4/4/14

CITY OF WINTER GARDEN, FLORIDA
STANDARDS AND SPECIFICATIONS
FOR ROADWAY & DRAINAGE CONSTRUCTION



STANDARD DETAILS
FOR
PUBLIC SERVICES

DATE
JUNE 2018
SHEET
10
10 OF 11

REV/DATE	BY
1	
2	
3	
4	
5	
6	
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8	
9	
10	

DETAILS AND NOTES
FOR
HOME2 SUITES AT PEOPLE'S PLAZA
WINTER GARDEN, FLORIDA
12301 WEST COLONIAL DRIVE

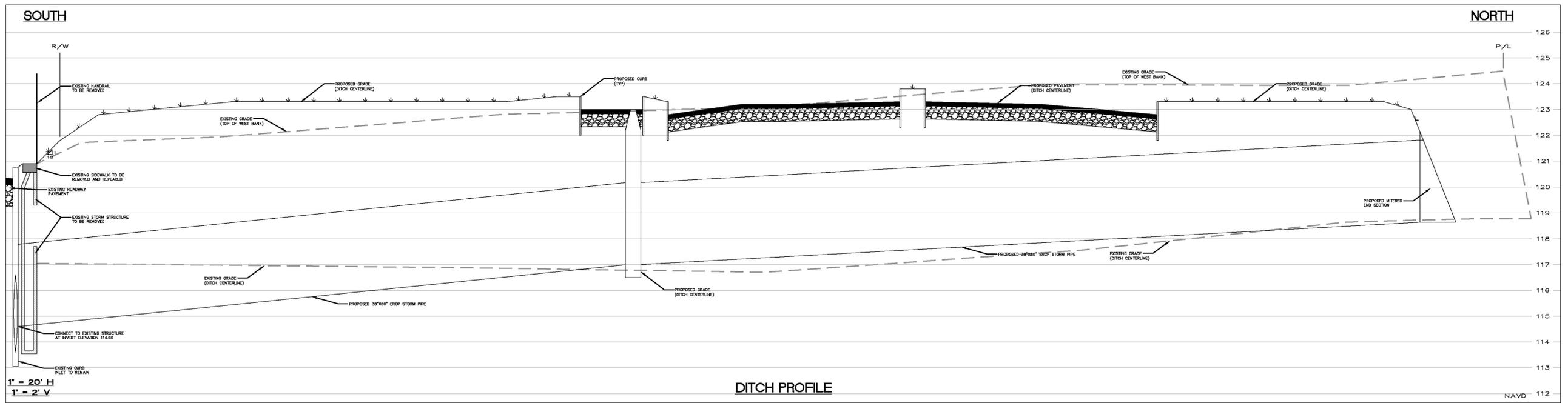
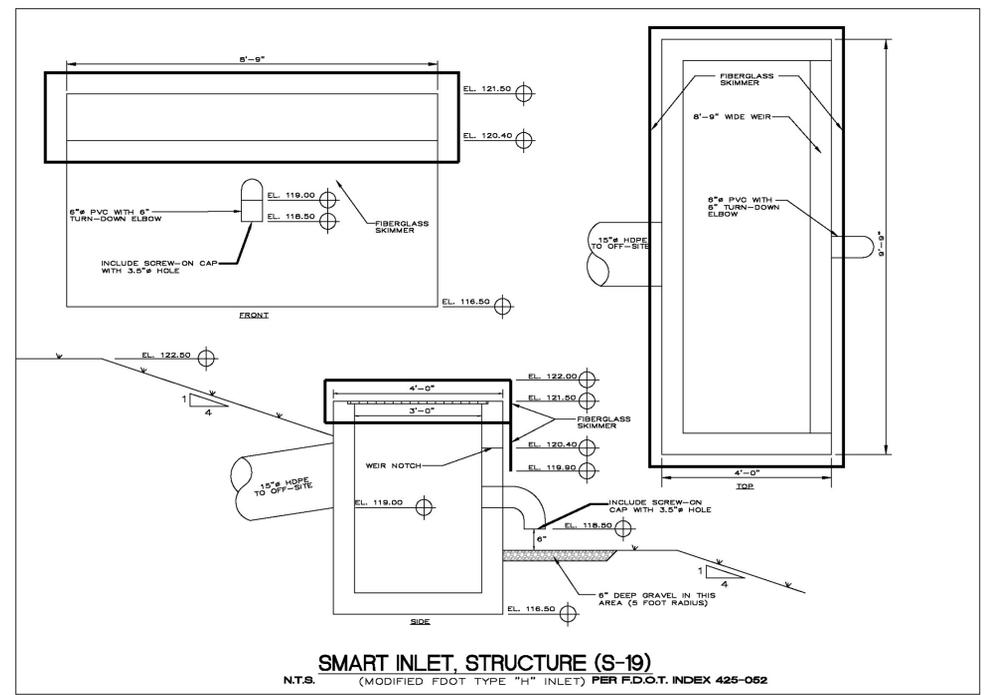
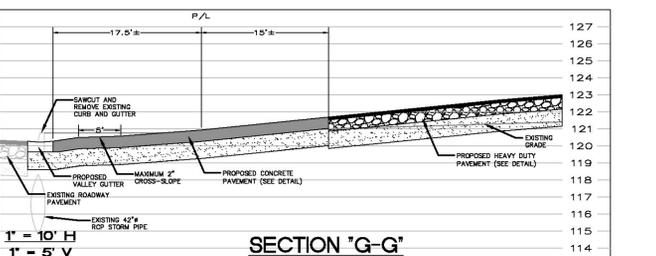
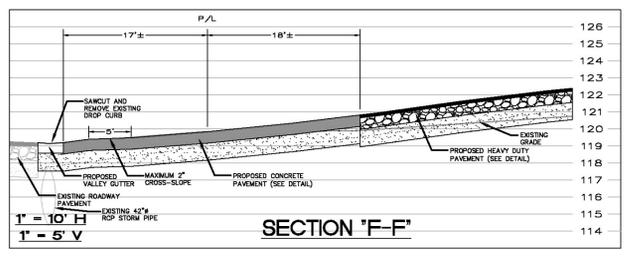
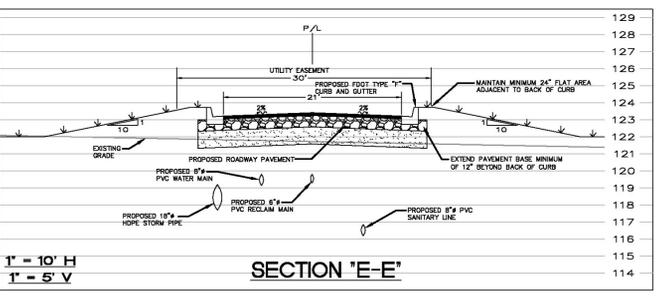
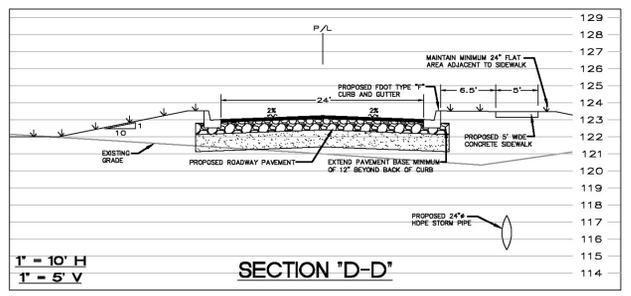
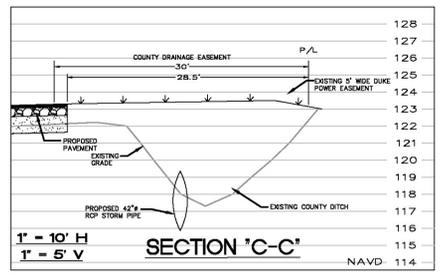
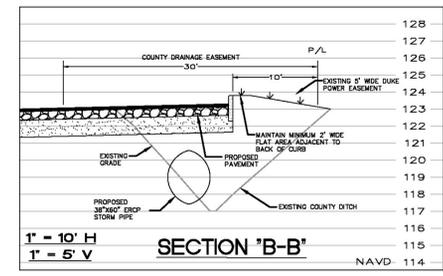
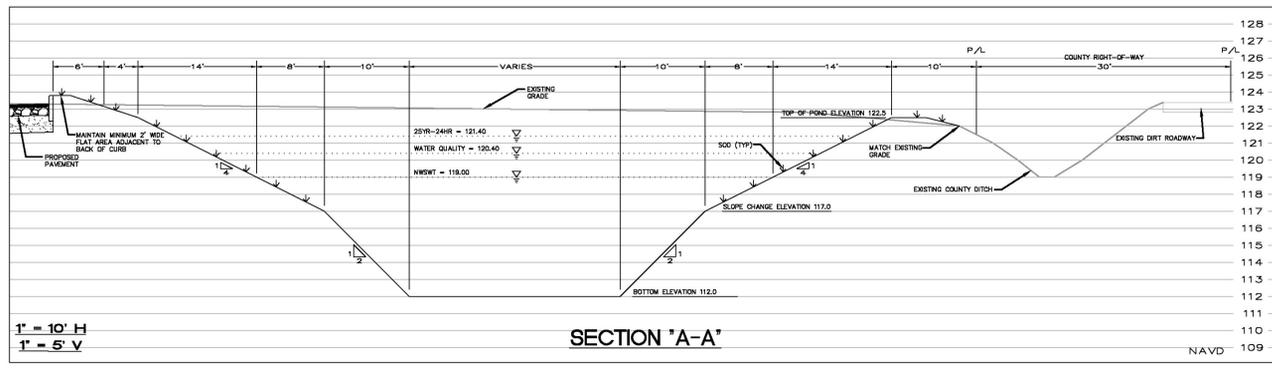
WITCH COLLINS, P.E. # 54608, STATE OF FLORIDA, C.A.# 9503

DATE

WITCH COLLINS, P.E. INC.
801 EAST FAIRBANK STREET
SUITE 207
WINTER GARDEN, FL 32787
407.655.1234
www.witchcollinspe.com

DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	N.T.S.
JOB NO:	219-002
SHEET NO:	C-12 OF C-13

NOTE:
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REV/DATE	BY
1-27-20	M.C.
AS PER CITY/SJRWMD	M.C.
6-14-20	M.C.
REVISED PIPES 2 AND 3	M.C.
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DETAILS AND NOTES
FOR
HOME2 SUITES AT PEOPLE'S PLAZA
WINTER GARDEN, FLORIDA
12301 WEST COLONIAL DRIVE

DATE _____

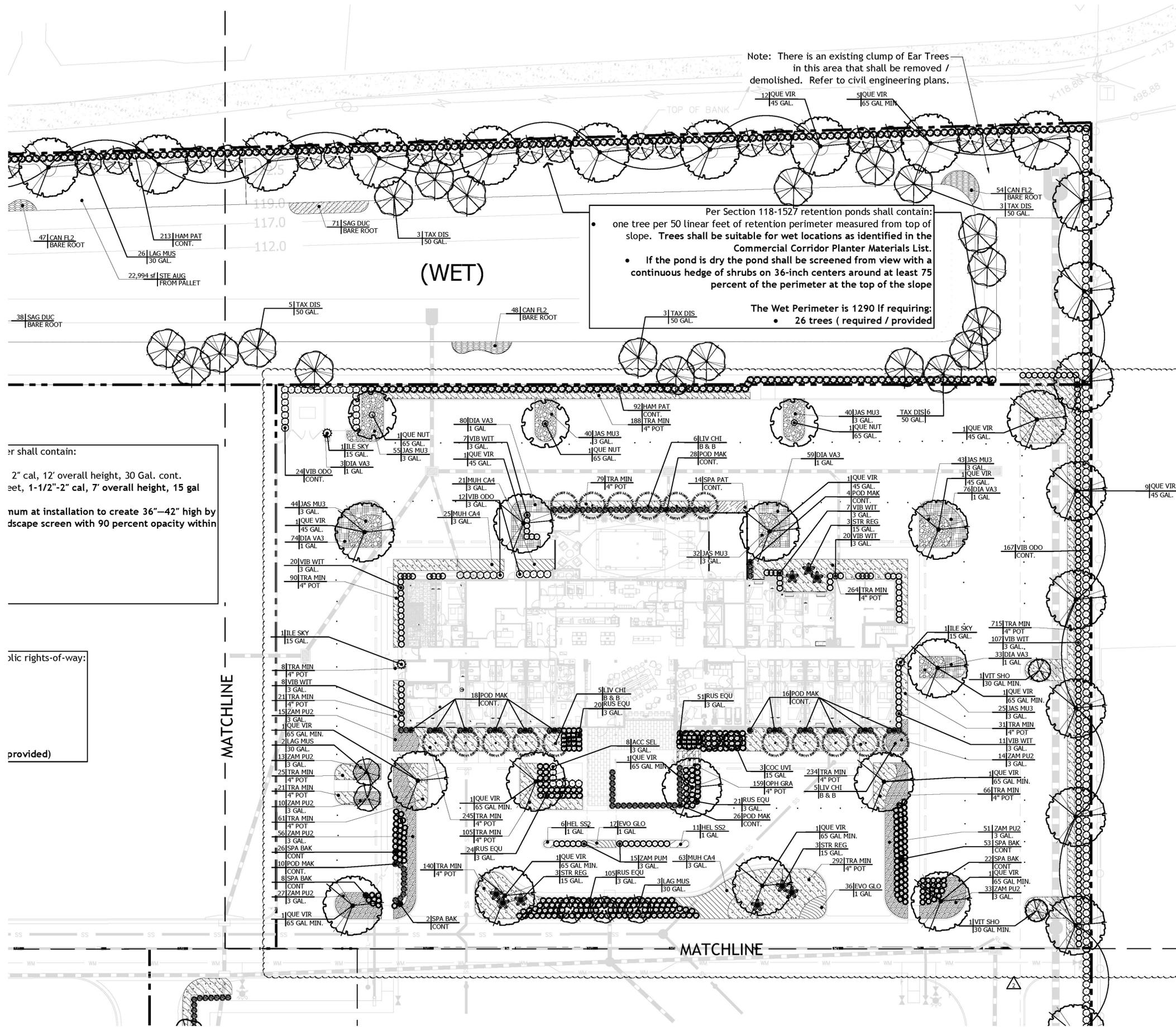
MITCH COLLINS, P.E. # 54608, STATE OF FLORIDA, C.A.# 9023
801 EAST FAIRWAY STREET, SUITE 11280, WINTER GARDEN, FLORIDA 32787
MICHCOLLINS.COM

DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	N.T.S.
JOB NO:	219-002
SHEET NO:	C-13 OF C-13

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7/8/2020 9:24:50 AM



Note: There is an existing clump of Ear Trees in this area that shall be removed / demolished. Refer to civil engineering plans.

Per Section 118-1527 retention ponds shall contain:
 • one tree per 50 linear feet of retention perimeter measured from top of slope. Trees shall be suitable for wet locations as identified in the Commercial Corridor Planter Materials List.
 • If the pond is dry the pond shall be screened from view with a continuous hedge of shrubs on 36-inch centers around at least 75 percent of the perimeter at the top of the slope

The Wet Perimeter is 1290 If requiring:
 • 26 trees (required / provided)

shall contain:
 2" cal, 12' overall height, 30 Gal. cont.
 net, 1-1/2"-2" cal, 7' overall height, 15 gal
 num at installation to create 36"-42" high by dscape screen with 90 percent opacity within

Public rights-of-way:
 provided)

"SUNSHINE STATE ONE CALL OF FLORIDA, INC."
 1-800-432-4770
 WWW.CALLSUNSHINE.COM
REQUIRED BY FLORIDA STATUTE 333.03(1)
 A MIN. OF 2 DAYS AND A MAX. OF 3 DAYS
 BEFORE YOU EXCAVATE, FOR SEE TO NOTIFY
 SUNSHINE STATE ONE CALL OF FLORIDA
 2004/1/27/04 02:02, LATEST EDITION

Seal
 James R. Magley
 State of Florida Lic. No.: LA 0001300



PEOPLE'S PLAZA
 12301 West Colonial Drive, Winter Garden, Florida

Always call 811 two full business days before you dig
Sunshine811.com

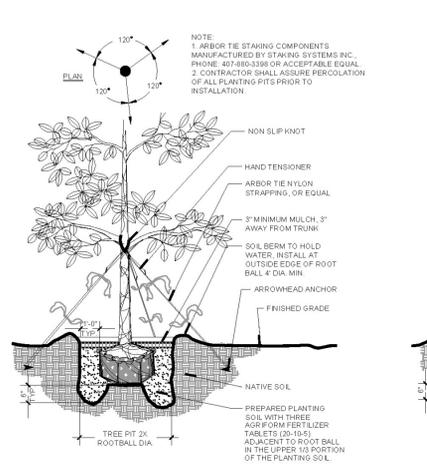
Revision	
No:	Date:
1	03-13-20
2	07-02-20

Date: December 6, 2019
 Scale:
 Project Number: 1919

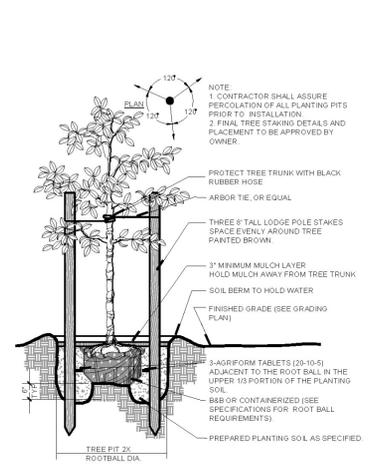
Sheet Title
PLANTING PLAN

Sheet Number
L-1

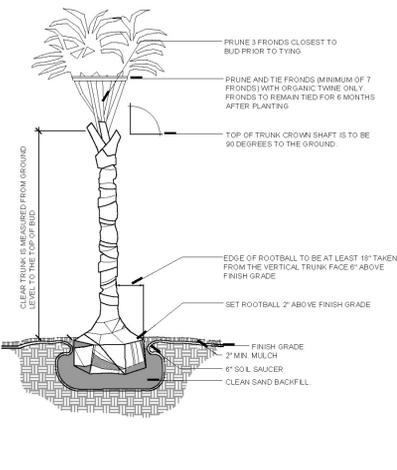
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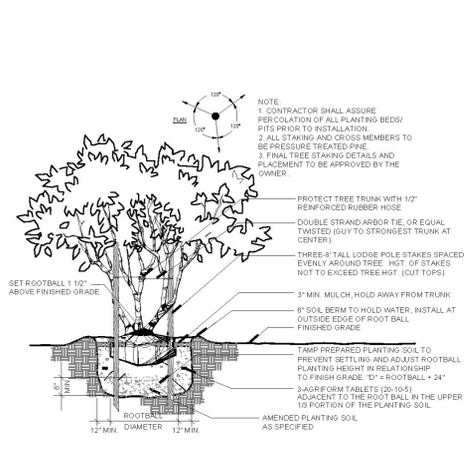
1 LARGE TREE PLANTING DETAIL
Scale: N.T.S.



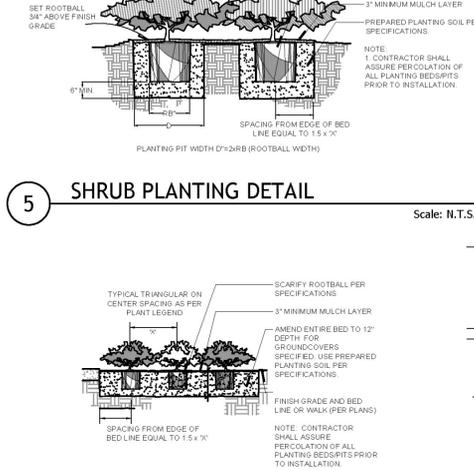
2 SMALL TREE PLANTING DETAIL
Scale: N.T.S.



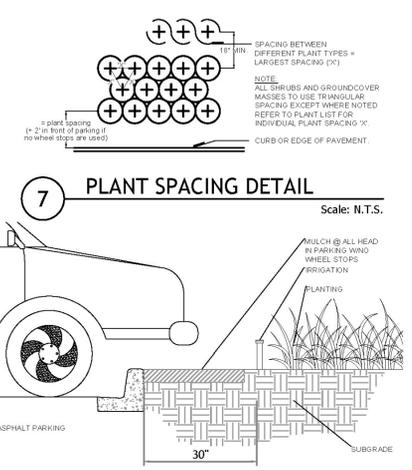
3 PALM PLANTING DETAIL
Scale: N.T.S.



4 MULTI-TRUNK TREE PLANTING DETAIL
Scale: N.T.S.



5 SHRUB PLANTING DETAIL
Scale: N.T.S.



7 PLANT SPACING DETAIL
Scale: N.T.S.



6 GROUND COVER PLANTING DETAIL
Scale: N.T.S.



8 NO WHEEL STOP PARKING DETAIL
Scale: N.T.S.

PLANT SCHEDULE WORKING SET									
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL/DBH	SPECIFICATION	WATER USAGE	NATIVE	REMARKS
CAL VIM	7	CALLISTEMON VIMINALIS	WEeping BOTTLE BRUSH	CONT. OR RPG	2\"/>				

NOTE: ALONG SR 50 ARE POWER LINES NECESSITATING A CHANGE IN PLANT MATERIAL REQUIREMENTS. DUKE ENERGY REQUIRES ALL PLANTS WITHIN ROW TO HAVE A MAXIMUM MATURE HEIGHT OF 14'. AS SUCH WE ARE NOT ABLE TO SPECIFY UNDERSTORY PLANT MATERIAL THAT IS 11\"/>

1 LANDSCAPE SCHEDULE

- TYPICAL LANDSCAPE NOTES:**
- ALL TREE CALIPER SIZES NOTED ARE MINIMUM. INCREASE SIZE OR ANY OTHER SPECIFICATIONS AS REQUIRED, PROVIDING MINIMUM PLANT SIZE AND SPECIFICATIONS.
 - ALL CONTAINER SIZES NOTED ARE MINIMUM. INCREASE SIZE OF POT AS REQUIRED, PROVIDING MINIMUM PLANT SIZE AND SPECIFICATIONS. ALL HEIGHT AND SPREAD SPECIFICATIONS ARE MINIMUM.
 - SHRUB AND GROUND COVER BED QUANTITIES ARE INDICATED FOR EACH PLANT BED. ALL PLANT QUANTITIES FOR PROPOSALS SHALL BE DERIVED SOLELY FROM DRAWINGS AND SPECIFICATIONS.
 - SHRUB AND GROUND COVER SPACING IS INDICATED ON THE PLANT LIST AND SHALL APPLY FOR ALL "MASS PLANTING" BEDS.
 - OWNERS REPRESENTATIVE MUST TAG AN EXAMPLE OF EACH PALM SPECIES ACCORDING TO THE SPECIFICATIONS IN THE PLANT LIST.
 - SEE PLANT LIST DETAILS AND SPECIFICATIONS FOR FURTHER PLANTING INFORMATION.
 - LOCATION OF ALL UTILITIES AND BASE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES AND OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO INITIATING INSTALLATION WORK. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGE COMMITTED TO EXISTING ELEMENTS ABOVE OR BELOW GROUND TO ITS ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL FIELD STAKE THE LOCATION OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. THE LOCATION OF ALL PLANT MATERIAL IS SUBJECT TO FIELD CHANGE.
 - LANDSCAPE CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE IRRIGATION CONTRACTOR AND ALL OTHER TRADES.
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS REQUIRED UNTIL PLANT MATERIALS ARE WELL ESTABLISHED, TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL LANDSCAPE AREAS WHERE THE EXISTING OR PROPOSED IRRIGATION IS FOR WHATEVER REASON NOT OPERATING OR NOT OPERATING CORRECTLY.
 - CONTRACTOR SHALL CLEAN THE WORK AREAS AT THE END OF EACH WORKING DAY. RUBBISH AND DEBRIS SHALL BE COLLECTED AND DEPOSITED AS DIRECTED DAILY. ALL MATERIALS, PRODUCTS, AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, CURRENT EDITION.
 - CONTRACTOR SHALL REMOVE EXISTING SOD AND/OR VEGETATION IN ALL AREAS TO BE PLANTED WITH SHRUB/GROUNDCOVERS AND/OR ALL AREAS TO BE MULCHED.
 - CONTRACTOR SHALL REPLACE SOD IN ALL AREAS WHERE EXISTING VEGETATION IS REMOVED OR RELOCATED, WHERE EXISTING LAWN AREAS ARE DAMAGED BY HIS WORK, AND WHERE NEW VEGETATION IS INSTALLED (UNLESS OTHERWISE NOTED ON PLANS) WITH SAME GRASS SPECIES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING ALL SUCH AREAS TO BLEND BOTH ELEVATIONS AND SOD INTO EXISTING SURROUNDING LAWN AREAS.
 - THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS. PRIOR TO COMMENCEMENT OF THE LANDSCAPING WORK. FOR EVERY BLOCK SECTION OF STREET THE CONTRACTOR SHALL PROVIDE COMPLETE SOIL TESTS FOR AT LEAST THREE AREAS UNDISTURBED BY PREVIOUS WORK AND TWO AREAS DISTURBED AND/OR REFILLED. SEE SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS.
 - THE CONTRACTOR SHALL PROVIDE UNIT PRICES AS REQUESTED WHICH INCLUDE THE TOTAL COST OF THE WORK INCLUDING BUT NOT LIMITED TO ANY AND ALL COSTS FOR EQUIPMENT, MATERIAL, PRODUCTS, OVERHEAD, PROFIT, GUARANTEES, LABOR, INSTALLATION, ETC. TO PROVIDE A COMPLETE JOB AS OUTLINED ON THE DRAWINGS. THE OWNER SHALL HAVE THE OPTION TO ADD OR DEDUCT FROM THE LUMP SUM BID CONTRACT AMOUNT, BASED ON THE QUOTED UNIT PRICES FOR ANY OR THE ITEMS LISTED IN THE "PLANT LIST".
 - CONTRACTOR SHALL PROTECT EXISTING VEGETATION TO REMAIN BY MEANS APPROVED BY THE OWNER/OWNER'S REPRESENTATIVE AND AS DETAILED IN THE DRAWINGS.
 - CONTRACTOR SHALL CLEAN, PRUNE, AND SHAPE EDGES OF EXISTING VEGETATION AS DIRECTED BY OWNER'S REPRESENTATIVE. CREATE SMOOTH BED LINES AROUND EXISTING VEGETATION.
 - CONTRACTOR AND EMPLOYEE VEHICLE PARKING SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE. SHUTTLE OF EMPLOYEES TO THE PROJECT AREAS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL NOT DISRUPT OR CONFLICT IN ANY WAY WITH EXISTING TRAFFIC.
 - CONSTRUCTION ACCESS SHALL BE INDICATED BY THE OWNER. COORDINATION OF HEAVY EQUIPMENT AND MATERIALS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF WORK WITH OTHER TRADES AND THE OWNER OR OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL TAKE WHATEVER MEANS THAT MAY BE NECESSARY TO FULLY UNDERSTAND ALL THE ACCESS ROUTES AND CONSTRUCTION SCHEDULES IN ORDER TO PROVIDE A COMPLETE AND FINISHED PROJECT ON SCHEDULE.
 - PINE STRAW MULCH OR APPROVED EQUAL SHALL BE USED (CYPRESS MULCH NOT ALLOWED).

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Revision No:	Date:
1	03-13-20
2	07-02-20
Date:	December 6, 2019
Scale:	
Project Number:	1919

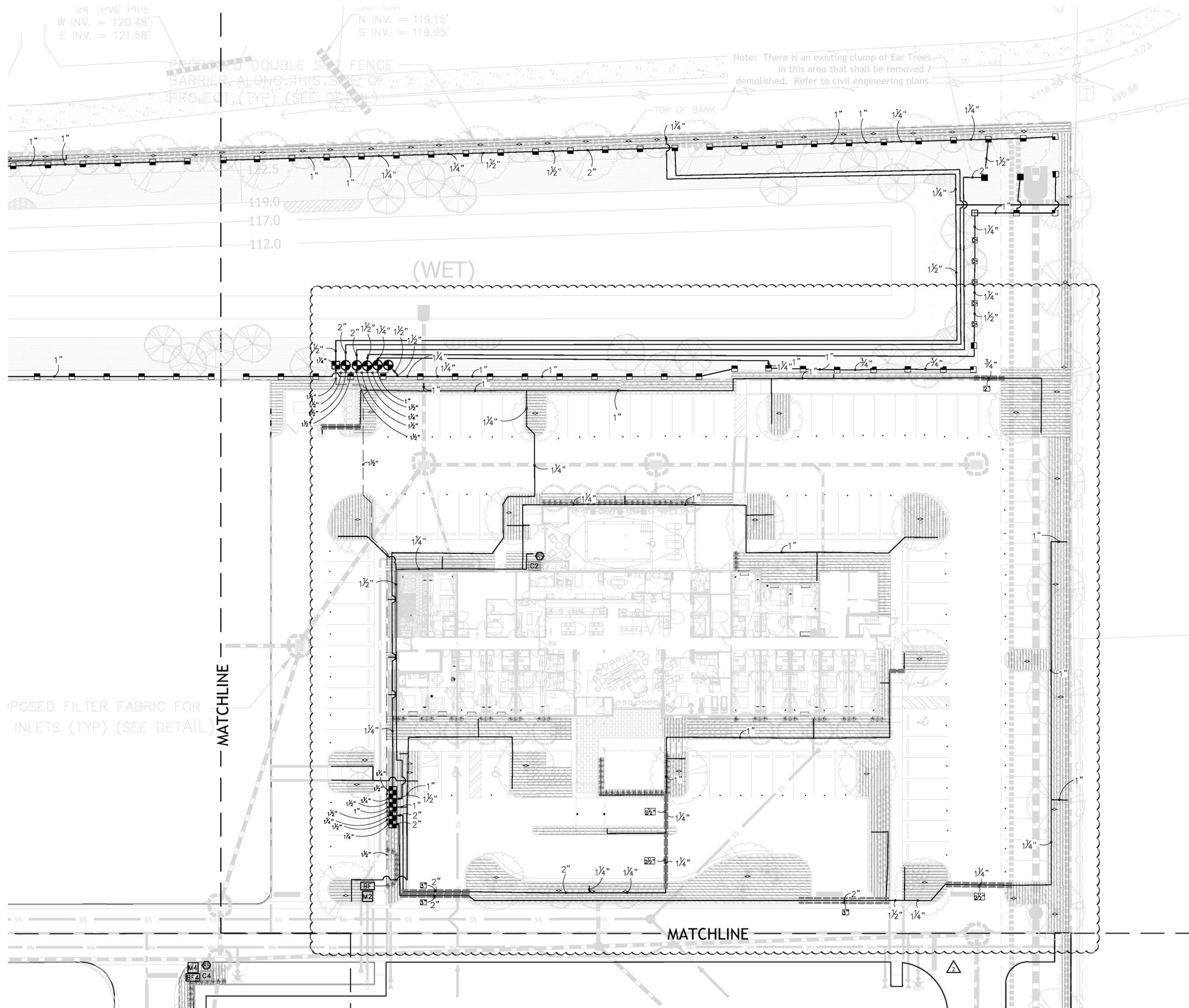
Sheet Title
PLANTING NOTES, SCHEDULE AND DETAILS

Sheet Number
L-5

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Date: December 6, 2019
 Scale:
 Project Number: 1919

Sheet Title
IRRIGATION PLAN

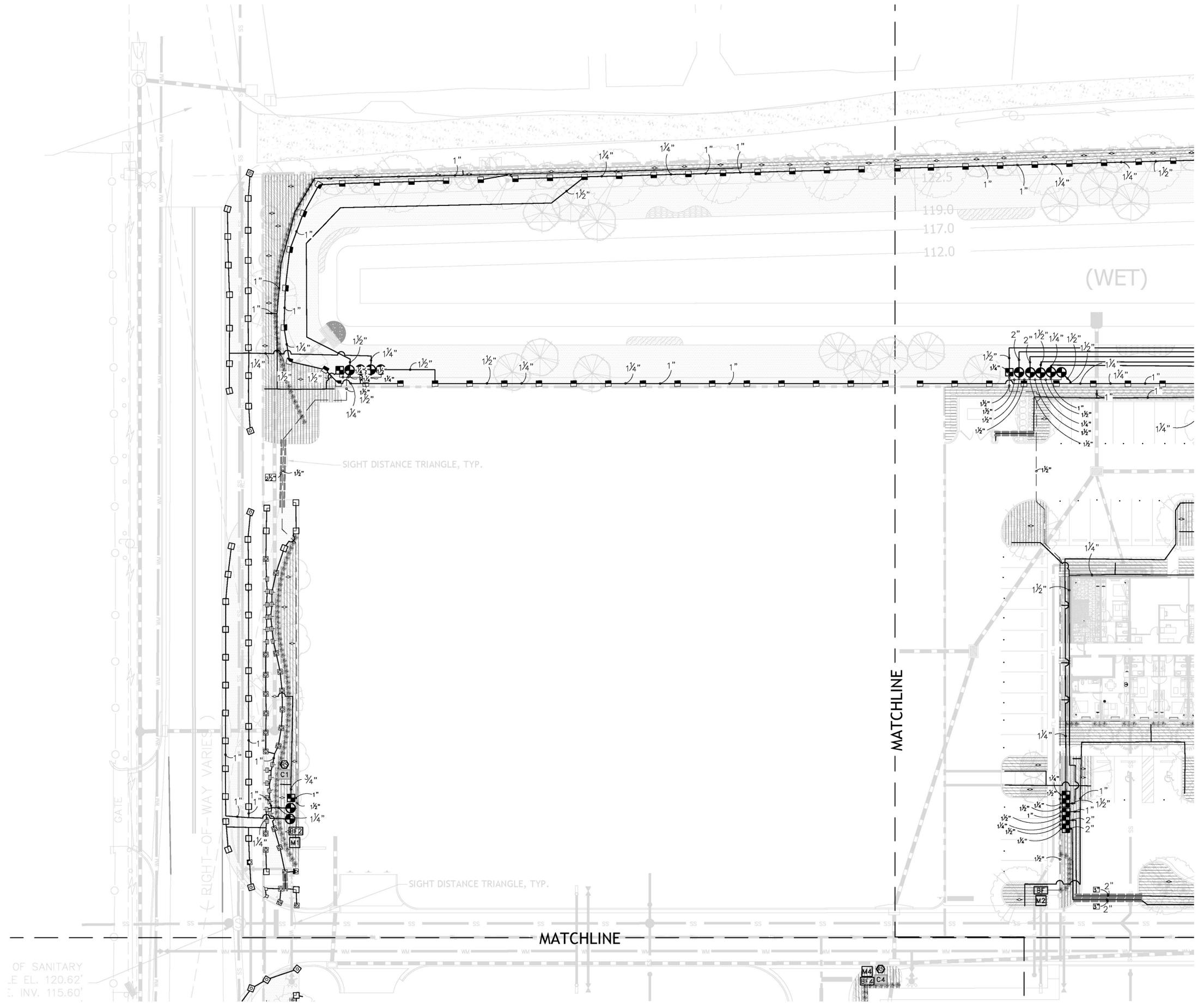
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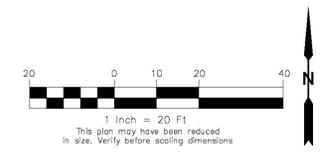
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 Scale:
 Project Number: 1919

Sheet Title

IRRIGATION PLAN

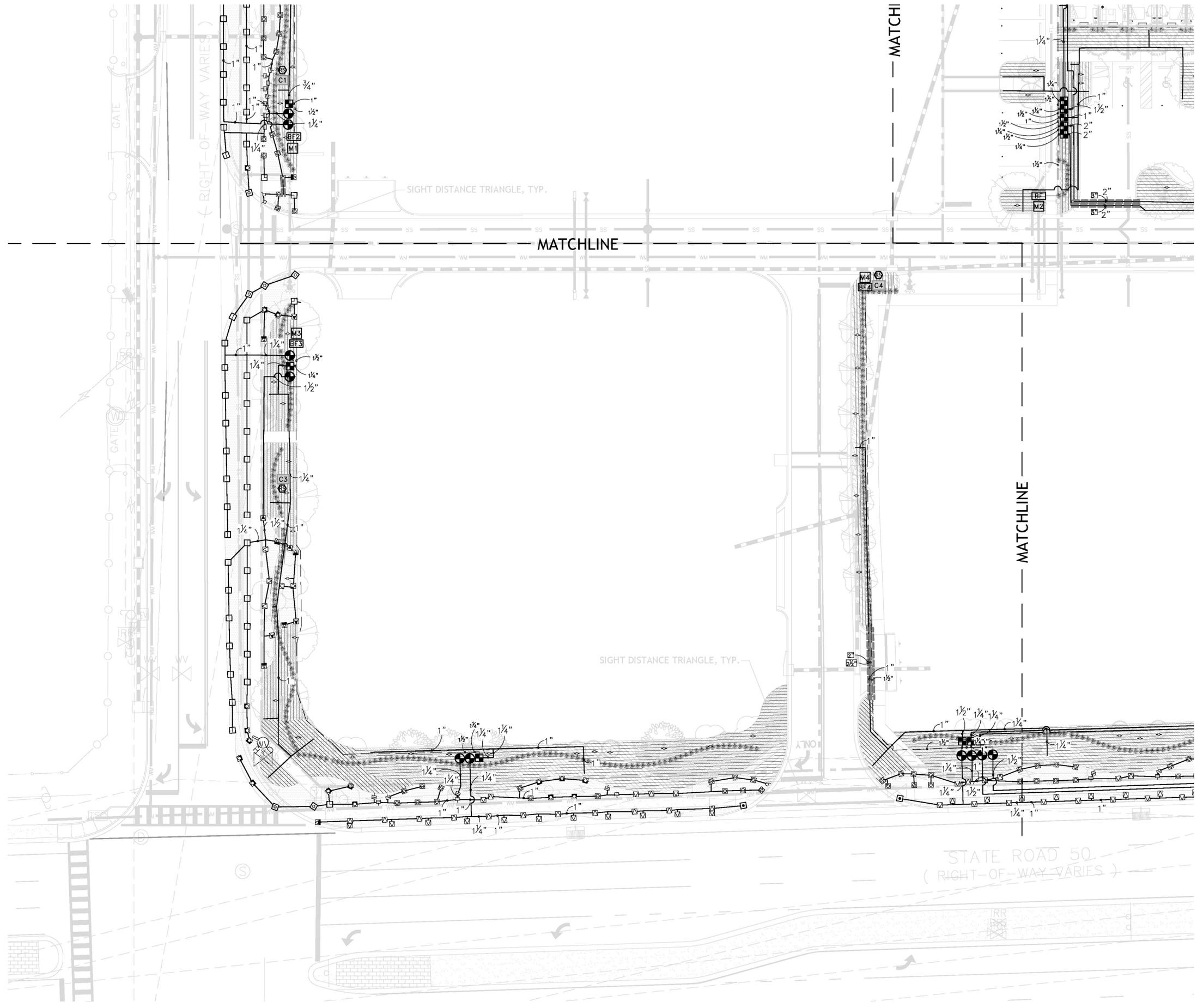
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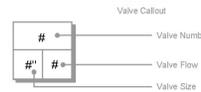
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- UNLESS OTHERWISE NOTED, THE LIMITS OF CONSTRUCTION ARE AS INDICATED ON DRAWINGS.
- ANY TREES TO REMAIN WITHIN LIMIT OF WORK SHALL BE VERIFIED IN THE FIELD AND PROTECTED FROM DAMAGES.
- ALL PROJECT BASE INFORMATION PROVIDED BY THE OWNER.
- REFER TO ENGINEERING DRAWINGS FOR ALL UTILITY LOCATIONS, AND VERIFY IN THE FIELD PRIOR TO COMMENCING WORK. REFER TO ENGINEERING DRAWINGS FOR FINAL GRADING AND SPOT ELEVATIONS. VERIFY IN THE FIELD PRIOR TO CONSTRUCTION.
- THE CONTRACTOR, PRIOR TO BEGINNING ANY UNDERGROUND EXCAVATION, DIGGING, OR BORING MUST FIRST OBTAIN ALL REQUIRED PERMITS. WORK IS NOT AUTHORIZED PRIOR TO THE ISSUANCE OF PERMIT(S). THE CONTRACTOR SHALL COMPLY WITH FL 77-153 REGARDING NOTIFICATIONS OF EXISTING GAS AND OIL PIPELINE COMPANY OWNERS. EVIDENCE OF SUCH NOTICE SHALL BE FURNISHED TO THE OWNER PRIOR TO EXCAVATING. THE CONTRACTOR SHALL COORDINATE FULLY WITH THE OWNER FOR ALL EXCAVATION PERMITS AND NOTIFICATIONS NECESSARY PRIOR TO INITIATING ALL WORK.
- VERIFY GALLONAGE AND PRESSURE AVAILABILITY AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT BEFORE COMMENCING WITH THE INSTALLATION.
- POP-UP SPRINKLER HEADS AND LATERALS SHALL BE INSTALLED 6" FROM EDGE OF PAVEMENT OR WALKS AND FLUSH WITH FINISH GRADE.
- THE LOCATION OF ALL CONTROLLERS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE POWER SOURCE AND SERVICE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE COMMUNICATION WIRE AND SERVICE WITH THE OWNERS REPRESENTATIVE AND THE COMMUNICATIONS PROVIDER PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE AND INTEGRATE THE OPERATION SCHEDULE OF THE IRRIGATION CONTROL SYSTEM PER THE OWNER'S REPRESENTATIVE'S DIRECTION AND APPROVAL.
- FIELD ALTERATIONS MADE IN THE IRRIGATION CONTRACT DRAWINGS MUST BE IN THE BEST INTEREST OF THE PLANT MATERIAL, SOD AND LANDSCAPE IRRIGATION SYSTEM. CHANGES MADE BY THE IRRIGATION CONTRACTOR SHALL BE APPROVED BY THE OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- NO MATERIAL SUBSTITUTIONS ARE ALLOWED. ANY ALTERATION DEEMED BY THE OWNERS REPRESENTATIVE NOT IN CONFORMANCE WITH THE ABOVE CRITERIA SHALL BE REMOVED AND REPLACED AT THE IRRIGATION CONTRACTOR'S EXPENSE. IF QUESTIONS ARISE AS TO THE BEST WAY TO COMPLETE A FIELD ALTERATION, CONTACT THE OWNERS REPRESENTATIVE FOR APPROVAL.
- THE LOCATION OF ALL PLANT MATERIAL SHALL BE FIELD STAKED BY THE LANDSCAPE CONTRACTOR FOR APPROVAL BY THE OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM.
- RISER-MOUNTED SPRAY HEADS SHALL BE UTILIZED AS REQUIRED:
 - IN PLANTING BEDS ADJACENT TO BUILDING OR STRUCTURES ONLY.
 - TO BE INSTALLED 6" ABOVE PLANT HEIGHT AT TIME OF PLANTING.
 - RISER TO BE OF SCHEDULE 40 PVC AND PAINTED GREEN.
 - INSTALLED 12" FROM EDGE OF BUILDING WALL.
- HIGH POP-UP SPRAYS SHALL BE UTILIZED AS REQUIRED:
 - IN PLANTING BEDS WHERE SPRAY HEAD IS IN LOW PLANTING OR GROUND COVER (MATURE PLANT HEIGHT IS 1" - 18").
 - IN PARKING ISLANDS CONTAINING GROUND COVER PLANTING.
 - WHERE IT IS ADVANTAGEOUS TO CONCEAL SPRINKLER HEADS DUE TO HIGH PEDESTRIAN TRAFFIC, VISIBILITY, VANDALISM AND MAINTENANCE, INSTALL SPRAY HIGH POP-UP RISER SO THAT HIGH POP-UPS SPRING ABOVE PLANT MATERIAL.
- CHANGES IN HEAD PLACEMENT OR A SPRAY SUBSTITUTION SHOULD ALWAYS TAKE INTO CONSIDERATION:
 - WHAT IS BEST FOR THE GROWTH AND MAINTENANCE OF THE SOD AND PLANT MATERIAL.
 - MAINTAINING A CONSTANT AND EVEN WATER DISTRIBUTION AND PRECIPITATION RATE (I.E., NEVER PUT ROTORS AND SPRAYS IN SAME ZONE)
- INSTALL ALL CONNECTED PIPING SHOWN BETWEEN DIFFERENT PIPE SIZES LABELS AS THE LARGER OF THE TWO SIZES OF PIPE.
- INSTALL ALL PIPING TO INDIVIDUAL SPRAY HEADS AND BUBBLERS AS 3/4"
- EACH TYPE OF ZONE IS TO BE PIPED SEPARATELY. DO NOT INTERCONNECT DIFFERENT TYPES OF ZONES (I.E., ROTORS AND SPRAYS).
- ANY IRRIGATION ITEMS NORMALLY INSTALLED IN LANDSCAPE AREAS THAT ARE SHOWN OUTSIDE OF LANDSCAPE AREAS OR OUTSIDE OF PROPERTY LINES ARE SHOWN AS SUCH FOR GRAPHIC CLARITY ONLY. INSTALL THESE ITEMS INSIDE OF PROPERTY LINES AND IN LANDSCAPE AREAS.
- PROVIDE PROOF TO THE LANDSCAPE ARCHITECT THAT ALL AVAILABLE MAINTENANCE MANUALS FOR EACH OF THE PRODUCTS INCLUDED IN THIS INSTALLATION HAVE BEEN PROVIDED TO THE OWNER OR OWNER'S REPRESENTATIVE.
- VALVES ARE SHOWN OUTSIDE OF PLANT BEDS FOR GRAPHIC CLARITY. INSTALL ALL VALVES AND VALVE BOXES IN LAWN AREAS, NOT PLANTING BEDS.
- THE CONTRACTORS ARE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CODES, INCLUDING THOSE REGARDING SEPARATION DISTANCE MINIMUMS FOR POTABLE WATER VERSUS EFFLUENT WATER AND SHALL INSTALL THE SYSTEM IN ACCORDANCE WITH THOSE CODES.
- INSTALL 12" POP-UP SPRAY HEADS AT FINISHED GRADE IN ALL GROUND COVER AREAS.
- INSTALL ALL SPRAYHEADS IN SHRUB BEDS ON RISERS ALONG BUILDING SIDEWALLS.
- SPACE ALL SPRAY HEADS AT A MAXIMUM OF 55% OF THEIR EFFECTIVE COVERAGE DIAMETER OR CLOSER WHERE SHOWN AS SUCH ON THE PLANS.
- ALL BAHIA SOD WILL NOT BE IRRIGATED, UNLESS SHOWN OTHERWISE. CONTRACTOR WILL BE RESPONSIBLE FOR HAND WATERING UNTIL IT IS WELL ENOUGH ESTABLISHED TO SURVIVE THROUGH THE WARRANTY PERIOD.
- CONTRACTOR SHALL VERIFY THE AVAILABLE PRESSURE AND FLOW REQUIREMENTS MEET THE PRESSURE AND FLOW PROVIDED IN THE CRITICAL ANALYSIS (REF. IRRIGATION DETAILS) PRIOR TO IRRIGATION SYSTEM INSTALLATION.

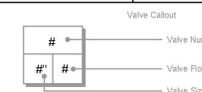
IRRIGATION SCHEDULE - LOT 1

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	PSI	GPM	RADIUS
☐	RAIN BIRD 1806-SAM-PRS-NP 15 STRIP SERIES TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	1	RCS	30	0.49	4x15'
☐	RAIN BIRD 1806-SAM-PRS-NP 5 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	21	180	30	0.20	5'
☐	RAIN BIRD 1806-SAM-PRS-NP 5 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	2	90	30	0.10	5'
☐	RAIN BIRD 1806-SAM-PRS-NP 8 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	20	180	30	0.52	8'
☐	RAIN BIRD 1806-SAM-PRS-NP 8 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	2	90	30	0.26	8'
☐	RAIN BIRD 1806-SAM-PRS-NP 10 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	1	180	30	0.79	10'
☐	RAIN BIRD 1806-SAM-PRS-NP 12 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	41	180	30	1.30	12'
☐	RAIN BIRD 1806-SAM-PRS-NP 12 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	5	90	30	0.65	12'
☐	RAIN BIRD 1806-SAM-PRS-NP 15 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	37	180	30	1.85	15'
☐	RAIN BIRD 1806-SAM-PRS-NP 15 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	3	120	30	1.23	15'
☐	RAIN BIRD 1806-SAM-PRS-NP HE-VAN SERIES TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	4	ADJ	30		12'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
☐	RAIN BIRD XCZ-100-PRB-COM 1" WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3GPM TO 20GPM.	2				
☐	RAIN BIRD SXB-025 DRIP BUBBLER DRIP STREAM BUBBLER. SXB STREAM AVAILABLE IN HALF CIRCLE (5 STREAMS) OR FULL CIRCLE (8 STREAMS). WITH 1/4" BARB. ADJUST NOZZLE AS REQUIRED FOR PLANTING.	2				
☐	AREA TO RECEIVE DRIPLINE RAIN BIRD XFD-P-06-18 (18) XFD ON-SURFACE PRESSURE COMPENSATING LANDSCAPE DRIPLINE. 0.6GPH EMITTERS AT 18.0" O.C. DRIPLINE LATERALS SPACED AT 18.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. PURPLE TUBING FOR NON-POTABLE WATER. SPECIFY XF INSERT FITTINGS.	3,953 S.F.				
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
☐	RAIN BIRD PEB-PRS-D 1-1/2" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.	3				
☐	RAIN BIRD PEB-PRS-D 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.	3				
☐	FEBCO 765 1" PRESSURE VACUUM BREAKER, BRASS WITH BALL VALVE SOV. INSTALL 12" (305MM) ABOVE HIGHEST DOWNSTREAM OUTLET AND THE HIGHEST POINT IN THE DOWNSTREAM PIPING.	1				
☐	WATER METER 1" LOT 1-SW CORNER IN PARKING ISLAND	1				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 3/4"	1,209 L.F.				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 1"	364.2 L.F.				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 1 1/4"	241.3 L.F.				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 1 1/2"	328.9 L.F.				
---	IRRIGATION MAINLINE: PVC SCHEDULE 40-NP 1"	2.6 L.F.				
---	IRRIGATION MAINLINE: PVC SCHEDULE 40-NP 1 1/4"	12.3 L.F.				
---	IRRIGATION MAINLINE: PVC SCHEDULE 40-NP 1 1/2"	249.1 L.F.				



IRRIGATION SCHEDULE - LOT 2

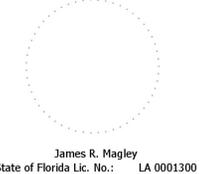
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	PSI	GPM	RADIUS
☐	RAIN BIRD 1806-SAM-PRS-NP 15 STRIP SERIES TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	5	180	30	1.73	9x18'
☐	RAIN BIRD 1806-SAM-PRS-NP 12 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	1	270	30	1.95	12'
☐	RAIN BIRD 1806-SAM-PRS-NP 15 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	2	360	30	3.70	15'
☐	RAIN BIRD 1806-SAM-PRS-NP 15 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	48	180	30	1.85	15'
☐	RAIN BIRD 1806-SAM-PRS-NP 15 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	3	90	30	0.92	15'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
☐	RAIN BIRD XCZ-100-PRB-COM 1" WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3GPM TO 20GPM.	6				
---	AREA TO RECEIVE DRIPLINE RAIN BIRD XFD-P-06-18 (18) XFD ON-SURFACE PRESSURE COMPENSATING LANDSCAPE DRIPLINE. 0.6GPH EMITTERS AT 18.0" O.C. DRIPLINE LATERALS SPACED AT 18.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. PURPLE TUBING FOR NON-POTABLE WATER. SPECIFY XF INSERT FITTINGS.	17,643 S.F.				
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
☐	RAIN BIRD PEB-PRS-D 1-1/2" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.	4				
☐	RAIN BIRD PEB-PRS-D 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.	1				
☐	FEBCO 765 1" PRESSURE VACUUM BREAKER, BRASS WITH BALL VALVE SOV. INSTALL 12" (305MM) ABOVE HIGHEST DOWNSTREAM OUTLET AND THE HIGHEST POINT IN THE DOWNSTREAM PIPING.	1				
☐	WATER METER 1" LOT 2- SOUTHWEST CORNER IN PARKING ISLAND	1				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP	27.3 L.F.				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 3/4"	1,149 L.F.				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 1"	669.0 L.F.				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 1 1/4"	1,020 L.F.				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 1 1/2"	806.8 L.F.				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 2"	1,240 L.F.				
---	IRRIGATION MAINLINE: PVC SCHEDULE 40-NP 1"	5.8 L.F.				
---	IRRIGATION MAINLINE: PVC SCHEDULE 40-NP 1 1/4"	16.2 L.F.				
---	IRRIGATION MAINLINE: PVC SCHEDULE 40-NP 1 1/2"	280.8 L.F.				



CONTROLLER AND CONTROLLER ACCESSORIES SCHEDULE

☐	RAIN BIRD ESPBLXME-LXMM WITH (02) ESPLXMSM4 16 STATION CAPABLE COMMERCIAL CONTROLLER. MOUNTED ON A POWDER-COATED METAL CABINET. WITHOUT FLOW SENSING.	1				
☐	RAIN BIRD ESPBLXME-LXMM-LXMPED WITH (02) ESPLXMSM (2) 16 STATION CAPABLE COMMERCIAL CONTROLLER. MOUNTED ON A POWDER-COATED METAL PEDESTAL. FLOW SENSING.	1				
☐	RAIN BIRD ESPBLXME-LXMM-LXMPED WITH (02) ESPLXMSM (2) 16 STATION CAPABLE COMMERCIAL CONTROLLER. MOUNTED ON A POWDER-COATED METAL PEDESTAL. FLOW SENSING.	1				
☐	RAIN BIRD ESPBLXME-LXMM-LXMPED WITH (02) ESPLXMSM (2) 16 STATION CAPABLE COMMERCIAL CONTROLLER. MOUNTED ON A POWDER-COATED METAL PEDESTAL. FLOW SENSING.	1				
☐	RAIN BIRD RSD-CEX RAIN SENSING DEVICE, CONDUIT MOUNT. WITH THREADED ADAPTER, EXTENSION WIRE.	4				

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Revision No:	Date:
1	03-13-20
2	07-02-20

Date: December 6, 2019
Scale:
Project Number: 1919

Sheet Title
IRRIGATION NOTES AND SCHEDULES

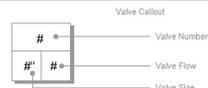
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L-10

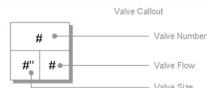
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IRRIGATION SCHEDULE - LOT 3						
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	PSI	GPM	RADIUS
	RAIN BIRD 1806-SAM-PRS-NP 15 STRIP SERIES TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	5	LCS	30	0.49	4'x15'
	RAIN BIRD 1806-SAM-PRS-NP 8 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	6	RCS	30	0.49	4'x15'
	RAIN BIRD 1806-SAM-PRS-NP 5 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	32	SST	30	1.21	4'x30'
	RAIN BIRD 1806-SAM-PRS-NP 5 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	7	180	30	0.20	5'
	RAIN BIRD 1806-SAM-PRS-NP 5 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	1	90	30	0.10	5'
	RAIN BIRD 1806-SAM-PRS-NP 8 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	14	180	30	0.52	8'
	RAIN BIRD 1806-SAM-PRS-NP 8 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	1	120	30	0.35	8'
	RAIN BIRD 1806-SAM-PRS-NP 10 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	15	180	30	0.79	10'
	RAIN BIRD 1806-SAM-PRS-NP 12 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	30	180	30	1.30	12'
	RAIN BIRD 1806-SAM-PRS-NP 12 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	2	90	30	0.65	12'
	RAIN BIRD 1806-SAM-PRS-NP HE-VAN SERIES TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	5	ADJ	30		12'
	RAIN BIRD 1806-SAM-PRS-NP HE-VAN SERIES TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	1	ADJ	30		15'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
	RAIN BIRD XCZ-100-PRB-COM 1" WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3GPM TO 20GPM.	2				
	RAIN BIRD SXB-025 DRIP BUBBLER DRIP STREAM BUBBLER. SXB STREAM AVAILABLE IN HALF CIRCLE (5 STREAMS) OR FULL CIRCLE (8 STREAMS). WITH 1/4" BARB. ADJUST NOZZLE AS REQUIRED FOR PLANTING.	1				
	AREA TO RECEIVE DRIPLINE RAIN BIRD XFD-P-06-18 (18) XFD ON-SURFACE PRESSURE COMPENSATING LANDSCAPE DRIPLINE. 0.6GPH EMITTERS AT 18.0" O.C. DRIPLINE LATERALS SPACED AT 18.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. PURPLE TUBING FOR NON-POTABLE WATER. SPECIFY XF INSERT FITTINGS.	6,525 S.F.				
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
	RAIN BIRD PEB-PRS-D 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.	4				
	FEBCO 765 1" PRESSURE VACUUM BREAKER. BRASS WITH BALL VALVE SOV. INSTALL 12" (305MM) ABOVE HIGHEST DOWNSTREAM OUTLET AND THE HIGHEST POINT IN THE DOWNSTREAM PIPING.	1				
	WATER METER 1" LOT 3 - IN NORTHWEST CORNER	1				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 3/4"	1,123 L.F.				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 1"	285.8 L.F.				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 1 1/4"	156.0 L.F.				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 1 1/2"	81.7 L.F.				
---	IRRIGATION MAINLINE: PVC SCHEDULE 40-NP 1 1/4"	9.4 L.F.				
---	IRRIGATION MAINLINE: PVC SCHEDULE 40-NP 1 1/2"	255.9 L.F.				



IRRIGATION SCHEDULE - LOT 4						
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	PSI	GPM	RADIUS
	RAIN BIRD 1806-SAM-PRS-NP 15 STRIP SERIES TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	2	LCS	30	0.49	4'x15'
	RAIN BIRD 1806-SAM-PRS-NP 8 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	2	RCS	30	0.49	4'x15'
	RAIN BIRD 1806-SAM-PRS-NP 5 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	46	SST	30	1.21	4'x30'
	RAIN BIRD 1806-SAM-PRS-NP 5 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	21	180	30	0.20	5'
	RAIN BIRD 1806-SAM-PRS-NP 8 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	33	180	30	0.52	8'
	RAIN BIRD 1806-SAM-PRS-NP 8 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	6	90	30	0.26	8'
	RAIN BIRD 1806-SAM-PRS-NP 8 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	2	120	30	0.35	8'
	RAIN BIRD 1806-SAM-PRS-NP HE-VAN SERIES TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	3	ADJ	30		15'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
	RAIN BIRD XCZ-100-PRB-COM 1" WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3GPM TO 20GPM.	3				
	RAIN BIRD SXB-025 DRIP BUBBLER DRIP STREAM BUBBLER. SXB STREAM AVAILABLE IN HALF CIRCLE (5 STREAMS) OR FULL CIRCLE (8 STREAMS). WITH 1/4" BARB. ADJUST NOZZLE AS REQUIRED FOR PLANTING.	1				
	AREA TO RECEIVE DRIPLINE RAIN BIRD XFD-P-06-18 (18) XFD ON-SURFACE PRESSURE COMPENSATING LANDSCAPE DRIPLINE. 0.6GPH EMITTERS AT 18.0" O.C. DRIPLINE LATERALS SPACED AT 18.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. PURPLE TUBING FOR NON-POTABLE WATER. SPECIFY XF INSERT FITTINGS.	8,136 S.F.				
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
	RAIN BIRD PEB-PRS-D 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.	4				
	FEBCO 765 1" PRESSURE VACUUM BREAKER. BRASS WITH BALL VALVE SOV. INSTALL 12" (305MM) ABOVE HIGHEST DOWNSTREAM OUTLET AND THE HIGHEST POINT IN THE DOWNSTREAM PIPING.	1				
	WATER METER 1" LOT 4 - IN NORTHWEST CORNER IN PARKING ISLAND	1				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 3/4"	893.7 L.F.				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 1"	296.7 L.F.				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 1 1/4"	707.5 L.F.				
---	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-NP 1 1/2"	316.0 L.F.				
---	IRRIGATION MAINLINE: PVC SCHEDULE 40-NP 1"	2.7 L.F.				
---	IRRIGATION MAINLINE: PVC SCHEDULE 40-NP 1 1/4"	29.1 L.F.				
---	IRRIGATION MAINLINE: PVC SCHEDULE 40-NP 1 1/2"	232.3 L.F.				



CRITICAL ANALYSIS

Generated: 2020-01-10 11:04

P.O.C. NUMBER: 01
Water Source Information: Lot 1-SW corner in parking island

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 37.50 gpm

PRESSURE AVAILABLE
Static Pressure at POC: 55.00 psi
Elevation Change: 5.00 ft
Service Line Size: 3"
Length of Service Line: 20.00 ft
Pressure Available: 53.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 27.60 gpm
Flow Available at POC: 37.50 gpm
Residual Flow Available: 9.90 gpm

Critical Station:
Design Pressure: 30.00 psi
Friction Loss: 2.71 psi
Fittings Loss: 0.27 psi
Elevation Loss: 0.00 psi
Loss through Valve: 3.72 psi
Pressure Req. at Critical Station: 36.70 psi
Loss for Fittings: 0.44 psi
Loss for Main Line: 4.41 psi
Loss for POC to Valve Elevation: 0.00 psi
Loss for Backflow: 4.65 psi
Loss for Water Meter: 3.99 psi
Critical Station Pressure at POC: 50.19 psi
Pressure Available: 53.00 psi
Residual Pressure Available: 2.81 psi

CRITICAL ANALYSIS

Generated: 2020-01-10 11:09

P.O.C. NUMBER: 03
Water Source Information: Lot 3 - In northwest corner

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 37.50 gpm

PRESSURE AVAILABLE
Static Pressure at POC: 55.00 psi
Elevation Change: 5.00 ft
Service Line Size: 3"
Length of Service Line: 20.00 ft
Pressure Available: 53.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 29.39 gpm
Flow Available at POC: 37.50 gpm
Residual Flow Available: 8.11 gpm

Critical Station:
Design Pressure: 30.00 psi
Friction Loss: 2.67 psi
Fittings Loss: 0.27 psi
Elevation Loss: 0.00 psi
Loss through Valve: 4.87 psi
Pressure Req. at Critical Station: 37.81 psi
Loss for Fittings: 0.50 psi
Loss for Main Line: 5.01 psi
Loss for POC to Valve Elevation: 0.00 psi
Loss for Backflow: 4.74 psi
Loss for Water Meter: 4.43 psi
Critical Station Pressure at POC: 52.49 psi
Pressure Available: 53.00 psi
Residual Pressure Available: 0.51 psi

CRITICAL ANALYSIS

Generated: 2020-07-01 08:43

P.O.C. NUMBER: 02
Water Source Information: Lot 2- Southwest corner in parking island

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 37.50 gpm

PRESSURE AVAILABLE
Static Pressure at POC: 55.00 psi
Elevation Change: 5.00 ft
Service Line Size: 3"
Length of Service Line: 20.00 ft
Pressure Available: 53.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 27.75 gpm
Flow Available at POC: 37.50 gpm
Residual Flow Available: 9.75 gpm

Critical Station:
Design Pressure: 30.00 psi
Friction Loss: 2.56 psi
Fittings Loss: 0.26 psi
Elevation Loss: 0.00 psi
Loss through Valve: 3.67 psi
Pressure Req. at Critical Station: 36.48 psi
Loss for Fittings: 0.57 psi
Loss for Main Line: 5.73 psi
Loss for POC to Valve Elevation: 0.00 psi
Loss for Backflow: 4.77 psi
Loss for Water Meter: 4.58 psi
Critical Station Pressure at POC: 52.13 psi
Pressure Available: 53.00 psi
Residual Pressure Available: 0.87 psi

CRITICAL ANALYSIS

Generated: 2020-01-10 11:10

P.O.C. NUMBER: 04
Water Source Information: Lot 4 - In northwest corner in parking island

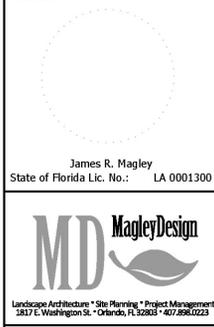
FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 37.50 gpm

PRESSURE AVAILABLE
Static Pressure at POC: 55.00 psi
Elevation Change: 5.00 ft
Service Line Size: 3"
Length of Service Line: 20.00 ft
Pressure Available: 53.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 26.48 gpm
Flow Available at POC: 37.50 gpm
Residual Flow Available: 11.02 gpm

Critical Station:
Design Pressure: 20.00 psi
Friction Loss: 1.11 psi
Fittings Loss: 0.11 psi
Elevation Loss: 0.00 psi
Loss through Valve: 22.30 psi
Pressure Req. at Critical Station: 43.51 psi
Loss for Fittings: 0.27 psi
Loss for Main Line: 2.65 psi
Loss for POC to Valve Elevation: 0.00 psi
Loss for Backflow: 4.19 psi
Loss for Water Meter: 2.18 psi
Critical Station Pressure at POC: 52.80 psi
Pressure Available: 53.00 psi
Residual Pressure Available: 0.20 psi

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Revision No:	Date:
1	03-13-20
2	07-02-20

Date: December 6, 2019
Scale:
Project Number: 1919

Sheet Title
IRRIGATION SCHEDULES

Sheet Number
L-11

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VALVE SCHEDULE NUMBER	MODEL	SIZE	TYPE	GPM	HEADS	PIPE	PIPE 3/4"	PIPE 1"	PIPE 1 1/4"	PIPE 1 1/2"	PIPE 2"	WIRE	DESIGN PSI	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
1	RAIN BIRD PEB-PRS-D	1"	TURF SPRAY	27.60	22		177.8	81.9	18.0				30	2.84	4.95	37.79	47.38	1.55 in/h
2	RAIN BIRD PEB-PRS-D	1"	TURF SPRAY	26.57	58		401.4	25.9	8.2				30	2.04	4.68	36.71	45.99	1.30 in/h
3	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIPLINE	6.63	1		56.4						20	0.23	5.07	25.30	29.06	0.45 in/h
4	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIPLINE	14.38			196.3	184.8	230.0				20	4.48	12.30	36.77	42	0.45 in/h
5	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIPLINE	15.25			149.4	103.1	126.0	104.7			20	1.68	13.47	35.15	40.54	0.45 in/h
6	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIPLINE	11.93			222.3	17.4					20	1.42	9.50	30.92	35.77	0.45 in/h
7	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIPLINE	19.93		27.3	123.9	88.1	78.0			117.0	20	1.20	22.37	43.57	50.55	0.45 in/h
8	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIPLINE	17.74			50.6	124.4	102.9	8.0	243.3		20	1.81	18.20	40.01	46.17	0.45 in/h
9	RAIN BIRD PEB-PRS-D	1"	TURF SPRAY	26.82	25		259.4	9.5	18.6				30	1.87	4.74	36.62	45.88	1.49 in/h
10	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIPLINE	15.65			65.2	93.2	69.0				20	1.65	14.23	35.87	41.12	0.45 in/h
11	RAIN BIRD PEB-PRS-D	1"	TURF SPRAY	29.39	30		296.9		6.9	81.7			30	2.88	5.43	38.32	48.83	1.48 in/h
12	RAIN BIRD PEB-PRS-D	1"	TURF SPRAY	25.08	41		321.1	42.5	19.1				30	2.93	4.27	37.20	50.17	1.20 in/h
13	RAIN BIRD PEB-PRS-D	1"	TURF SPRAY	27.30	24		180.3	36.9	32.4				30	2.94	4.87	37.81	52.49	3.24 in/h
14	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIPLINE	17.92				103.7	9.9				20	0.73	18.55	39.28	47.71	0.45 in/h
15	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIPLINE	19.89			9.8	172.6	48.4	4.7			20	1.22	22.30	43.52	52.80	0.45 in/h
16	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIPLINE	7.62	1		141.3		318.1				20	2.05	5.73	27.77	32.19	0.45 in/h
17	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIPLINE	15.08					194.4				20	1.74	13.15	34.88	41.67	0.45 in/h
18	RAIN BIRD PEB-PRS-D	1"	TURF SPRAY	26.48	20		113.9	39.8	46.9				30	2.91	4.65	37.56	51.31	1.88 in/h
19	RAIN BIRD PEB-PRS-D	1"	TURF SPRAY	19.43	39		285.1	5.5	11.2				30	2.98	2.84	35.82	44.96	1.51 in/h
20	RAIN BIRD PEB-PRS-D	1"	TURF SPRAY	21.99	21		147.0	21.0	45.5	165.2			30	2.98	3.44	36.42	47.38	2.74 in/h
21	RAIN BIRD PEB-PRS-D	1"	TURF SPRAY	17.27	35		196.5	57.8	43.0	146.1			30	2.35	2.60	34.96	43.06	1.44 in/h
22	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIPLINE	16.30			133.2	130.6	64.5				20	2.10	15.48	37.58	44.88	0.45 in/h
23	RAIN BIRD PEB-PRS-D	1-1/2"	TURF SPRAY	22.35	13		90.0	30.0	45.0	197.9			30	2.89	3.83	36.72	47.54	0.78 in/h
24	RAIN BIRD PEB-PRS-D	1-1/2"	TURF SPRAY	24.04	14		88.7	50.8	51.2	5.9			30	2.98	3.78	36.76	48.75	0.82 in/h
25	RAIN BIRD PEB-PRS-D	1"	TURF SPRAY	20.07	17		201.5		59.0				30	1.84	2.92	34.75	44.19	1.45 in/h
26	RAIN BIRD PEB-PRS-D	1-1/2"	TURF SPRAY	25.90	14		60.0	45.0	60.6	60.6			30	2.98	3.72	36.70	50.19	0.79 in/h
27	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIPLINE	13.40			48.6		155.6	336.1			20	1.97	11.17	33.14	39.37	0.45 in/h
28	RAIN BIRD PEB-PRS-D	1-1/2"	TURF SPRAY	25.90	14		29.5	30.0	45.0	45.0	528.9		30	3.01	3.72	36.74	50.56	0.79 in/h
29	RAIN BIRD PEB-PRS-D	1-1/2"	TURF SPRAY	23.12	12		75.0	30.0	45.0	17.7	351.2		30	2.33	3.81	36.14	47.99	0.79 in/h
30	RAIN BIRD PEB-PRS-D	1-1/2"	TURF SPRAY	20.77	11		52.5	16.7	37.3	288.8			30	2.93	3.88	36.80	47.10	1.08 in/h
31	RAIN BIRD PEB-PRS-D	1"	TURF SPRAY	12.02	7		60.0	29.5	175.6				30	2.02	2.02	34.01	39.99	0.78 in/h
32	RAIN BIRD PEB-PRS-D	1-1/2"	TURF SPRAY	27.75	15		140.9	45.0	25.0	6.5			30	2.82	3.67	36.48	52.13	0.79 in/h
	Common Wire						1,096											



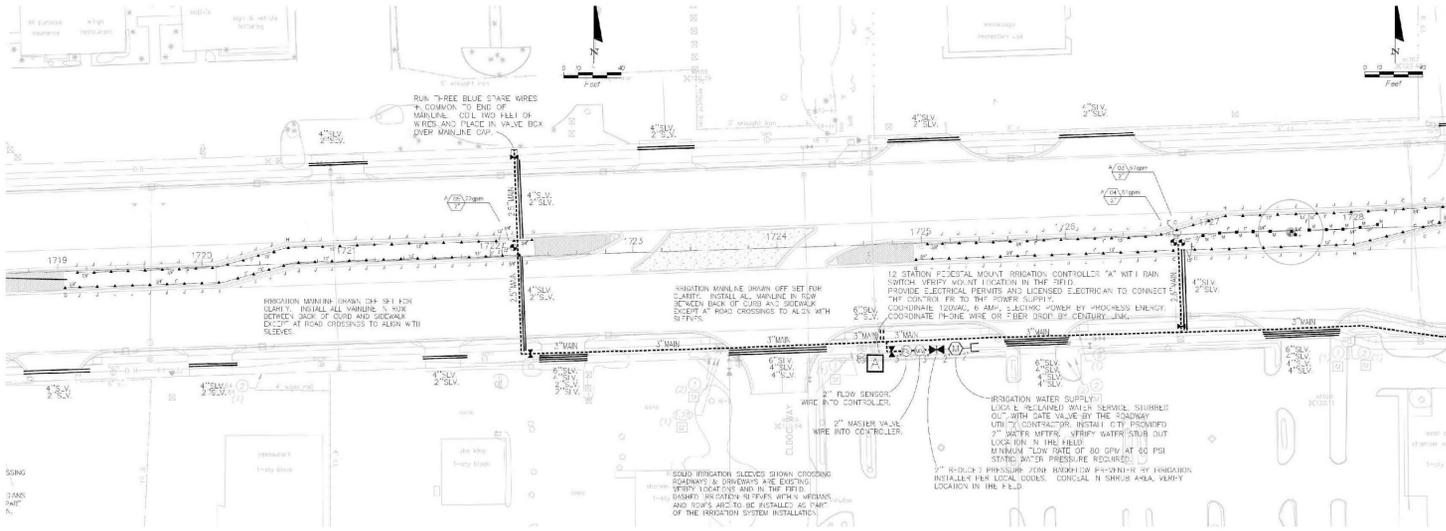
SPRAY BODIES

RAINBIRD 1800 SERIES SPRAY BODIES & ADAPTERS
POLY PIPE AND INSERT FITTING BUNG JOINTS
PROVIDE MFR SPRAY NOZZLES PER PLAN

- S ● 6" POP-UP TURF SPRAY BODY
- T ▲ 12" POP-UP SHRUB SPRAY BODY
- R ■ X' SHRUB NOZZLE ON PVC RISER

SPRAY HEAD NOZZLE CHART

LETTER	GPM AT 30 PSI	RADIUS	PATTERN
A	0.9	5'	QUARTER
B	1.25	15'	ONE THIRD
C	1.85	15'	HALF
D	2.5	15'	TWO THIRD
E	2.8	15'	THREE QTR.
F	3.7	15'	FULL
G	0.65	12'	QUARTER
H	0.9	12'	ONE THIRD
J	1.3	12'	HALF
K	1.75	12'	TWO THIRD
L	1.95	12'	THREE QTR.
M	2.6	12'	FULL
N	0.4	10'	QUARTER
P	0.5	10'	ONE THIRD
R	0.8	10'	HALF
U	0.6	4' X 15'	END STRIP
V	1.2	4' X 30'	SIDE STRIP
W	1.2	4' X 30'	CENTER STRIP
X	1.7	9' X 18'	SIDE STRIP
Z10	VARIES	10'	10' ADJUSTABLE ARC
Z12	VARIES	12'	12' ADJUSTABLE ARC
Z	VARIES	15'	15' ADJUSTABLE ARC
Y	0.5	2'	ADJUSTABLE FLOOD BUBBLER
O	1.0	5'	STREAM BUBBLER



1 EXISTING IRRIGATION (PARTIAL) REFERENCE PLAN WITH LEGEND

Scale: N.T.S.

7/8/2020 9:26:46 AM

Seal



James R. Magley
State of Florida Lic. No.: LA 0001300



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Revision No:	Date:
1	03-13-20
2	07-02-20

Date: December 6, 2019
Scale:
Project Number: 1919

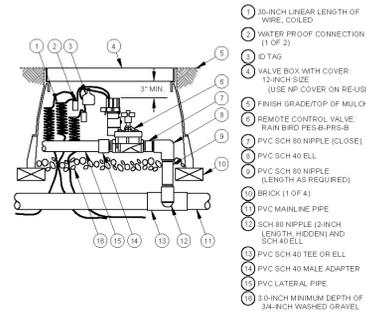
Sheet Title
IRRIGATION SCHEDULES AND REFERENCE PLAN

Sheet Number

L-12

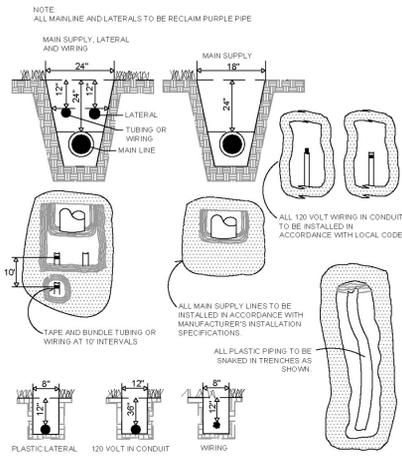
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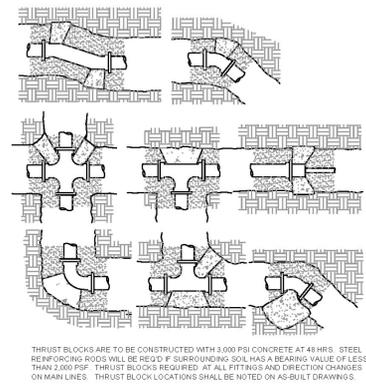
- 1 3/8-INCH LINEAR LENGTH OF WIRE COILED
- 2 WATER PROOF CONNECTION (1 OF 2)
- 3 TAG
- 4 VALVE BOX WITH COVER-12-INCH SIZE (USE NP COVER ON RE-USE)
- 5 FINISH GRADE/TOP OF MULCH
- 6 REMOTE CONTROL VALVE RAIN BIRD PES-B-PRS-B
- 7 PVC SCH 80 NIPPLE (CLOSE)
- 8 PVC SCH 40 ELL
- 9 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 10 BRICK (1 OF 4)
- 11 PVC MAINLINE PIPE
- 12 SCH 80 NIPPLE (2-INCH LENGTH HIDDEN) AND SCH 40 ELL
- 13 PVC SCH 40 TEE OR ELL
- 14 PVC SCH 40 MALE ADAPTER
- 15 PVC LATERAL PIPE
- 16 3/8-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL

1 REMOTE CONTROL VALVE Scale: N.T.S.



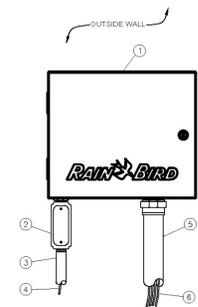
- NOTE: ALL MAINLINE AND LATERALS TO BE RECLAIM PURPLE PIPE
- MAIN SUPPLY, LATERAL AND WIRING
- LATERAL TUBING OR WIRING
- MAIN LINE
- ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED IN ACCORDANCE WITH LOCAL CODE
- ALL MAIN SUPPLY LINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION SPECIFICATIONS
- TAPE AND BUNDLE TUBING OR WIRING AT 10' INTERVALS
- ALL PLASTIC PIPING TO BE SNAKED IN TRENCHES AS SHOWN
- PLASTIC LATERAL 120 VOLT IN CONDUIT WIRING

2 TYPICAL TRENCHING DETAIL Scale: N.T.S.



- THRUST BLOCKS ARE TO BE CONSTRUCTED WITH 3,000 PSI CONCRETE AT 48 HRS. STEEL REINFORCING RODS WILL BE REQ'D IF SURROUNDING SOIL HAS A BEARING VALUE OF LESS THAN 2,000 P.S.F. THRUST BLOCKS REQUIRED AT ALL FITTINGS AND DIRECTION CHANGES ON MAIN LINES. THRUST BLOCK LOCATIONS SHALL BE NOTED ON AS-BUILT DRAWINGS.

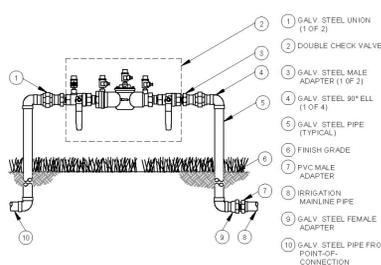
3 TYPICAL THRUST BLOCK DETAIL Scale: N.T.S.



- 1 BRIGATION CONTROLLER RAIN BIRD ESP-LXME CONTROLLER IN LUMIN METAL CABINET WITH OUTSIDE WALL MOUNT. INSTALL CONTROLLER AND CABINET ON WALL PER MANUFACTURER'S RECOMMENDATIONS.
- 2 JUNCTION BOX
- 3 1-INCH CONDUIT AND FITTINGS TO POWER SUPPLY
- 4 POWER SUPPLY WIRE
- 5 3-INCH CONDUIT AND FITTINGS FOR STATION WIRES
- 6 WIRES TO REMOTE CONTROL VALVES

- NOTES:
- ESP-LXME CONTROLLER IS AVAILABLE IN 8- OR 12-STATION BASE MODELS. ADDITIONAL MODULES IN 4-, 8- AND 12-STATION VERSIONS MAY BE ADDED TO BRING THE CONTROLLER UP TO 48 STATIONS MAXIMUM.
 - FOR EASE OF INSTALLATION INTO A CONTROLLER WITH MORE THAN 24 STATIONS, INSTALL A JUNCTION BOX AT THE BASE OF CONTROLLER AND TRANSITION LARGER VALVE AND COMMON WIRES FROM FIELD TO 18-AWG MULTI-CONDUCTOR WIRE TO BE USED IN CONTROLLER.
 - USE STEEL CONDUIT FOR ABOVE GRADE AND SCH 40 PVC CONDUIT FOR BELOW GRADE CONDITIONS.
 - PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.

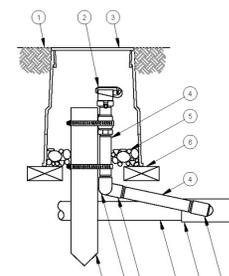
4 ESP-LXME CONTROLLER IN METAL CABINET Scale: N.T.S.



- 1 GALV. STEEL UNION (1 OF 2)
- 2 DOUBLE CHECK VALVE
- 3 GALV. STEEL MALE ADAPTER (1 OF 2)
- 4 GALV. STEEL 90° ELL (1 OF 4)
- 5 GALV. STEEL PIPE (TYPICAL)
- 6 FINISH GRADE
- 7 PVC MALE ADAPTER
- 8 IRRIGATION MAINLINE PIPE
- 9 GALV. STEEL FEMALE ADAPTER
- 10 GALV. STEEL PIPE FROM POINT-OF-CONNECTION

- NOTE:
- INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.
 - MANUFACTURER TO BE FERC0, 850 REDUCED PRINCIPAL ZONE (RPZ) MODEL.

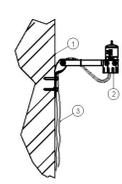
5 BACKFLOW PREVENTER Scale: N.T.S.



- RAIN BIRD MODEL 33DR (USE NP COVER ON RE-USE)
- 1 FINISH GRADE/TOP OF MULCH
 - 2 QUICK-COUPLING VALVE RAIN BIRD MODEL SNP
 - 3 VALVE BOX WITH COVER-10-1/2" MIN
 - 4 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
 - 5 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
 - 6 BRICK (1 OF 2)
 - 7 PVC SCH 40 STREET ELL
 - 8 PVC SCH 40 TEE OR ELL
 - 9 PVC MAINLINE PIPE
 - 10 PVC SCH 40 ELL
 - 11 2" x 2" REDWOOD STAKE W/ STAINLESS STEEL GEAR CLAMP OR EQUIVALENT SUPPORT SYSTEM

- NOTE:
- FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

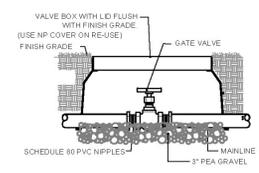
6 QUICK COUPLER VALVE Scale: N.T.S.



- 1 EXTERIOR WALL (SEE NOTE)
- 2 MODEL MINI-CLIP
- 3 RUN LEAD WIRES TO CONTROLLER

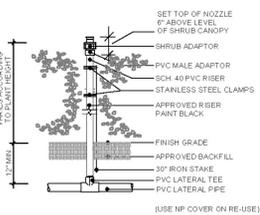
- NOTE:
- MOUNT SENSOR ON SURFACE WHERE IT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL BUT NOT IN PATH OF SPRINKLER SPRAY.

7 WALL MOUNTED RAIN SENSOR Scale: N.T.S.



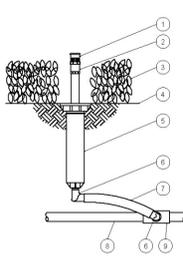
- 1 VALVE BOX WITH LID FLUSH WITH FINISH GRADE (USE NP COVER ON RE-USE)
- 2 GATE VALVE
- 3 SCHEDULE 90 PVC NIPPLE
- 4 MAINLINE
- 5 3" PEA GRAVEL

8 GATE VALVE Scale: N.T.S.



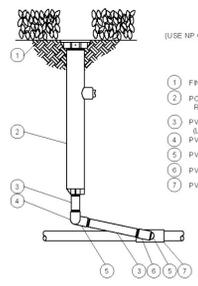
- 1 SET TOP OF NOZZLE 6" ABOVE LEVEL OF SHRUB CANOPY
- 2 SHRUB ADAPTOR
- 3 PVC MALE ADAPTOR
- 4 3/4" KOPIC RISER
- 5 STAINLESS STEEL CLAMPS
- 6 APPROVED RISER PAINT BLACK
- 7 FINISH GRADE
- 8 APPROVED BACKFILL
- 9 30" IRON STAKE
- 10 PVC LATERAL TEE
- 11 PVC LATERAL PIPE (USE NP COVER ON RE-USE)

9 SHRUB NOZZLE ON FIXED RISER Scale: N.T.S.



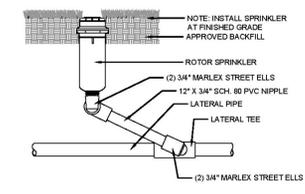
- 1 PRESSURE COMPENSATING FULL-CIRCLE BUBBLER RAIN BIRD 1400
- 2 PLASTIC ADAPTER RAIN BIRD MODEL PR-80
- 3 PLANT MATERIAL
- 4 FINISH GRADE/TOP OF MULCH
- 5 POP-UP SPRAY SPRINKLER RAIN BIRD 1004
- 6 1/2-INCH MALE NPT 1/2" 45°/90° GEAR ELBOW RAIN BIRD MODEL SBE-150
- 7 SWING PIPE, 12-INCH LENGTH RAIN BIRD MODEL SP-100
- 8 PVC LATERAL PIPE
- 9 PVC SCH 40 TEE OR ELL

10 TYPICAL BUBBLER DETAIL Scale: N.T.S.



- (USE NP COVER ON RE-USE)
- 1 FINISH GRADE/TOP OF MULCH
 - 2 POP-UP SPRAY SPRINKLER RAIN BIRD 1000
 - 3 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
 - 4 PVC SCH 40 ELL
 - 5 PVC SCH 40 STREET ELL
 - 6 PVC SCH 40 TEE OR ELL
 - 7 PVC LATERAL PIPE

11 TYPICAL POP-UP SPRAY HEAD DETAIL Scale: N.T.S.



- 1 NOTE: INSTALL SPRINKLER AT FINISHED GRADE APPROVED BACKFILL
- 2 ROTOR SPRINKLER
- 3 (2) 3/4" MARLEX STREET ELLS
- 4 LATERAL PIPE
- 5 LATERAL TEE
- 6 (2) 3/4" MARLEX STREET ELLS

12 TYPICAL ROTOR DETAIL Scale: N.T.S.

Seal

James R. Magley
State of Florida Lic. No.: LA 0001300



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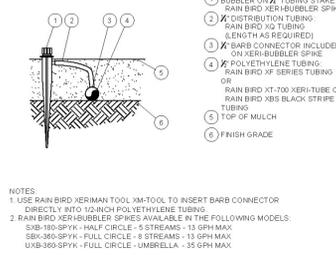
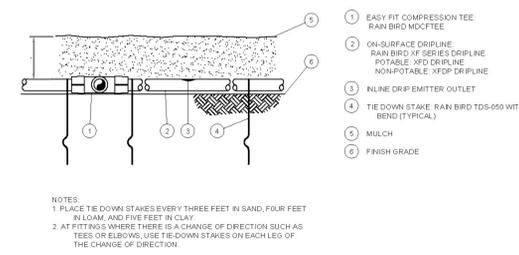
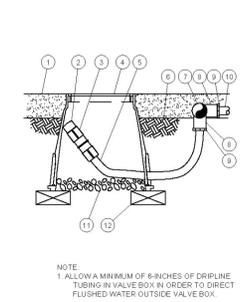
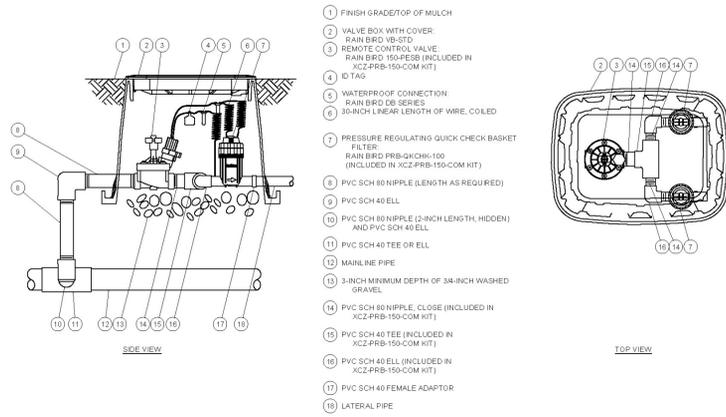
Revision No:	Date:
1	03-13-20
2	07-02-20

Date: December 6, 2019
Scale:
Project Number: 1919

Sheet Title
IRRIGATION DETAILS

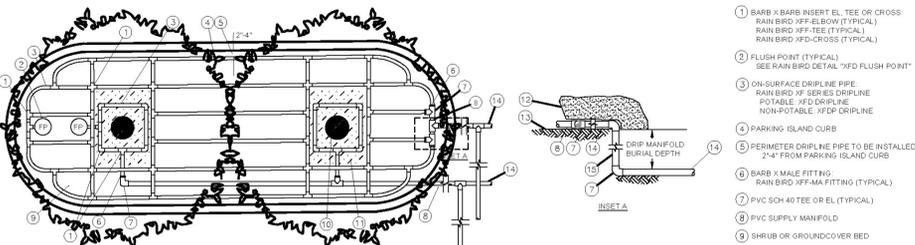
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1 XCZ-PRB DRIP CONTROL ZONE KIT

Scale: N.T.S.



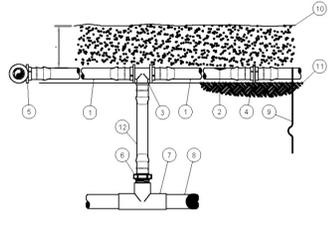
NOTES:
 1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
 2. LENGTH OF LONGEST DRIP LINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
 3. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 4. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
 5. WHEN USING 1/2" M INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

Inlet Pressure (psi)	12" Spacing			18" Spacing			24" Spacing		
	0.6	0.9	0.6	0.9	0.6	0.9	0.6	0.9	
15	273	155	314	250	424	322			
20	318	169	353	294	509	368			
30	350	200	413	350	595	474			
40	392	235	465	402	672	547			
50	437	265	528	450	750	628			
60	480	290	596	495	830	714			

- 1 BARB X BARB INSERT TEE OR CROSS: RAIN BIRD XFF-ELBOW (TYPICAL), RAIN BIRD XFF-TEE (TYPICAL), RAIN BIRD XFD-CROSS (TYPICAL)
- 2 FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "XFD FLUSH POINT"
- 3 ON-SURFACE DRIPLINE PIPE: RAIN BIRD XFD DRIPLINE (POTABLE, XFD DRIPLINE, NON-POTABLE, XFD DRIPLINE)
- 4 PARKING ISLAND CURB
- 5 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2'-4" FROM PARKING ISLAND CURB
- 6 BARB X MALE FITTING: RAIN BIRD XFF-MA FITTING (TYPICAL)
- 7 PVC SCH 40 TEE OR EL (TYPICAL)
- 8 PVC SUPPLY MANFOLD
- 9 SHRUB OR GROUND COVER BED
- 10 TREE (TYPICAL)
- 11 MULCH BED FOR TREE
- 12 2-3 INCHES DEPTH OF MULCH
- 13 FINISH GRADE
- 14 PVC DRIP MANFOLD FROM RAIN BIRD CONTROL ZONE VALVE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- 15 PVC RISER PIPE

2 DRIP LINE FLUSH POINT

Scale: N.T.S.

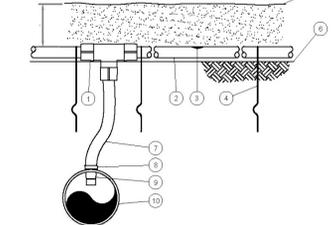


NOTES:
 1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
 3. SAVE YOUR HANDS! USE THE RAIN BIRD FITTING TOOL XFD INSERTION TOOL FOR FITTING ASSEMBLY.

- 1 ON-SURFACE DRIPLINE: RAIN BIRD XFD DRIPLINE (POTABLE, XFD DRIPLINE, NON-POTABLE, XFD DRIPLINE) FOR DRIPLINE OUTLET SPACING
- 2 BARB TEE 1/2x1/2x1/2mm RAIN BIRD XFF-TEE
- 3 BARB COUPLING 1/2x1/2mm RAIN BIRD XFF-COUP
- 4 BARB ELBOW 1/2x1/2mm RAIN BIRD XFF-ELBOW
- 5 BARB MALE ADAPTER 1/2mm X 1/2" MPT RAIN BIRD XFF-MA-650 1/2mm X 3/4" MPT RAIN BIRD XFF-MA-675
- 6 PVC TEE 5x5/8
- 7 PVC LATERAL SUPPLY HEADER
- 8 TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (TYPICAL)
- 9 MULCH
- 10 FINISH GRADE
- 11 RAIN BIRD XFD SERIES BLANK TUBING LENGTH AS REQUIRED
- 12 MULCH DEPTH OF 2"

3 DRIP LINE AT GRADE

Scale: N.T.S.

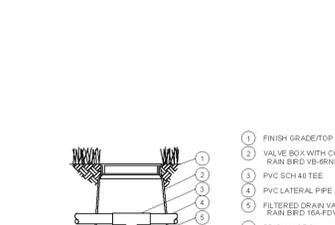


NOTES:
 1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

- 1 EASY FIT COMPRESSION TEE: RAIN BIRD MDCFTTEE
- 2 ON-SURFACE DRIPLINE: RAIN BIRD XFD DRIPLINE (POTABLE, XFD DRIPLINE, NON-POTABLE, XFD DRIPLINE) RAIN BIRD XFD DRIPLINE EMITTER OUTLET
- 3 TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (TYPICAL)
- 4 FINISH GRADE
- 5 RAIN BIRD XFD SERIES BLANK TUBING
- 6 RATCHET CLAMP (INCLUDED WITH ADAPTER)
- 7 INSERT ADAPTER FOR PVC PIPE: RAIN BIRD XFD-INVPC
- 8 PVC LATERAL PIPE MINIMUM 1/2" IN DIAMETER

4 XERI BUG EMITTER

Scale: N.T.S.

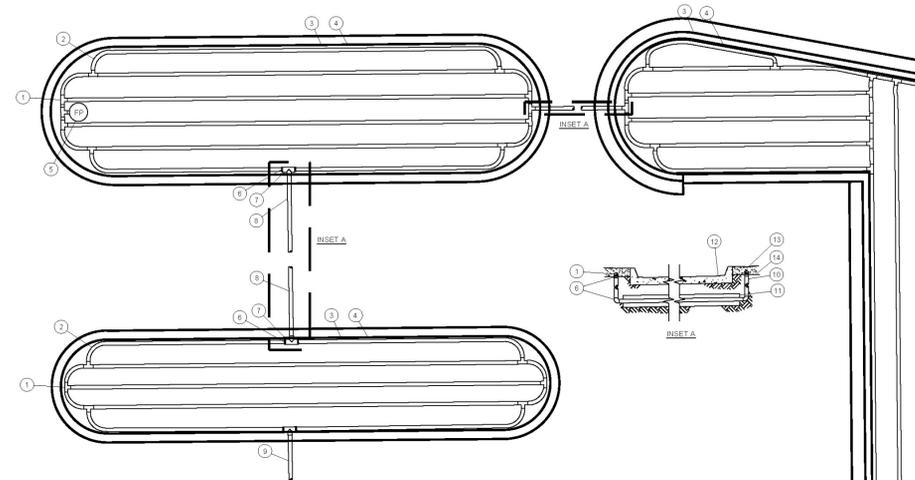


NOTES:
 1. USE RAIN BIRD HERMAN TOOL XM-TOOL TO INSERT BARB CONNECTOR DIRECTLY INTO 1/2" BORE POLYETHYLENE TUBING.
 2. RAIN BIRD XERI-BUBBLER SPIKES AVAILABLE IN THE FOLLOWING MODELS: SBK-150-SPYK - HALF CIRCLE - 15 STREAMS - 13 GPH MAX SBK-360-SPYK - FULL CIRCLE - 8 STREAMS - 13 GPH MAX UXB-300-SPYK - FULL CIRCLE - UMBRELLA - 35 GPH MAX

- 1 FINISH GRADE/TOP OF MULCH
- 2 VALVE BOX WITH COVER: RAIN BIRD VB-250
- 3 PVC SCH 40 TEE
- 4 PVC LATERAL PIPE
- 5 FILTERED DRAIN VALVE: RAIN BIRD 15A-FD-05
- 6 BRICK (1 OF 2)
- 7 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- NOTE: Place drain at lowest point in the system and ensure all pipe drains to this location

5 DRIP LINE PARKING LOT ISLANDS TYPICAL

Scale: N.T.S.



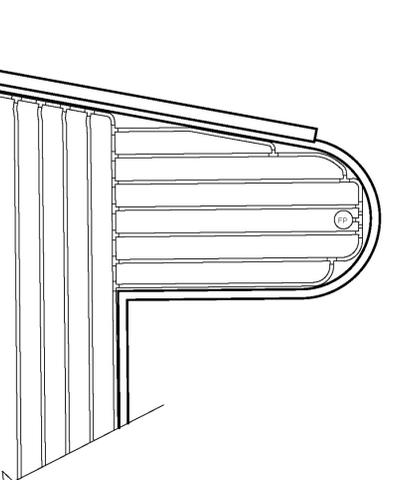
NOTES:
 1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
 2. LENGTH OF LONGEST DRIP LINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
 3. DISTANCE FROM CURB TO ADJACENT DRIP LINE TO BE SPECIFIED BY DESIGN CONSULTANT (SEE DRAWINGS AND SPECIFICATIONS).
 4. WHEN USING 1/2" M INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

Inlet Pressure (psi)	12" Spacing			18" Spacing			24" Spacing		
	0.6	0.9	0.6	0.9	0.6	0.9	0.6	0.9	
15	273	155	314	250	424	322			
20	318	169	353	294	509	368			
30	350	200	413	350	595	474			
40	392	235	465	402	672	547			
50	437	265	528	450	750	628			
60	480	290	596	495	830	714			

- 1 BARB X BARB INSERT TEE OR CROSS: RAIN BIRD XFF-TEE OR RAIN BIRD XFD-CROSS (TYPICAL)
- 2 ON-SURFACE DRIPLINE PIPE: RAIN BIRD XFD DRIPLINE (POTABLE, XFD DRIPLINE, NON-POTABLE, XFD DRIPLINE)
- 3 PERIMETER OF AREA
- 4 REFERS TO SPECIFICATIONS FOR PERIMETER DRIPLINE PIPE DISTANCE TO EDGE
- 5 BARB X MALE FITTING: RAIN BIRD XFF-MA FITTING (TYPICAL)
- 6 PVC SCH 40 TEE OR EL (TYPICAL)
- 7 PVC SUPPLY MANFOLD
- 8 FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "XFD FLUSH POINT"
- 9 PVC SUPPLY PIPE FROM RAIN BIRD CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- 10 PVC SCH 40 RISER PIPE
- 11 PVC SCH 40 SLEEVE PIPE SIZED TWICE SIZE OF MANIFOLD PIPE SIZE
- 12 PAVEMENT AND CURB
- 13 MULCH
- 14 FINISH GRADE

6 DRIP LINE RISER ASSEMBLY

Scale: N.T.S.

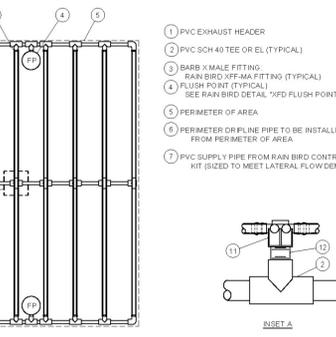


NOTES:
 1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

- 1 PVC EXHAUST HEADER
- 2 PVC SCH 40 TEE OR EL (TYPICAL)
- 3 BARB X MALE FITTING: RAIN BIRD XFF-MA FITTING (TYPICAL)
- 4 FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "XFD FLUSH POINT"
- 5 PERIMETER OF AREA
- 6 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2'-4" FROM PERIMETER OF AREA
- 7 PVC SUPPLY PIPE FROM RAIN BIRD CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- 8 PVC SUPPLY MANFOLD
- 9 CONNECTION FROM SUPPLY MANFOLD TO DRIPLINE (TYPICAL) SEE INSET A
- 10 ON-SURFACE DRIPLINE: RAIN BIRD XFD DRIPLINE (POTABLE, XFD DRIPLINE, NON-POTABLE, XFD DRIPLINE)
- 11 BARB X FEMALE FITTING: RAIN BIRD XFD-FM FITTING
- 12 PVC NIPPLE LENGTH AS NECESSARY

7 DRIP LINE INSERT ADAPTER

Scale: N.T.S.

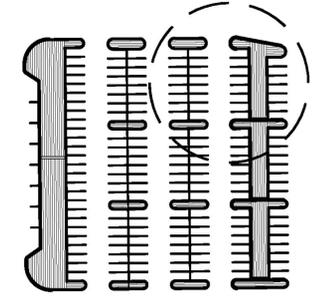


NOTES:
 1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
 2. LENGTH OF LONGEST DRIP LINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
 3. WHEN USING 1/2" M INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

Inlet Pressure (psi)	12" Spacing			18" Spacing			24" Spacing		
	0.6	0.9	0.6	0.9	0.6	0.9	0.6	0.9	
15	273	155	314	250	424	322			
20	318	169	353	294	509	368			
30	350	200	413	350	595	474			
40	392	235	465	402	672	547			
50	437	265	528	450	750	628			
60	480	290	596	495	830	714			

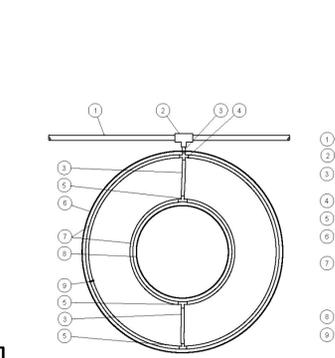
10 DRIP LINE PLAN VIEW TYPICAL

Scale: N.T.S.



11 DRIP LINE AROUND TREE

Scale: N.T.S.



NOTES:
 1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE AND TREE CANOPY. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
 2. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 3. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

- 1 PVC DRIP MANFOLD PIPE
- 2 PVC SCH 40 TEE OR EL
- 3 RAIN BIRD XFD SERIES BLANK TUBING
- 4 BARB CROSS INSERT FITTING: RAIN BIRD XFD-CROSS
- 5 BARB TEE INSERT FITTING: RAIN BIRD XFF-TEE
- 6 PROJECTED CANOPY LINE OF TREE
- 7 ON-SURFACE DRIPLINE: RAIN BIRD XFD DRIPLINE (POTABLE, XFD DRIPLINE, NON-POTABLE, XFD DRIPLINE) PLACE AS SHOWN (LENGTH AS REQUIRED)
- 8 ROOT BALL
- 9 TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (QUANTITY AS REQUIRED) SEE NOTES 2-3 BELOW

9 DRIP LINE PARKING LOT TYPICAL

Scale: N.T.S.

Inlet Pressure (psi)	12" Spacing			18" Spacing			24" Spacing		
	0.6	0.9	0.6	0.9	0.6	0.9	0.6	0.9	
15	273	155	314	250	424	322			
20	318	169	353	294	509	368			
30	350	200	413	350	595	474			
40	392	235	465	402	672	547			
50	437	265	528	450	750	628			
60	480	290	596	495	830	714			

Seal

James R. Magley
 State of Florida Lic. No.: LA 0001300

MD Magley Design
 Landscape Architecture * Site Planning * Project Management
 1817 E. Washington St. - Orlando, FL 32803 - 407.258.0223

PEOPLE'S PLAZA
 12301 West Colonial Drive, Winter Garden, Florida

Always call 811 two full business days before you dig
Sunshine811.com

Revision No: _____ Date: _____

1	03-13-20
2	07-02-20

Date: December 6, 2019
 Scale:
 Project Number: 1919

Sheet Title
IRRIGATION DETAILS

Sheet Number
L-14

7/8/2020 9:27:45 AM

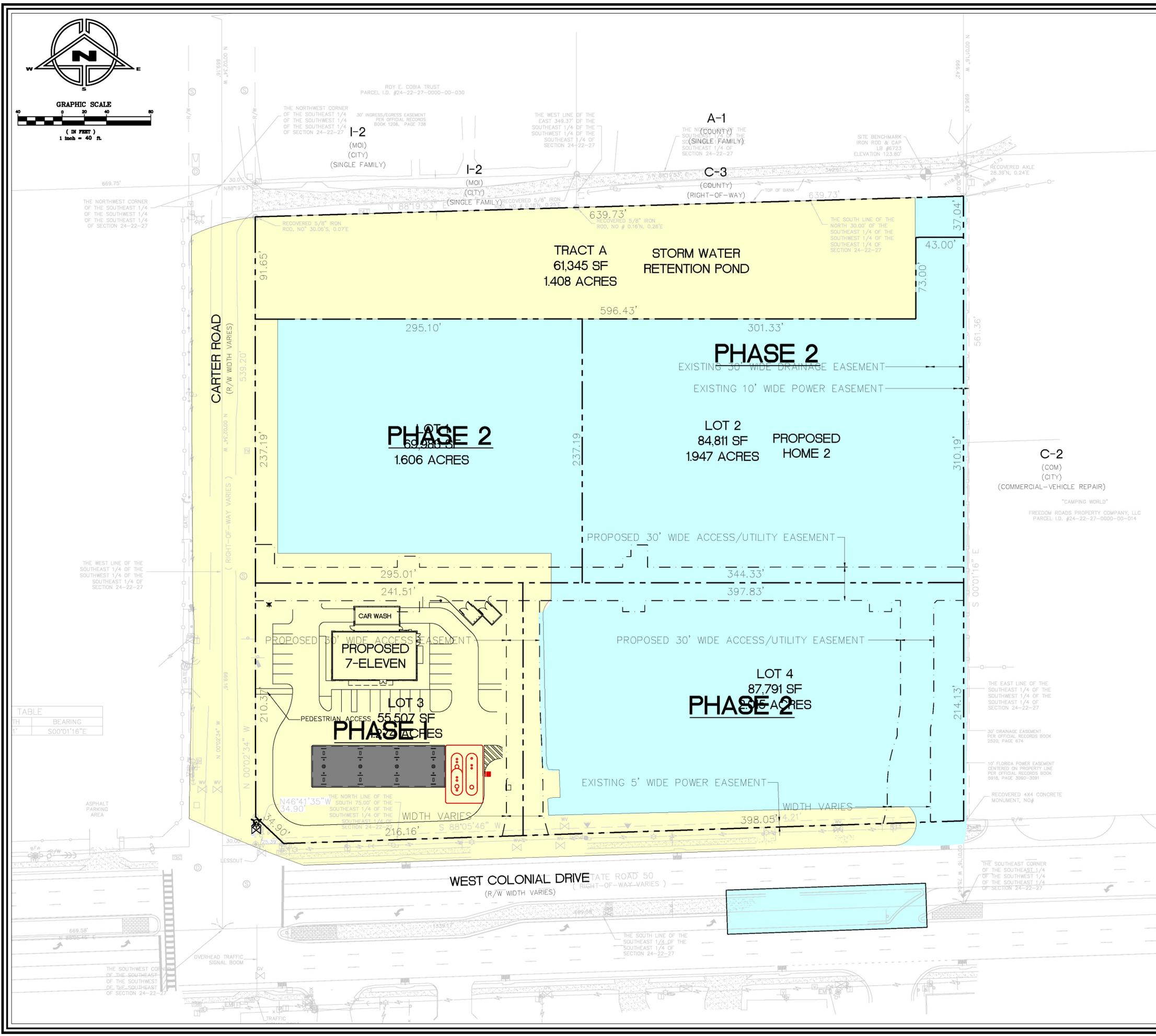
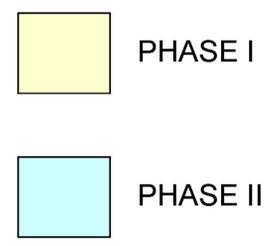


TABLE	BEARING
1	S00°01'16"E



NOTE:
REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 21H.23.002 FLORIDA ADMINISTRATIVE CODE.

REV/DATE	BY
1-27-20	M.C.
AS PER CITY	M.C.
-	-
-	-
-	-
-	-

PRELIMINARY SUBDIVISION PLAN
FOR
HOME2 SUITES AT PEOPLE'S PLAZA
12301 WEST COLONIAL DRIVE
WINTER GARDEN, FLORIDA

DATE _____

MITCH COLLINS, P.E. # 54608, STATE OF FLORIDA, C.A.# 9523

DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	1" = 40'
JOB NO:	219-002
SHEET NO:	C-1B OF C-1B

REV/DATE	BY
-	M.C.
-	-
-	-
-	-
-	-
-	-
-	-
-	-

"SUNSHINE STATE ONE CALL OF FLORIDA, INC."
1-800-432-4770
WWW.CALLSUNSHINE.COM
REQUIRED BY FLORIDA STATUTE 323.053
OWNER OF UTILITIES AND PROVIDERS OF SERVICES
BEFORE YOU EXCAVATE, YOU ARE TO NOTIFY
THE SUNSHINE STATE ONE CALL CENTER OF FLORIDA

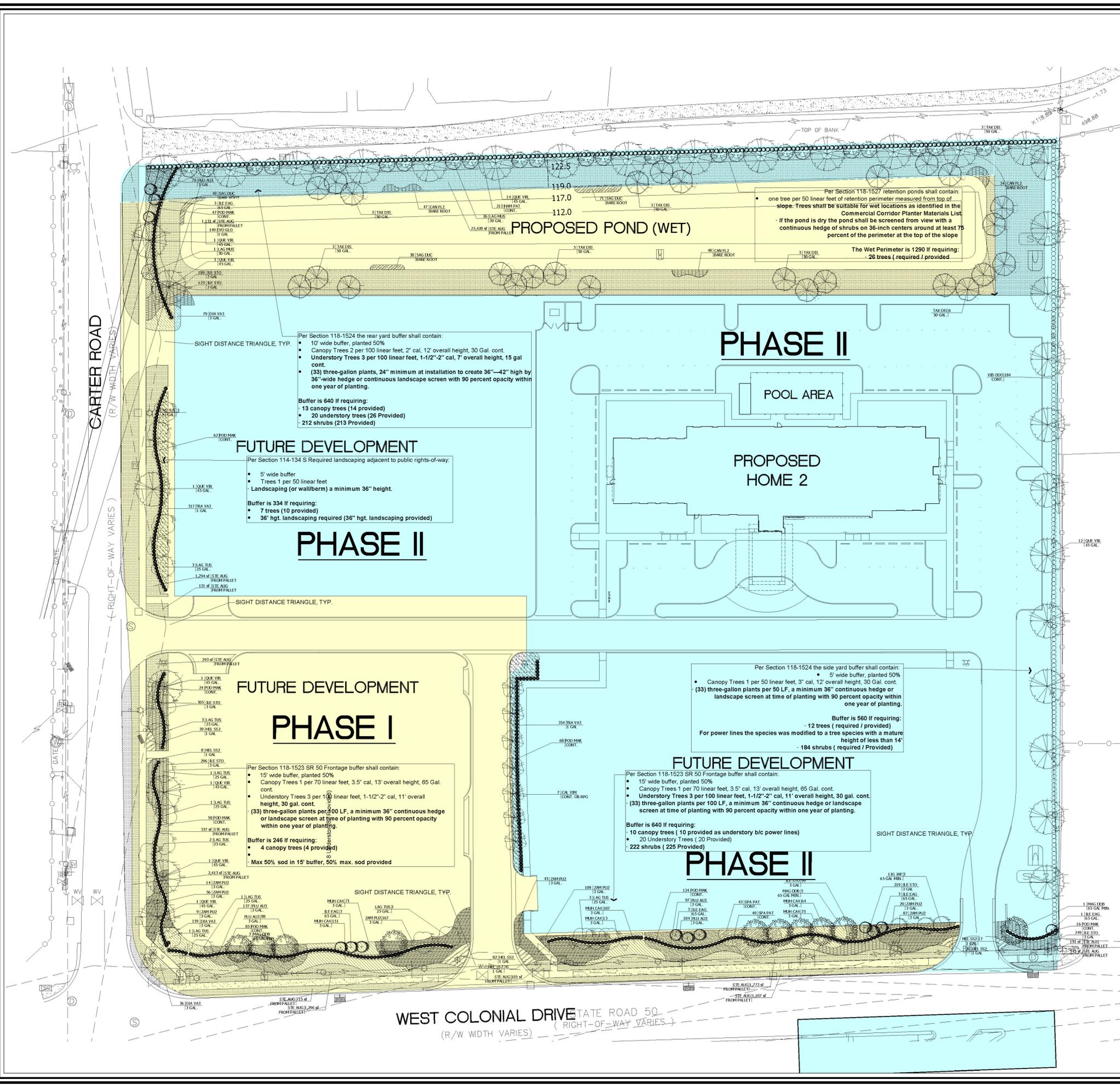
WINTER GARDEN CODE COMPLIANCE NOTES:

1. Shrubs / groundcovers = 35,658 sf
2. Sod = 36,639 sf
3. Gross Area 359,436 sf
4. Trees preserved = 0
5. Trees planted = 150
6. Min. Canopy Tree size 3" cal. x 12' hgt.
7. Min. Understory Tree 1.5" cal. x 11' hgt. (The only exception is the use of Ligustrum under the power plants are not available at this size and are specified at 1.5" cal; 8' hgt. x 6' spd.
8. Min. parking lot interior landscape = 5%.
9. Min. native plants required = 5%, 64% provided

LANDSCAPE PHASING PLAN
AT
PEOPLE PLAZA
12301 WEST COLONIAL DRIVE
WINTER GARDEN, FLORIDA

MITCH COLLINS, P.E. # 54608, STATE OF FLORIDA, C.A.# 9523
DATE: _____
1 INCH = 30 FEET
This plan may have been reduced in size. Verify before scaling dimensions.
MD
SUNSHINE STATE ONE CALL OF FLORIDA, INC.
1-800-432-4770
WWW.CALLSUNSHINE.COM
REQUIRED BY FLORIDA STATUTE 323.053
OWNER OF UTILITIES AND PROVIDERS OF SERVICES
BEFORE YOU EXCAVATE, YOU ARE TO NOTIFY THE SUNSHINE STATE ONE CALL CENTER OF FLORIDA

DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	1" = 40'
JOB NO:	219-002
SHEET NO:	C-1C OF C-13



Per Section 118-1527 retention ponds shall contain:
• one tree per 50 linear feet of retention perimeter measured from top of slope. Trees shall be suitable for wet locations as identified in the Commercial Corridor Planter Materials List
• If the pond is dry the pond shall be screened from view with a continuous hedge of shrubs on 36-inch centers around at least 75 percent of the perimeter at the top of the slope
The Wet Perimeter is 1290 If requiring:
- 26 trees (required / provided)

Per Section 118-1524 the rear yard buffer shall contain:
• 10' wide buffer, planted 50%
• Canopy Trees 2 per 100 linear feet, 2" cal, 12' overall height, 30 Gal. cont.
• Understory Trees 3 per 100 linear feet, 1-1/2"-2" cal, 7' overall height, 15 gal. cont.
• (33) three-gallon plants, 24" minimum at installation to create 36"-42" high by 36"-wide hedge or continuous landscape screen with 90 percent opacity within one year of planting.
Buffer is 640 If requiring:
• 13 canopy trees (14 provided)
• 20 understory trees (26 Provided)
• 212 shrubs (213 Provided)

Per Section 114-134 S Required landscaping adjacent to public rights-of-way:
• 5' wide buffer
• Trees 1 per 50 linear feet
• Landscaping (or wall/berm) a minimum 36" height.
Buffer is 334 If requiring:
• 7 trees (10 provided)
• 36" hgt. landscaping required (36" hgt. landscaping provided)

Per Section 118-1524 the side yard buffer shall contain:
• 5' wide buffer, planted 50%
• Canopy Trees 1 per 50 linear feet, 3" cal, 12' overall height, 30 Gal. cont.
• (33) three-gallon plants per 50 LF, a minimum 36" continuous hedge or landscape screen at time of planting with 90 percent opacity within one year of planting.
Buffer is 560 If requiring:
• 12 trees (required / provided)
• 184 shrubs (required / Provided)

Per Section 118-1523 SR 50 Frontage buffer shall contain:
• 15' wide buffer, planted 50%
• Canopy Trees 1 per 70 linear feet, 3.5" cal, 13' overall height, 65 Gal. cont.
• Understory Trees 3 per 100 linear feet, 1-1/2"-2" cal, 11' overall height, 30 gal. cont.
• (33) three-gallon plants per 100 LF, a minimum 36" continuous hedge or landscape screen at time of planting with 90 percent opacity within one year of planting.
Buffer is 640 If requiring:
• 10 canopy trees (10 provided as understory b/c power lines)
• 20 Understory Trees (20 Provided)
• 222 shrubs (225 Provided)

Per Section 118-1523 SR 50 Frontage buffer shall contain:
• 15' wide buffer, planted 50%
• Canopy Trees 1 per 70 linear feet, 3.5" cal, 13' overall height, 65 Gal. cont.
• Understory Trees 3 per 100 linear feet, 1-1/2"-2" cal, 11' overall height, 30 gal. cont.
• (33) three-gallon plants per 100 LF, a minimum 36" continuous hedge or landscape screen at time of planting with 90 percent opacity within one year of planting.
Buffer is 246 If requiring:
• 4 canopy trees (4 provided)
• Max 50% sod in 15' buffer, 50% max. sod provided

NOTE:
REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 21H.23.002 FLORIDA ADMINISTRATIVE CODE.

CITY OF WINTER GARDEN

DEVELOPMENT REVIEW COMMITTEE

300 West Plant Street – Winter Garden – Florida 34787-3011

(407) 656-4111

MEMORANDUM

TO: STEVE PASH, COMMUNITY DEVELOPMENT DIRECTOR
FROM: DEVELOPMENT REVIEW COMMITTEE
DATE: OCTOBER 13, 2020
SUBJECT: SITE PLAN APPROVAL - 12301 W COLONIAL DRIVE –
MASTER SITE PLAN & HOME2 SUITES AT PEOPLE'S PLAZA

We recommend approval subject to the following conditions and comments.

ENGINEERING

Underlined comments shall be addressed prior to final plan stamping & pre-con:

1. The Developer agreed at the 11/29/06 DRC Meeting to pay his one-half share of the improvements to Carter Road along the project's frontage, including, but not limited to, the following (which has now been reduced since FDOT installed the traffic signal):
 - Carter Road shall be improved to a modified urban section from S.R. 50 to the north property line of the project to include southbound left and right turn lanes, curbing, drainage, etc.
 - Pavement thickness shall be a minimum of 2" asphaltic concrete (can include existing pavement remaining after milling and friction course). Any new base course shall consist of 10" thick soil cement compacted to 98% density, 12" thick subbase compacted to 98% and 18" of clean fill with no more than 5% passing the #200 sieve under the subbase.
 - The existing drainage system on Carter Road will need to be inspected by the City. The condition of the existing CMP's may warrant their replacement with these improvements.
 - **A developer's agreement, drafted by the City Attorney, shall be prepared to allocate the Carter Road improvements' cost share, as well as further defining other commitments of the development including, but not limited to, easement requirements, etc.**
 - The developer's agreement stated above shall be approved by the City Commission prior to issuance of any building permits for the project.
 - Platting will be required providing easements for cross access, drainage and utilities, as well as providing an entity for maintenance of shared facilities. Plat shall be recorded prior to issuance of a certificate of occupancy for any building.
2. Sheet D-1, Demolition: The relocation of the eastbound directional left turn into the property will require FDOT approval. The City has a permit to landscape, irrigate and maintain the medians in this area. All relocation and restoration of the median landscaping, irrigation and brick pavement shall meet the requirements of the FDOT and City of Winter Garden. The "nose" at the relocated directional and resulting island shall be 6" thick, 3,000 min. psi concrete per the attached aerial and detail. Coordinate landscape and irrigation revisions with Laura Coar, Parks and Landscaping Director (lcoar@cwgd.com).
3. Sheet C-1, Site Layout:
 - a. In our experience, FDOT does not approve interior driveway connections, as shown for the

SE parcel, this close to the main driveway entrance. Provide FDOT approval.

b. As mentioned above, the directional median cut relocation will require FDOT approval.

4. Sheet C-4, Water Utility Plan:

- a. Point of Supply for fire line is shown with note stating that all work downstream of the POS shall be performed by a licensed fire sprinkler contractor.
- b. 100% of the water/sewer impact fees shall be paid prior to site or building permit issuance or execution of FDEP permit applications by the City.
- c. Any new water, sewer, or irrigation connections are required to pay utility impact fees, to be paid prior to issuance of site or building permits or execution of FDEP permits. According to the plans there will be (3) 1" potable meters, (2) 2" potable meter, (4) 1" irrigation meters (confirm size of hotel irrigation meter – response says 2"- plans show 1"). Based on the above, the utility impact fees are as follows (coordinate any existing credits with the Utility Billing Department and confirm the meter sizes listed above):

<u>1" Potable water meter</u>	<u>3 ea. @ \$2,715.00</u>	<u>= \$8,145.00</u>
<u>2" Potable water meter</u>	<u>2 ea. @ \$8,688.00</u>	<u>= \$17,376.00</u>
<u>Wastewater for 1" meter</u>	<u>3 ea. @ \$4,418.00</u>	<u>= \$13,254.00</u>
<u>Wastewater for 2" meter</u>	<u>2 ea. @ \$14,136.00</u>	<u>= \$28,272.00</u>
<u>1" Irrigation meter</u>	<u>4 ea. @ \$2,715.00</u>	<u>= \$10,860.00</u>
	<u>TOTAL</u>	<u>= \$77,907.00</u>

(does not include meters for future development sites or connection/installation fee)

5. Sheet C-5, Sanitary Utility Plan:

- a. The response at DRC was that no food preparation will be performed in the hotel. Is this still the case with the change in hotels?
- b. The pool discharge will be allowed into the storm sewer system, provided all pool water is de-chlorinated prior to discharge pursuant to Chapter 106 of the Winter Garden City Code and FDEP allowable discharge requirements as noted. How will this be implemented? Provide pool mechanical plans with O & M manual.
- c. Per the DRC discussion, the 90 degree bend in the 8" gravity sanitary is to be corrected as shown the plans.
- d. The proposed 6" reclaimed water main shall be changed to 8" and shall be run the full frontage to SR 50, per Code. Adjust all other fittings/valves as necessary. The 8" main shall be terminated with a gate valve. Show reclaim key note #20.

6. Minimum 5' wide concrete sidewalks are required along all project frontages to include S.R. 50 and Carter Road (as shown). Existing sidewalks will be checked at completion and any damaged sections shall be replaced. Internal sidewalks shall connect to the public sidewalks in the right-of-way per ADA (as shown).

7. The minimum width for an easement within the City of Winter Garden is 30', with the facility centered within the easement. Easements having more than one pipe shall adhere to Section 110-203 of the City Code requiring easement widths based on the following: Minimum Easement Width = (2) x (Depth of Pipe) + (Pipe Diameter + 7'). Water meters shall be located within a utility easement granted to the City.

8. Based on the response, the on-site gravity sanitary system within dedicated easements will be the responsibility of the City. With the easements proposed, it is assumed that the City will own and maintain the water and reclaim water mains that are within dedicated easements.

9. Approval of drainage improvements from Orange County (42" RCP on east side) and FDOT (discharge to SR 50 inlet and Carter Road) will be required prior to final approval.
10. Tree removal shall adhere to the City's Tree Protection Ordinance – separate review, approval and permit is required. Coordinate with the Building Department (Steve Pash) on any tree removal and protection. Additional landscaping and tree replacement may be required with final plan. Pursuant to Code (Chapter 114-70), a tree survey will be required with the preliminary plat submittal showing size and type of trees, trees that will be removed/saved, etc. meeting all Code provisions.
11. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. Final plans shall detail all connections including fire protection, reuse water and domestic water supply. All irrigation on the site shall be designed to be supplied by reclaimed water when available and shall be served by a jumper to potable water until that time. It should also be noted that the buildings may require fire sprinklers subject to review by the Building and Fire Departments.
12. Sanitary laterals, fittings, and pipes shall be SDR 26 per City standards. City Standard Detail Sheets for utilities and public works shall be adhered to as shown.
13. Fire sprinkler systems will be required on all buildings over 6,000 s.f. with Point of Service (POS), backflow prevention, etc. as shown. All work downstream of the POS shall be performed by a licensed fire sprinkler contractor.
14. Permit from SJRWMD for stormwater is required. Permits or exemptions shall also be required from Orange County, FDOT (driveway, utilities, and drainage) and FDEP for water and sewer and FDEP NPDES NOI as may be applicable.
15. Any screen walls or retaining walls shall require a separate permit from the Building Department.
16. Streetlighting both internally and on all street frontages is required pursuant to City Code – dark skies lighting is required. Provide a lighting plan for the Carter Road frontage on or before the pre-con.
17. Certificates of Occupancy for any building will not be issued until the Certificate of Completion has been issued by the City Engineer and the final plat has been approved and recorded.
18. All dumpsters shall be enclosed and shall provide 12' minimum inside clearance (each way inside of bollards and gate hardware), and access by solid waste vehicles. Coordinate additional requirements (compactors, etc.) with Public Services Department, Solid Waste Division.
19. The pond berm shall not encroach into, or block in any way, the existing drainage ditch along the north side of the project.

PLANNING

20. The project shall be developed in accordance with the approved Phasing Plan as exhibited with the Site Plan Approval City Commission item.

STANDARD GENERAL CONDITIONS

21. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
22. All work shall conform to City of Winter Garden standards and specifications.
23. Fencing, if proposed, shall meet all City requirements for height, type, etc. Chain link fencing shall be vinyl coated per Code. All construction shall conform to City of Winter Garden Standards, Specifications and Ordinances.
24. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed

to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.

25. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
26. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
27. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

Additional comments may be generated at subsequent reviews.

Please review this information and contact our office with any questions. Thank you.

END OF MEMORANDUM

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: October 13, 2020 **Meeting Date:** October 22, 2020

Subject: 12301 W Colonial Dr.
7-Eleven - Site Plan Approval
PARCEL ID# 24-22-27-0000-00-016

Issue: The applicant is requesting Site Plan approval for the development of Lot 3 in the Peoples Plaza Planned Commercial Development with a gas station and car wash and associated site improvements on a property located at 12301 W Colonial Dr.

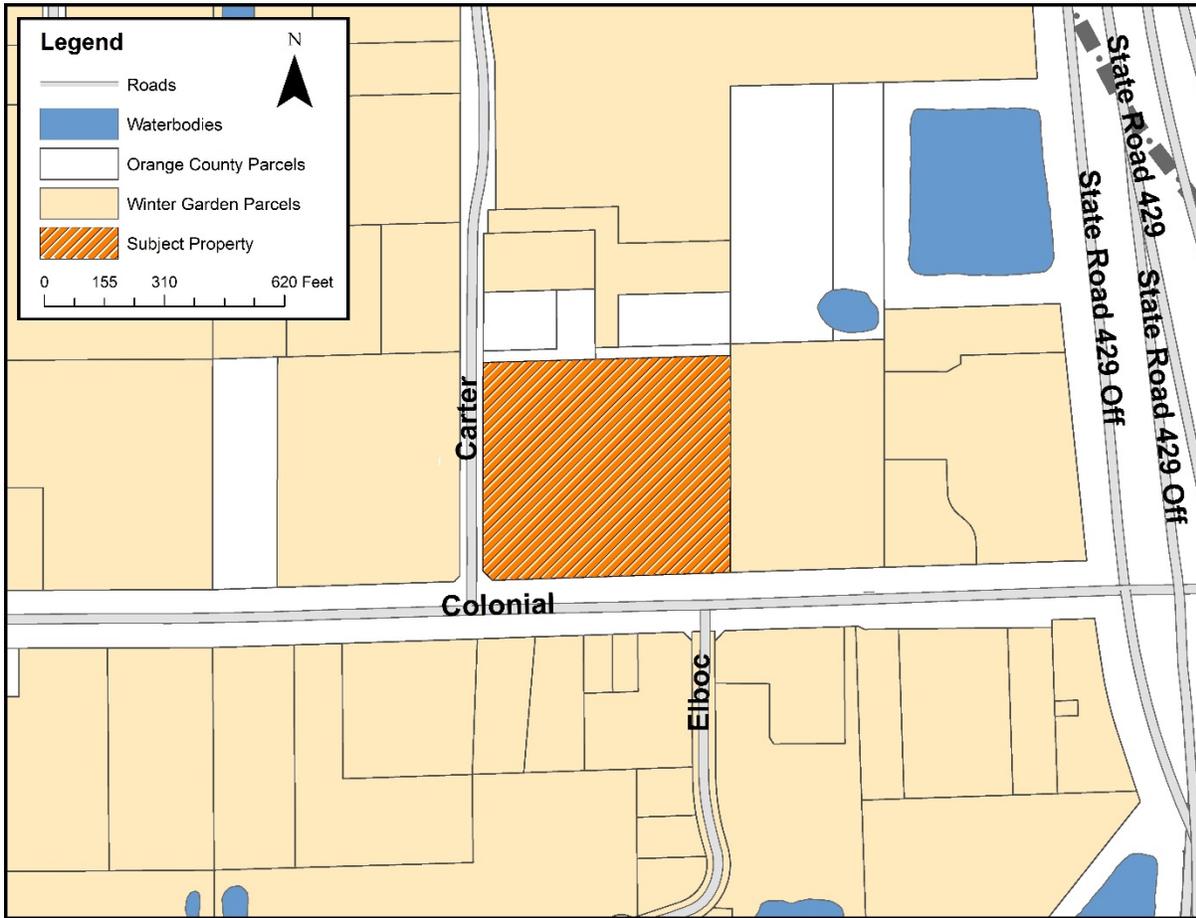
Discussion:
The subject property is a 1.27 +/- acre portion (lot 1) of the larger 8.25 +/- acre parcel that is zoned PCD (Planned Commercial Development, Ord 20-04) and known as the Peoples Plaza Planned Commercial Development. The applicant intends to develop the site with a gas station (7-Eleven), including a 3,454 +/- square foot convenience store building, gas canopy, and 8 fueling stations (16 fueling positions). The applicant also intends to develop a 980 square foot car wash building as well as associated site elements such as parking areas, sidewalks, site furnishings, and landscaping.

Recommended Action:
Staff recommends approval of the proposed Site Plan subject to the conditions of the DRC staff report dated October 13, 2020, with the condition that the property be phased in accordance with the proposed Phasing Plan. Development of the property with a gas station and car wash is consistent with the City's Comprehensive Plan & with the property's PCD zoning requirements.

Attachment(s)/References:
Location Map
DRC Staff Report
Site Plan Set
Building Elevations
Peoples Plaza – Phasing Plan

Location Map

Peoples Plaza
12301 W Colonial Drive



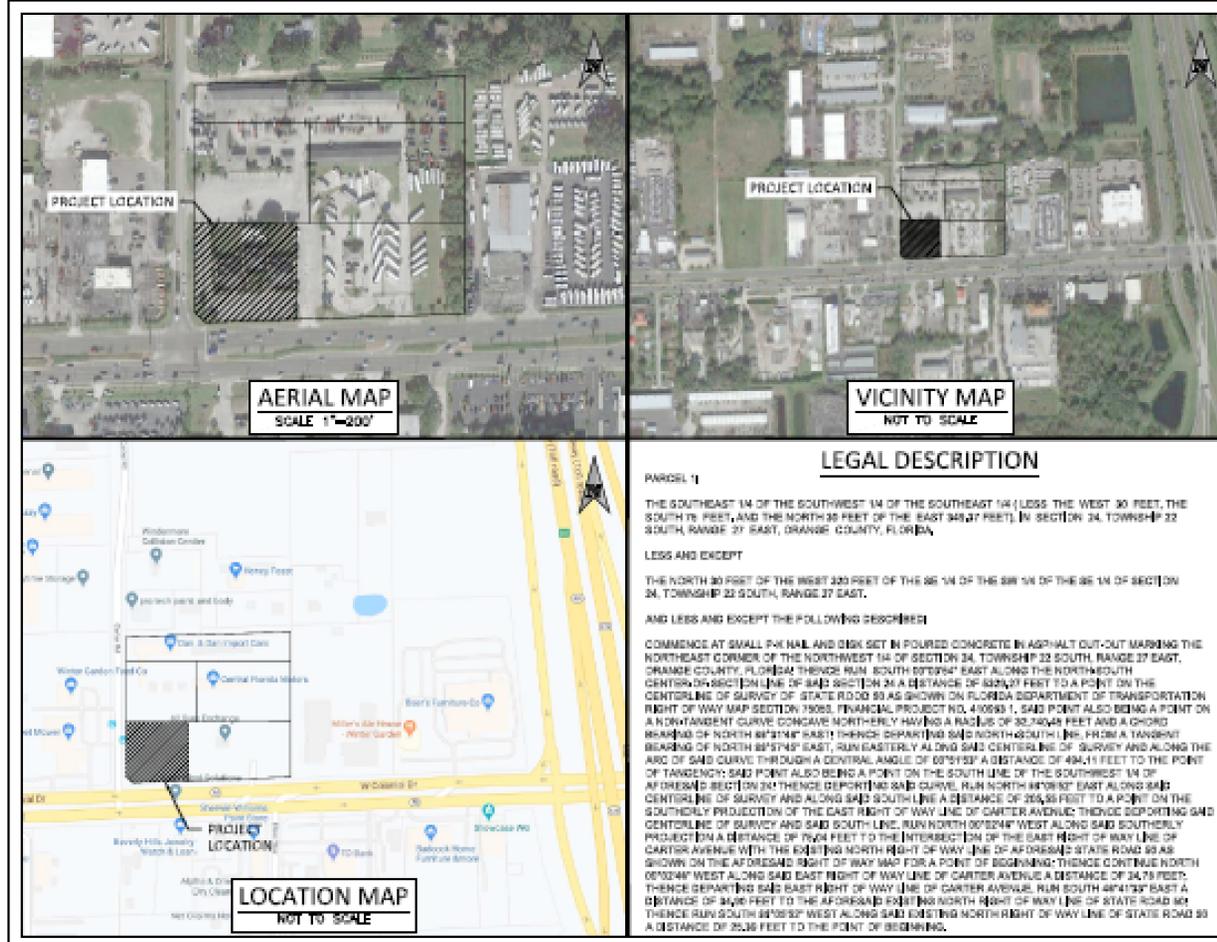
PROJECT DIRECTORY

DEVELOPER:	PEOPLES PLAZA, LLC 1126 S. DIVISION AVENUE ORLANDO, FL 32805 PHONE: (407) 766-6447
CIVIL ENGINEER:	COMMON DAK ENGINEERING, LLC 1209 EDDENWATER DRIVE, SUITE 100 ORLANDO, FL 32804 PHONE: (407) 565-6374 PHONE: (407) 561-5915
GEOTECH ENGINEER:	UNIVERSAL ENGINEERING SCIENCES 3552 MADGE BOULEVARD ORLANDO, FLORIDA 32811 PHONE: (407) 433-9594
SURVEYOR:	ALLEN & COMPANY PROFESSIONAL SURVEYORS & MAPPERS 16 EAST PLANT STREET WINTER GARDEN, FL 34787 PHONE: (407)694-0365
ARCHITECT:	CHARLES H. PARSONS ARCHITECT, P.A. 1126 S. DIVISION AVENUE ORLANDO, FL 32805 PHONE: (407)739-0497

CONSTRUCTION DRAWINGS 7-ELEVEN AT 12381 WEST COLONIAL DRIVE WINTER GARDEN, FL 35787 PARCEL #: 24-22-27-0000-00-016

PLAN SHEET INDEX

C1.0	COVER SHEET
C2.0	GENERAL NOTES
C2.1	GENERAL NOTES
C3.0	DEM'D PLAN
C4.0	SITE PLAN
C5.0	GRADING PLAN
C6.0	UTILITY PLAN
C7.0	LANDSCAPE PLAN
C7.1	IRRIGATION PLAN
C7.2	TREE DEM'D PLAN
C8.0	PHOTOMETRIC PLAN
C8.1	PHOTOMETRIC DETAILS
C9.0	EROSION CONTROL PLAN
C9.1	EROSION CONTROL DETAILS
D1.0	DETAILS (SITE)
D1.1	DETAILS (SITE)
D2.0	DETAILS (GRADING)
D3.0	DETAILS (UTILITY - WATER)
D3.1	DETAILS (UTILITY - SEWERS)
D3.2	DETAILS (UTILITY - NOTES)
SURVEY (2 SHEETS)	



UTILITY PROVIDERS

WATER:	CITY OF WINTER GARDEN 300 W PLANT STREET WINTER GARDEN, FL 34787 PHONE: (407)696-4100
ELECTRIC:	DUKE ENERGY 480 E CROWN POINT ROAD WINTER GARDEN, FL 34787 PHONE: (407)694-1210
SEWER:	CITY OF WINTER GARDEN 300 W PLANT STREET WINTER GARDEN, FL 34787 PHONE: (407)696-4111
COMMUNICATIONS:	AT&T - SOUTHEAST 450 N. GOLDENROD ROAD ORLANDO, FL 32807 PHONE: (407)340-0804
GAS:	LAKE APOLKA NATURAL GAS 1300 WINTER GARDEN VINELAND ROAD WINTER GARDEN, FL 34778 PHONE: (407)696-2734

GENERAL REVISION LOG

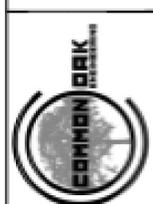
NO.	DATE	REVISION/ISSUE	SHEETS REVISED	BY:
1	04/14/2020	CITY OF WINTER GARDEN DRC	C1&2&3&4&5&6&7&8&9&10&11&12	JRB
2	07/08/2020	CITY OF WINTER GARDEN DRC SECOND COMMENTS	C1&2&3&4&5&6&7&8&9&10&11	JRB
3	08/26/2020	CITY OF WINTER GARDEN DRC THIRD COMMENTS	C1&2&3	JRB

LEGEND:

	NO. OF PARKING SPACES
	DETAIL NO. / SHEET
	HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED CONCRETE SURFACE
	WATER LINE
	ELECTRIC LINE
	WASTEWATER LINE
	BURIED FORCE MAIN
	TELEPHONE LINE
	FIRE HYDRANT
	VALVE
	WATER METER
	BACKFLOW PREVENTER WITH CONCRETE PAD
	SPOT ELEVATION (TO TOP OF PAVEMENT UNLESS SPECIFIED OTHERWISE)
	FLOW ARROW
	REVISION NUMBER
	FIRE DEPARTMENT CONNECTION



PEOPLES PLAZA
12381 WEST COLONIAL DRIVE
WINTER GARDEN, FL 35787



COMMON DAK ENGINEERING
1209 EDDENWATER DRIVE, SUITE 100
ORLANDO, FL 32804
PHONE: (407) 565-6374

7-ELEVEN AT
PEOPLES PLAZA
12381 WEST COLONIAL DRIVE
WINTER GARDEN, FL 35787

NO.	DATE	REVISION/ISSUE	SHEETS REVISED	BY:
1	04/14/2020	CITY OF WINTER GARDEN DRC	C1&2&3&4&5&6&7&8&9&10&11&12	JRB
2	07/08/2020	CITY OF WINTER GARDEN DRC SECOND COMMENTS	C1&2&3&4&5&6&7&8&9&10&11	JRB
3	08/26/2020	CITY OF WINTER GARDEN DRC THIRD COMMENTS	C1&2&3	JRB

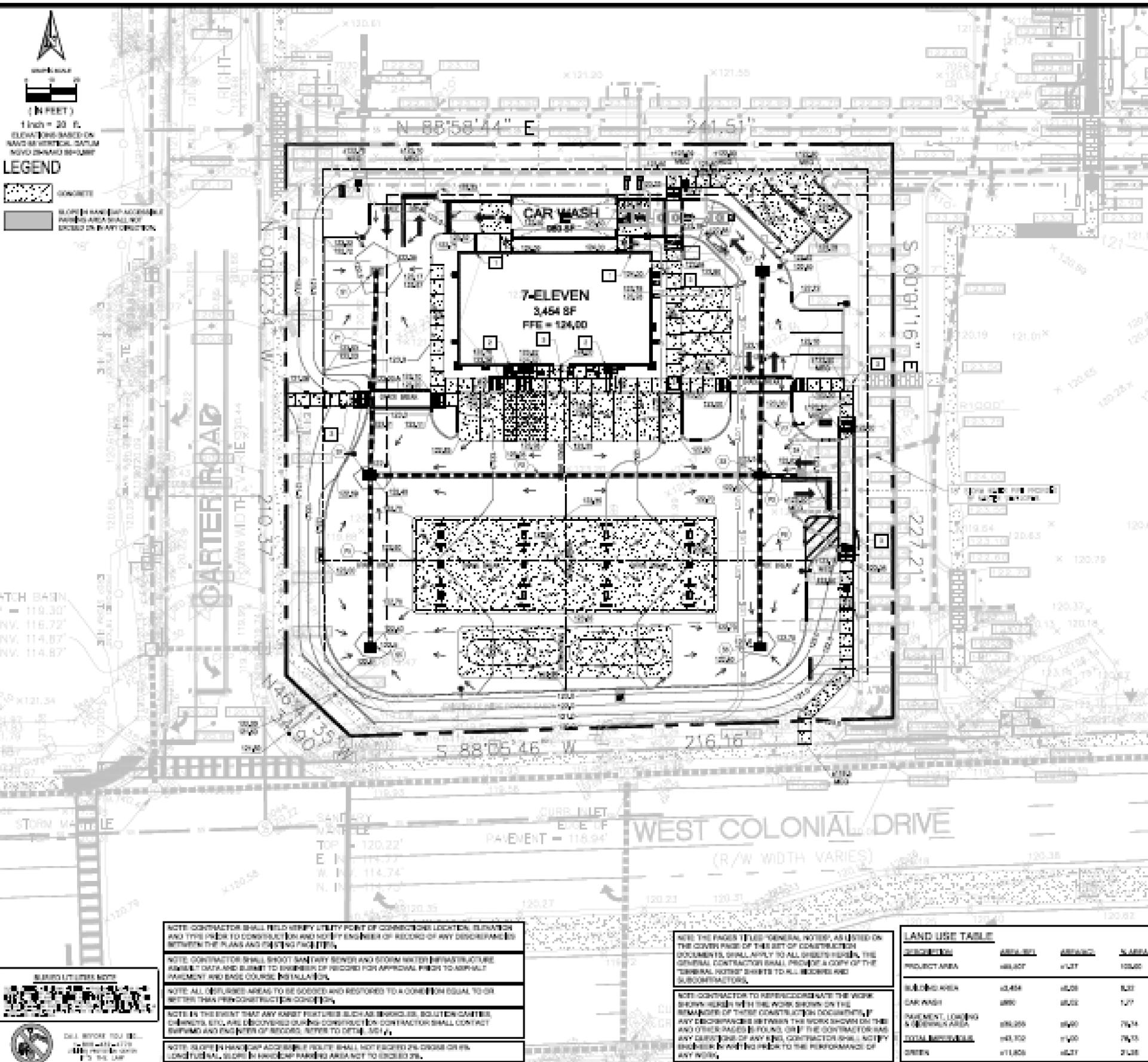
DENNEY'S INC & P&G

PROJECT # 218058

DATE 08/10/2020

SCALE N.T.S.

COVER SHEET



North Arrow
 1 inch = 20 ft.
 ELEVATIONS BASED ON NAVD 83 VERTICAL DATUM
 NAVD 83 HORIZ. DATUM
 LEGEND
 CONCRETE
 SLOPE IN HANDICAP ACCESSIBLE PARKING AREA SHALL NOT EXCEED 2% IN ANY DIRECTION.

ATCH B49N
 E = 119.30'
 N = 116.72'
 N = 114.87'
 N = 114.87'

NOTE: CONTRACTOR SHALL FIELD VERIFY UTILITY POINT OF CONNECTION LOCATION, ELEVATION AND TYPE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS.

NOTE: CONTRACTOR SHALL SHOOT SANITARY SEWER AND STORM WATER INFRASTRUCTURE EXISTENT DATA AND SUBMIT TO ENGINEER OF RECORD FOR APPROVAL PRIOR TO ASPHALT PAVEMENT AND BASE COURSE INSTALLATION.

NOTE: ALL DISTURBED AREAS TO BE SOILED AND RESTORED TO A CONDITION EQUAL TO OR BETTER THAN PRECONSTRUCTION CONDITIONS.

NOTE: IN THE EVENT THAT ANY EXISTING UTILITIES SUCH AS SEWER LINES, SOLID WASTE CONDUITS, ETC. ARE DISCOVERED DURING CONSTRUCTION, CONTRACTOR SHALL CONTACT SURVEYOR AND ENGINEER OF RECORD, REFER TO DETAIL 501.4.

NOTE: SLOPE IN HANDICAP ACCESSIBLE ROUTE SHALL NOT EXCEED 2% GRADE OR 5% SLOPE IN HANDICAP PARKING AREA NOT TO EXCEED 2%.

SEE THE FRONT COVER GENERAL NOTES, AS LISTED ON THE COVER PAGE OF THIS SET OF CONSTRUCTION DOCUMENTS, SHALL APPLY TO ALL SHEETS HEREIN. THE GENERAL CONTRACTOR SHALL PROVIDE A COPY OF THE "GENERAL NOTES" SHEETS TO ALL RECORDS AND SUBCONTRACTORS.

NOTE: CONTRACTOR TO RETROFIT/REPLACE THE WORK SHOWN HEREIN WITH THE WORK SHOWN ON THE REMAINDER OF THESE CONSTRUCTION DOCUMENTS. IF ANY DISCREPANCIES BETWEEN THE WORK SHOWN ON THIS AND OTHER PAGES IS FOUND, OR IF THE CONTRACTOR HAS ANY QUESTIONS OF ANY TYPE, CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD PRIOR TO THE PERFORMANCE OF ANY WORK.

LAND USE TABLE

DESCRIPTION	AREA (SQ)	AVG. HGT.	S. AREA
PROJECT AREA	48,207	4.27	205,200
SUBTOTAL AREA	43,454	4.28	1,837
CAR WASH	480	4.22	1,277
PAVEMENT, LOADING & GENERAL AREA	48,200	4.40	74,74
TOTAL IMPROVEMENTS	49,160	4.40	76,73
GREEN	47,180	4.27	2,120

GRADING PLAN NOTES

(A) STRUCTURE NO. 1
 TYPE "1" BUILT (FOOT) (NO. 45482)
 TOP = 112.00
 8" BENT (PROPOSED) OF 18" POLYPROPYLENE (18" DIA) DETAIL 14000

(B) 8' TO 32'
 AREA UP OF 18" POLYPROPYLENE (18" DIA) AT SUN SLOPE DETAIL 14000

(C) STRUCTURE NO. 2
 TYPE "1" BUILT (FOOT) (NO. 45482)
 TOP = 112.00
 8" BENT (PROPOSED) OF 18" POLYPROPYLENE (18" DIA) DETAIL 14000

(D) 8' TO 32'
 AREA UP OF 18" POLYPROPYLENE (18" DIA) AT SUN SLOPE DETAIL 14000

(E) STRUCTURE NO. 3
 TYPE "1" BUILT (FOOT) (NO. 45482)
 TOP = 112.00
 8" BENT (PROPOSED) OF 18" POLYPROPYLENE (18" DIA) DETAIL 14000

(F) 8' TO 32'
 AREA UP OF 18" POLYPROPYLENE (18" DIA) AT SUN SLOPE DETAIL 14000

(G) STRUCTURE NO. 4
 TYPE "1" STRUCTURE WITH 80% TRAFFIC BEARING TOP FOOT (NO. 45482)
 TOP = 112.00
 8" BENT (PROPOSED) OF 18" POLYPROPYLENE (18" DIA) DETAIL 14000

(H) NOT USED

(I) STRUCTURE NO. 5
 TYPE "1" BUILT (FOOT) (NO. 45482)
 TOP = 112.00
 8" BENT (PROPOSED) OF 18" POLYPROPYLENE (18" DIA) DETAIL 14000

(J) 8' TO 32'
 AREA UP OF 18" POLYPROPYLENE (18" DIA) AT SUN SLOPE DETAIL 14000

(K) STRUCTURE NO. 6
 TYPE "1" BUILT (FOOT) (NO. 45482)
 TOP = 112.00
 8" BENT (PROPOSED) OF 18" POLYPROPYLENE (18" DIA) DETAIL 14000

(L) 8' TO 32'
 AREA UP OF 18" POLYPROPYLENE (18" DIA) AT SUN SLOPE DETAIL 14000

(M) STRUCTURE NO. 7
 TYPE "1" BUILT (FOOT) (NO. 45482)
 TOP = 112.00
 8" BENT (PROPOSED) OF 18" POLYPROPYLENE (18" DIA) DETAIL 14000

(N) 8' TO 32'
 AREA UP OF 18" POLYPROPYLENE (18" DIA) AT SUN SLOPE DETAIL 14000

1 ROOF DRAIN DETAIL 14000 TO FLUME DETAIL 14000

2 CORNER DETAIL 14000

3 2% SLOPE (SLOPE NOT TO EXCEED 2% IN ANY DIRECTION)

NOTE: ALL CONSTRUCTION SHALL CONFORM TO CITY OF WINTER GARDEN STANDARDS, SPECIFICATIONS AND ORDINANCES.

NOTE: ALL CONSTRUCTION SHALL BE PERFORMED BY THE LICENSED PROFESSIONAL ENGINEER.

NOTE: ALL RECORD DRAWINGS SHALL COMPLY WITH CITY OF WINTER GARDEN REQUIREMENTS AVAILABLE ONLINE.

NOTE: ALL STORM (S) AND SANITARY (S) PIPES SHALL BE INSPECTED BY CITY PRIOR TO COMPLETION.

NOTE: THE CITY OF WINTER GARDEN WILL INSPECT PRIVATE SITE IMPROVEMENTS ONLY TO THE EXTENT THAT THEY CONNECT TO CITY OWNED UTILITY SYSTEMS (ROADWAYS, DRAINAGE, UTILITY, ETC.). IT IS THE RESPONSIBILITY OF THE OWNER AND DESIGN ENGINEER TO ENSURE THAT PRIVATELY OWNED AND MAINTAINED SYSTEMS ARE CONNECTED TO THE PRIVATE UTILITY SYSTEMS. THE CITY IS NOT RESPONSIBLE FOR THE DESIGN AND MAINTENANCE OF PRIVATELY OWNED SYSTEMS TO BE INSPECTED, BUT NOT TO BE INSPECTED BY THE CITY. PRIVATE UTILITY SYSTEMS, STORMWATER PIPES OR DRAINAGE SYSTEMS.

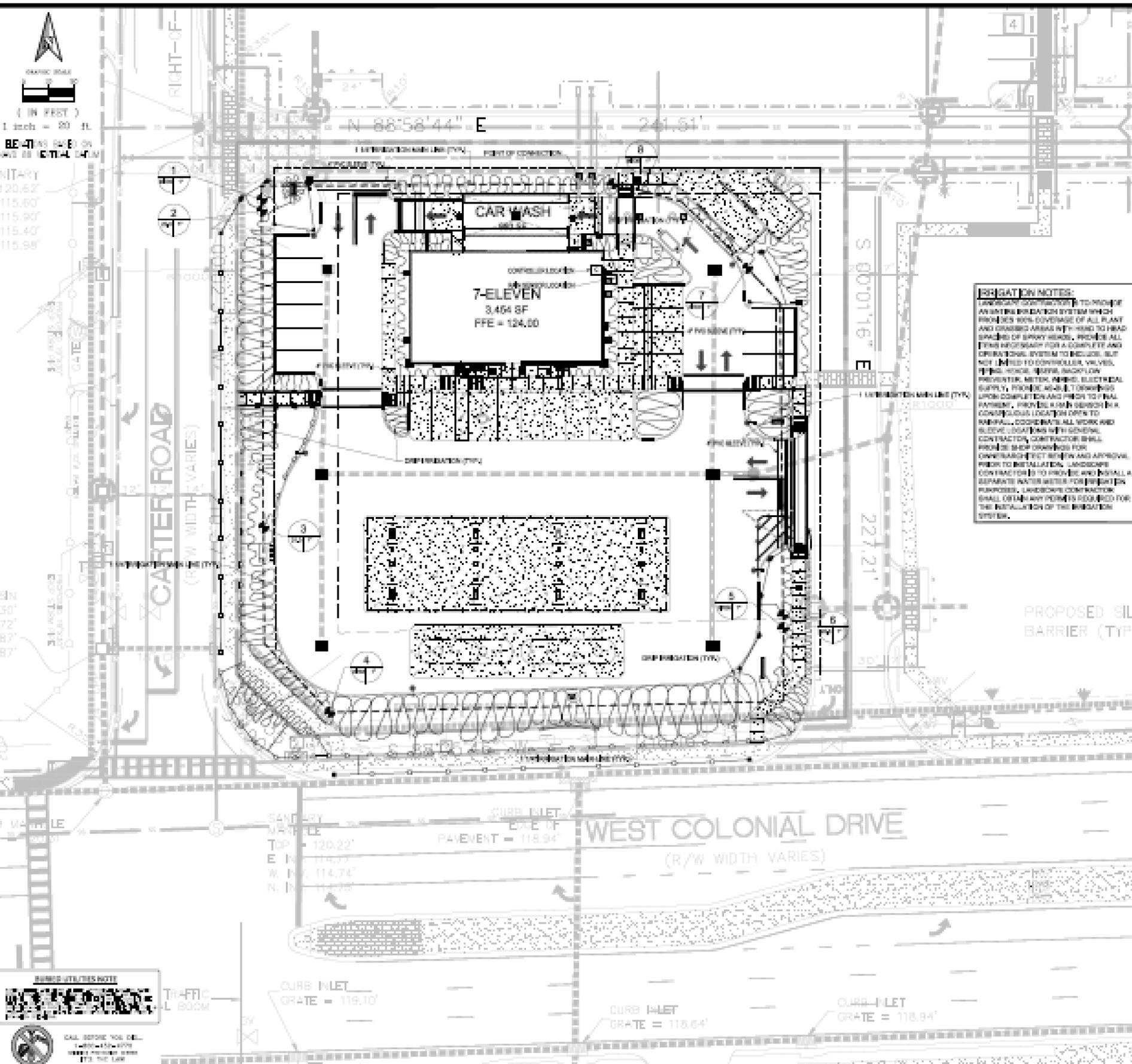
NOTE: NO FULL OR PARTIAL WILL BE ALLOWED TO DISCHARGE INTO ANY UTILITY SYSTEMS (SEWER, STORM DRAINAGE) WITHOUT THE CITY'S APPROVAL. THE APPLICANT SHOULD NOTE THAT APPROVAL IS GRANTED BY THE CITY OF WINTER GARDEN IS NOT GRANTING RIGHTS OR EASEMENTS FOR DRAINAGE FROM OR OVER, PROPERTY OWNED BY OTHERS, OR ANY PERSONS, BASEMENTS OR OTHER APPROVALS THAT MAY BE REQUIRED TO DRAIN INTO PRIVATE PROPERTY. SHOULD THE FLOW OF STORMWATER DRAINAGE FROM OR OVER ANY POINT PROPOSED BE UNDESIRABLE OR CAUSE PROBLEMS, THE CITY WILL NOT BE RESPONSIBLE AND ANY CORRECTIVE MEASURES REQUIRED WILL BE THE RESPONSIBILITY OF THE OWNER. THE CONTRACTOR SHALL BE SUBJECT TO THE CITY OF WINTER GARDEN PROGRAM AND STANDARDS, REQUIREMENTS AS CONTAINED IN CHAPTER 100 - STORMWATER. IF APPROVAL IS GRANTED BY THE CITY OF WINTER GARDEN, IT DOES NOT WAIVE ANY PRIVATE THAT MAY BE REQUIRED BY FEDERAL, STATE, FEDERAL COUNTY, MUNICIPAL OR OTHER AGENCIES THAT MAY HAVE JURISDICTION.

PEOPLES PLAZA
 12381 WEST COLONIAL DRIVE
 WINTER GARDEN, FL 32787

DESIGNED BY
 PEOPLES PLAZA
 12381 WEST COLONIAL DRIVE
 WINTER GARDEN, FL 32787

DATE: 11/15/2024
 TIME: 1:20 PM
 SCALE: C5.0

GRADING PLAN



GRAPHIC SCALE
(IN FEET)
1 inch = 80 ft.

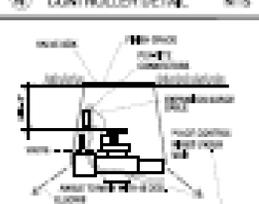
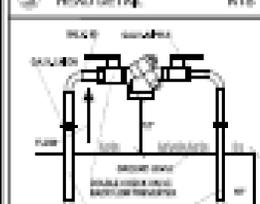
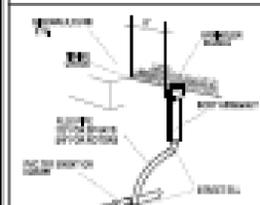
BEARING BASED ON
NAD 83 INITIAL DATUM

CONTINUED
120.62'
115.60'
115.90'
115.40'
115.98'

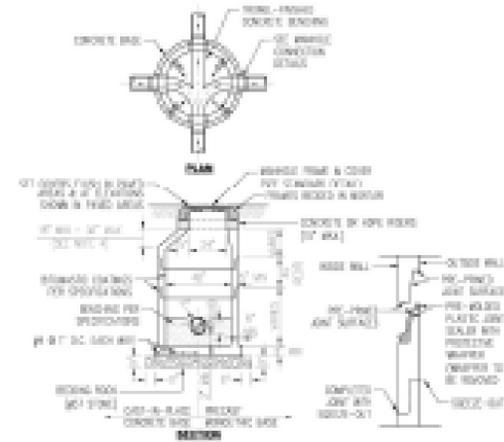
IRRIGATION LEGEND

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| ● | 100 1/2" POP-UP SPRAY HEAD | SPW100 1/2 |

IRRIGATION NOTES:
LANDSCAPE CONTRACTOR TO PROVIDE AN IRRIGATION SYSTEM WHICH PROVIDES 100% COVERAGE OF ALL PLANT AND CRUISED AREAS WITH HEAD SPACING OF SPRAY HEADS. PROVIDE ALL ITEMS NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM TO INCLUDE, BUT NOT LIMITED TO CONTROLLER, VALVES, PIPING, HOSES, TUBING, BACKFLOW PREVENTER, METER, AIRBID, ELECTRICIAL SUPPLY, PROTECTIVE AND EIT DRINKAGE DISH UPON COMPLETION AND PRIOR TO FINAL PAYMENT. PRIOR TO INSTALLATION IN A CONTROLLED LOCATION COORDINATE WITH GENERAL CONTRACTOR. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR COORDINATION, TEST REPORT AND APPROVAL PRIOR TO INSTALLATION. LANDSCAPE CONTRACTOR FOR 10 TO PROVIDE AND INSTALL A SEPARATE WATER METER FOR EACH ZONE PURPOSES. LANDSCAPE CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED FOR THE INSTALLATION OF THE IRRIGATION SYSTEM.



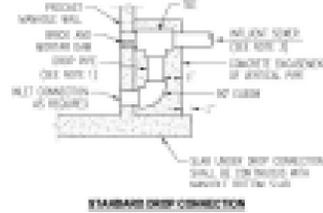
NOTE: THE PAGES (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100) (101) (102) (103) (104) (105) (106) (107) (108) (109) (110) (111) (112) (113) (114) (115) (116) (117) (118) (119) (120) (121) (122) (123) (124) (125) (126) (127) (128) (129) (130) (131) (132) (133) (134) (135) (136) (137) (138) (139) (140) (141) (142) (143) (144) (145) (146) (147) (148) (149) (150) (151) (152) (153) (154) (155) (156) (157) (158) (159) (160) (161) (162) (163) (164) (165) (166) (167) (168) (169) (170) (171) (172) (173) (174) (175) (176) (177) (178) (179) (180) (181) (182) 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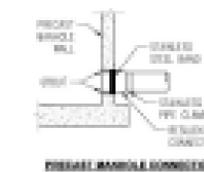
NOTES:

1. DROP CONNECTIONS ARE REQUIRED UNLESS INDICATED OTHERWISE. COVER IS 24" OR MORE ABOVE THE SURFACE OF THE MANHOLE. SEE MANHOLE CONNECTION DETAIL. ALL COVERS TO BE SLOPED TO THE MANHOLE.
2. 1-1 APPLY OUTSIDE ALL JOINTS.
3. GROUT WITH NON-SHRINKING GROUT FILL AND JOINTS.
4. SEE DETAIL 1-1 FOR 1-1.
5. ALL PRECAST CONCRETE SHALL BE COATED INSIDE AND OUTSIDE WITH COR-TEC STONE BRUSHER TO 10 MILS.

1 PRECAST CONCRETE SANITARY MANHOLE
R13



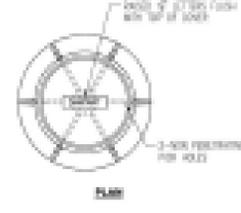
STANDARD DROP CONNECTION



PRECAST MANHOLE CONNECTION

- NOTES:**
1. TOP PIPE AND FITTING SHALL BE 1/2" BELOW TOP AND BOTTOM OF THE BRANCH PIPE.
 2. ALL GROUT AND CONNECTION SHALL BE REINFORCED WITH #4 REBAR. REBAR SHALL BE 1" TO 2" AWAY FROM ALL SURFACES.

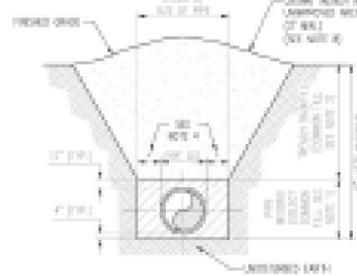
2 MANHOLE CONNECTION DETAIL
R13



NOTES:

1. MANHOLE FRAME AND COVER SHALL BE 1/2" BELOW TOP AND BOTTOM OF THE BRANCH PIPE.
2. ALL GROUT AND CONNECTION SHALL BE REINFORCED WITH #4 REBAR. REBAR SHALL BE 1" TO 2" AWAY FROM ALL SURFACES.

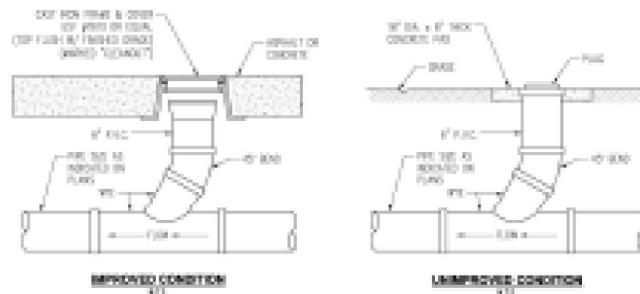
3 MANHOLE FRAME AND COVER
R13



NOTES:

1. PIPE BEDDING SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OF THE MATERIAL TO BE USED FOR THE BEDDING. THE BEDDING SHALL BE 12" TO 18" ABOVE THE PIPE AND 12" TO 18" BELOW THE PIPE.
2. BEDDING SHALL BE 12" TO 18" ABOVE THE PIPE AND 12" TO 18" BELOW THE PIPE.
3. PIPE BEDDING UNLESS INDICATED OTHERWISE SHALL BE 12" TO 18" ABOVE THE PIPE AND 12" TO 18" BELOW THE PIPE.
4. 75% OF BEDDING SHALL BE 12" TO 18" ABOVE THE PIPE AND 12" TO 18" BELOW THE PIPE.
5. BEDDING SHALL NOT BE PERMITTED IN THE BRANCH PIPE CONNECTIONS.
6. ALL PIPE TO BE INSTALLED WITH SLOPE FROM UPSTREAM TO THE DIRECTION OF THE FLOW.
7. SLOPE TO BE MAINTAINED TO 1% OF THE CITY OF WINTER GARDEN MANUAL OF STANDARD SPECIFICATIONS FOR UTILITIES AND PUBLIC WORKS CONSTRUCTION.
8. FINAL BEDDING IS APPROVED HEREIN SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SERVICE CONNECTIONS SHALL BE 12" TO 18" ABOVE THE PIPE AND 12" TO 18" BELOW THE PIPE. ALL CONNECTIONS SHALL BE REINFORCED WITH #4 REBAR. REBAR SHALL BE 1" TO 2" AWAY FROM ALL SURFACES.

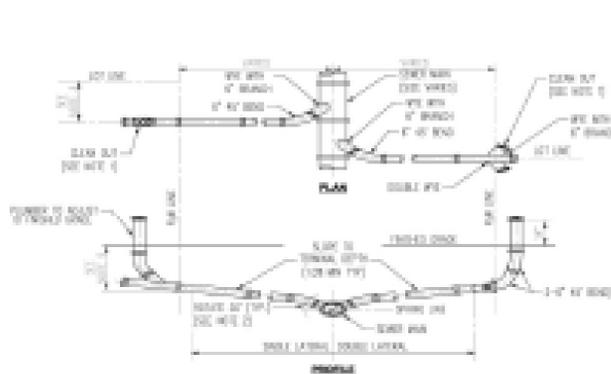
4 STANDARD BEDDING DETAIL
R13



IMPROVED CONDITION

UNIMPROVED CONDITION

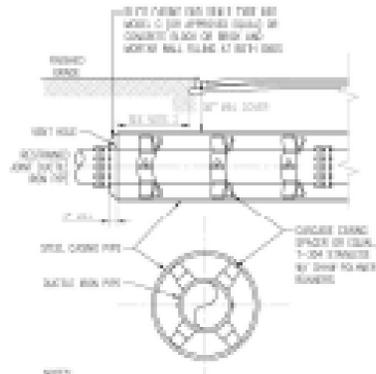
5 SANITARY SEWER CLEAN OUT DETAIL
R13



NOTES:

1. SERVICE LATERALS ARE REQUIRED TO BE INSTALLED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.
2. PART OF SERVICE LATERAL SHALL NOT CROSS UNDER ANY EXISTING PIPE.
3. ALL SERVICE LATERALS SHALL BE 12" TO 18" ABOVE THE PIPE.
4. SERVICE LATERALS SHALL BE 12" TO 18" ABOVE THE PIPE.
5. 1-1 TO BE MAINTAINED TO 1% AND SLOPED TO THE MANHOLE.

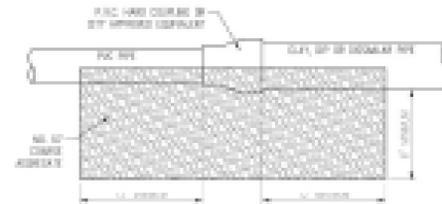
7 SANITARY SEWER SERVICE LATERAL DETAIL
R13



NOTES:

1. SERVICE LATERALS ARE REQUIRED TO BE INSTALLED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.
2. PART OF SERVICE LATERAL SHALL NOT CROSS UNDER ANY EXISTING PIPE.
3. ALL SERVICE LATERALS SHALL BE 12" TO 18" ABOVE THE PIPE.
4. SERVICE LATERALS SHALL BE 12" TO 18" ABOVE THE PIPE.
5. 1-1 TO BE MAINTAINED TO 1% AND SLOPED TO THE MANHOLE.

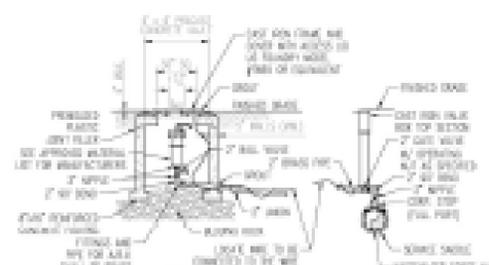
8 SEWER MAIN STEEL CASING DETAIL
R13



NOTES:

1. THIS DETAIL SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.
2. ALL CONNECTIONS SHALL BE REINFORCED WITH #4 REBAR. REBAR SHALL BE 1" TO 2" AWAY FROM ALL SURFACES.

9 SEWER MAIN CONNECTION DETAIL
R13



NOTES:

1. THE MANHOLE OPENING FROM TOP OF PIPE TO FENCED GRADE SHALL BE 48" MIN.
2. DOUBLE STRAP GASKETS AND GROUT WITH TWO LAYERS OF 1/2" SAND OR POLY SAND WITH STABILIZED SOIL STRAP.
3. PIPE INSTALLATION SHALL BE SUCH THAT THE JAW IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SURFACE.
4. INTERIOR AND EXTERIOR SURFACE SURFACES SHALL RECEIVE PROTECTIVE FINISHING AS SPECIFIED FOR THIS DETAIL.
5. GROUT AND FRAME, COVER AND ACCESS LID SHALL BE INSTALLED TOUGH WITH FINISHED GRADE.
6. COVER SHALL HAVE "WINTER GARDEN UTILITY SYSTEMS" "SERVO" TOLLERATED MARK OR FINISHED MARK.
7. NO UNFINISHED MATERIALS.
8. COVER AND IN THE ANY HULL SHALL BE SLOPED TO THE SIDE BEARING WITH THE SIDE AND COVER SHALL BE PLACED IN ANY HULL. THE POINT OF CONNECTION OF THE SIDE SHALL HAVE A SLOPE FROM COVER TO SIDE.

10 OFFSET AIR RELEASE VALVE ASSEMBLY
R13

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS' RECOMMENDATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK SHOWN HEREIN IN ACCORDANCE WITH THE CITY OF WINTER GARDEN MANUAL OF STANDARD SPECIFICATIONS FOR UTILITIES AND PUBLIC WORKS CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK SHOWN HEREIN IN ACCORDANCE WITH THE CITY OF WINTER GARDEN MANUAL OF STANDARD SPECIFICATIONS FOR UTILITIES AND PUBLIC WORKS CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK SHOWN HEREIN IN ACCORDANCE WITH THE CITY OF WINTER GARDEN MANUAL OF STANDARD SPECIFICATIONS FOR UTILITIES AND PUBLIC WORKS CONSTRUCTION.

NOTE: THE FIGURES TYPED "GENERAL NOTES" AS LISTED ON THE COVER PAGE OF THIS SET OF CONSTRUCTION DOCUMENTS, SHALL APPLY TO ALL SHEETS HEREIN. THE GENERAL CONTRACTOR SHALL PROVIDE A COPY OF THE "GENERAL NOTES" SHEETS TO ALL SUBCONTRACTORS AND SUBCONTRACTORS. WITH CONSTRUCTION TO BE PROVIDED WITH THE WORK SHOWN HEREIN IN ACCORDANCE WITH THE CITY OF WINTER GARDEN MANUAL OF STANDARD SPECIFICATIONS FOR UTILITIES AND PUBLIC WORKS CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK SHOWN HEREIN IN ACCORDANCE WITH THE CITY OF WINTER GARDEN MANUAL OF STANDARD SPECIFICATIONS FOR UTILITIES AND PUBLIC WORKS CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK SHOWN HEREIN IN ACCORDANCE WITH THE CITY OF WINTER GARDEN MANUAL OF STANDARD SPECIFICATIONS FOR UTILITIES AND PUBLIC WORKS CONSTRUCTION.

CITY OF WINTER GARDEN, FLORIDA
STANDARDS AND SPECIFICATIONS
FOR UTILITIES CONSTRUCTION

WINTER GARDEN

STANDARD DETAILS
FOR
WASTEWATER SYSTEMS

DATE: JUNE 2018
SHEET: 3
OF 11

PEOPLE'S PLAZA
12381 WEST COLONIAL DRIVE
WINTER GARDEN, FL 32787

COMMON BIRK

PEOPLE'S PLAZA
12381 WEST COLONIAL DRIVE
WINTER GARDEN, FL 32787

UTILITY DETAILS

CITY OF WINTER GARDEN - GENERAL NOTES:

- ALL UTILITY SYSTEMS AND IMPROVEMENTS CONSTRUCTED IN THE CITY OF WINTER GARDEN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUAL OF STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION FOR THE CITY OF WINTER GARDEN, TO BE REFERRED TO AS MODIFIED, THE LATEST EDITION AT THE TIME PERMITS ARE APPROVED SHALL BE EFFECTIVE FOR THE DURATION OF THE SUBJECT WORK OR PROJECT DEVELOPMENT.
- THE CITY OF WINTER GARDEN GENERAL NOTES AND DETAILS ARE PROVIDED FOR THE CONVENIENCE OF FIELD PERSONNEL. THEY DO NOT INCLUDE ALL REQUIREMENTS OF THE MODIFIED, THE CONTRACTOR SHALL REFER TO THE FULL TEXT OF THE MODIFIED FOR FURTHER DETAIL AND CLARITY WHEN NEEDED.
- ANY REQUEST FOR VARIANCE OR NONCOMPLIANCE FROM THE MODIFIED NOTES ABOVE MUST BE APPROVED BY THE CITY ENGINEER OR UTILITIES DIRECTOR.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN CLOSE PROXIMITY TO WATER, WASTEWATER, RECLAIMED WATER AND OTHER UTILITY SYSTEMS. THE CONTRACTOR SHALL COORDINATE UTILITY LOCATIONS WITH RESPECTIVE UTILITY OWNERS AND/OR CALL "SAFARIING ONE CALL", 1-800-482-4776 A MINIMUM OF 72 HOURS IN ADVANCE.
- CONTRACTOR'S DAMAGE TO WINTER GARDEN UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY NOTIFY AND REPORT DAMAGE TO THE CITY OF WINTER GARDEN UTILITY DIVISION, (NO MESSAGE) PHONE # 407-558-4100.
- IMMEDIATE REPAIR OF DAMAGED UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGE TO THE CITY OF WINTER GARDEN UTILITY SYSTEM AS REQUIRED BY THE UTILITY OWNER AT CONTRACTOR'S COST IN CASE OF UNRESPONSIVE ACTION BY THE CONTRACTOR, THE CITY RESERVES THE RIGHT TO REPAIR DAMAGE. THE CONTRACTOR SHALL REIMBURSE THE CITY OF WINTER GARDEN OF ALL REPAIR COST.
- ADVANCE NOTIFICATION OF CONSTRUCTION: THE CONTRACTOR SHALL NOTIFY CITY OF WINTER GARDEN UTILITY DIVISION, PH# 407-558-4100, AT LEAST SEVEN (7) CALENDAR DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
- ADVANCE NOTIFICATION OF UTILITY CONSTRUCTION: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST SEVEN CALENDAR DAYS IN ADVANCE TO SCHEDULE CONNECTIONS TO UTILITY SYSTEM.
- UTILITY VALUE DETERMINATION: ONLY CITY OF WINTER GARDEN UTILITY PERSONNEL SHALL OPERATE VALVES AND FIRE HYDRANTS. THE CONTRACTOR, WHEN NEEDED, SHALL CALL THE CITY TO REQUEST VALUE OPERATIONS AT LEAST TWO (2) DAYS IN ADVANCE OF CONSTRUCTION WORK.
- OPERATIONS INVOLVING WATER OR WASTEWATER FACILITIES INCLUDING PUMPING STATIONS: THE CONTRACTOR SHALL COORDINATE AT LEAST TWO (2) WEEKS IN ADVANCE, ANY CONSTRUCTION OPERATION THAT MAY REQUIRE THE DISCONTINUATION OF SERVICE OR OPERATION OF A FACILITY. THE CITY WILL PROVIDE PERSONNEL TO OPERATE THE CITY FACILITIES.
- REQUIRED TESTING BY CONTRACTOR: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST TWO (2) DAYS PRIOR TO SAMPLING ACTIVITIES FOR PURPOSES OF TESTING AS REQUIRED BY THE CITY. THE CONTRACTOR SHALL NOT TEST OR SAMPLE WITHOUT OBSERVATION BY CITY INSPECTOR (REQUIRED).
- TEMPORARY OR CONSTRUCTION WATER SERVICE CONNECTIONS PROVIDED BY THE INSTANT CONNECTION: THE CITY WILL PROVIDE METER ON FIRE HYDRANT. THE CONTRACTOR SHALL PROVIDE NON-RECYCLABLE ACCOUNT INJECTION TAP, A REASONABLE SECURITY DEPOSIT FOR THE METER APPARATUS AND PAY ALL COSTS FOR METER USE.
- ALL AS BUILT MEASUREMENTS & ELEVATIONS ARE TO BE MADE BY A LICENSED LAND SURVEYOR.

CITY OF WINTER GARDEN - WATER SYSTEM NOTES:

- THE CONTRACTOR SHALL PROVIDE AND INSTALL A CITY APPROVED BACKFLOW SERVICE ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
- REFERS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE, TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO THE TOTAL NUMBER OF JOINT CONNECTIONS.
- THE CONTRACTOR SHALL HYDROSTATICALLY TEST ALL WATER MAINS AND SERVICE LATERALS AT 150 PSI FOR A TWO HOUR PERIOD. TESTING MUST BE OBSERVED BY A CITY INSPECTOR.
- THE CONTRACTOR SHALL INSTALL WARNING TAPE OVER ALL NEW WATER MAINS. WARNING TAPE SHALL BE AS FOLLOWS: NON-DETECTABLE, SIZE 2" WITH "WATER LINE BELOW" MUST BE PLACED 6" TO 12" BELOW FINISHED GRADE ON ALL PIPES WATER MAINS, LATERALS AND HEADERS. TEST NUMBER TO GRADE. BRASS WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH SPLIT TAPE, AT LEAST THE TIMES PER JOINT. THE BRASS WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATION CAN BE DETERMINED TO IT.
- THE CONTRACTOR SHALL INSTALL WATER MAINS PER MODIFIED SPECIFICATIONS. SOLVENT CEMENTED JOINTS AND THROAT BLOBS ON PIPING SYSTEMS SHALL NOT BE ALLOWED.
- THE CONTRACTOR SHALL INSTALL ALL WATER MAINS TO A MINIMUM DEPTH OF 36 INCHES AND A MINIMUM DEPTH OF 42 INCHES BELOW FINAL GRADE.
- THE CONTRACTOR SHALL INSTALL ALL SERVICE LATERALS A UNIFORM DISTANCE APART, LOCATED ON PROPERTY LOT LINE AT 80" FROM THE WATER MAIN SERVICE LATERALS SHALL BE SEPARATELY CONNECTED TO THE WATER MAIN, NOT SPICED TOGETHER.
- THE CONTRACTOR SHALL CUT A "N" INTO CONCRETE CURB, LOCATED INSIDE OF A PAINTED BLUE SQUARE, LOCATED DIRECTLY IN FRONT OF EACH SERVICE LATERAL.
- THE CONTRACTOR SHALL INSTALL CURB STOP, IN METER BOX, CURB STOP SHALL BE SET 6" BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL IN-LINE VALVES ON WATER MAINS AT 1,800 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED ON ALL TIES AND CROSSINGS. WATER MAINS SHALL BE PLACED UNDER SEWERLINES WHERE POSSIBLE.
- ALL WATERWAYS SHALL BE CLEARED BY PROPPING THE LINE WITH A FORM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PROPPING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PROPPING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
- THE CONTRACTOR SHALL DEMONSTRATE THAT LOCATION WERE INSTALLED OVER ALL WATER MAINS IS IN WORKING CONDITION AT THE TIME OF ACCEPTANCE BY THE CITY.
- ALL NEW SUBSYSTEM CONSTRUCTION SHALL INSTALL DOUBLE PORTABLE WATER SERVICES AT THE PROPERTY LINES.

NOTE: THE PAGES TITLED "GENERAL NOTES", AS LISTED ON THE COVER PAGE OF THIS SET OF CONSTRUCTION DOCUMENTS, SHALL APPLY TO ALL SHEETS HEREIN. THE GENERAL CONTRACTOR SHALL PROVIDE A COPY OF THE "GENERAL NOTES" SHEETS TO ALL BIDDERS AND SUBCONTRACTORS.

CITY OF WINTER GARDEN - WASTEWATER SYSTEM NOTES:

- SANITARY SEWER MAINS AND SERVICES SHALL BE PVC 304-26 (MINIMUM). FITTINGS SHALL BE 304-26. DUCTILE IRON IS NOT APPROVED FOR SANITARY SEWERS.
- ALL SERVICES SHALL BE 6" (MINIMUM) DIAMETER AND TERMINATE AT THE PROPERTY LINE WITH 6" CLEAN OUT, (30" TO 48" DEEP AT LOT LINE).
- MANHOLE TAPE MUST BE PLACED 2" ABOVE THE TOP OF PIPING FOR THE ENTIRE LENGTH OF ALL MAINS AND SERVICES.
- ALL SANITARY MANHOLES SHALL BE PAINTED INSIDE AND OUT WITH "BLENDED SUPER SERVICE BLACK", ON APPROVED OR APPROVED EQUAL, MAN-HOLE RECEIVING FLOW FROM FORCE MAINS SHALL BE LINED WITH FIBERGLASS OR HDPE AT THE PROGRESSOR FACILITY.
- ALL PIPE CONNECTIONS TO PRE-CAST MANHOLES SHALL BE MADE USING A FLEXIBLE CPDM RUBBER BOOT AND STAINLESS STEEL STRIP OR CAST IN BODY BY 4-LOCK, 2-LOCK OR EQUAL.
- CONNECTIONS MADE TO EXISTING MANHOLES SHALL BE COPE DORED WITH A MINIMUM 4" BORE AND CONNECTION SEALED WITH FLEXIBLE BOOT AND STAINLESS STEEL CLAMP.
- DEAD END MANHOLES SHALL HAVE A MINIMUM OF 3 FEET OF COVER FROM FINISHED GRADE TO OUTLET PIPE INVERT.
- ALL PRECAST SEWER MANHOLES SHALL HAVE A 4 FOOT MINIMUM HIGH BARREL. CONE SECTIONS SHALL BE 3 FOOT MINIMUM. CONCRETE BONNETS FOR EXTENDING ARE ACCEPTABLE TO PAVE MANHOLES UP TO 1 FOOT MAXIMUM.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL BALLBEARING PLUG VALVES IN FORCE MAINS AT 1000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED AT ALL TIES AND CROSSINGS.
- THE CONTRACTOR SHALL CUT A "V" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED GREEN SQUARE BOX IN FRONT OF EACH SERVICE LOCATION.
- THE CONTRACTOR SHALL PROVIDE TV INSPECTION OF ALL SANITARY SEWER MAINS AFTER SYSTEM IS COMPLETED. THOROUGHLY CLEARED, DRYING AND FULLY VISIBLE TV INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATIONS. FRUITY INSPECTION DUE TO POOR CONDITIONS WILL REQUIRE REINSPECTION BY CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE A (MINIMUM) TV INSPECTION AT THE TWO YEAR IN SERVICE MILESTONE FOR EACH SYSTEM.
- THE CONTRACTOR SHALL PROVIDE SANITARY SEWER TESTING, EXPERIMENTATION OF AIR, AS REQUIRED BY DESIGN ENGINEER AND SUBMIT DETAILED RESULTS TO THE CITY ENGINEER.
- SEWERY SERVICES DEPTHS SHALL NOT EXCEED 16 FEET.
- THE DESIGN ENGINEER SHALL PROVIDE A MINIMUM OF ONE FOOT OF FREEBOARD BETWEEN THE LOWEST FINISHED FLOOR ELEVATION AND THE TOP ELEVATION OF THE NET HULL.
- ALL PENETRATIONS INTO CONCRETE STRUCTURES SHALL BE PRE-CAST OR CORE-DRIILLED.
- WARRANTY - ALL MATERIALS & EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS FROM THE DATE OF FINAL ACCEPTANCE THEREOF AGAINST DEFECTIVE MATERIALS, DESIGN, AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE CITY OF FAILURE OF ANY PART OF THE MANHOLES EQUIPMENT OR MATERIALS DURING THE WARRANTY PERIOD, THE AFFECTED PARTS, PARTS, OR MATERIALS SHALL BE PROMPTLY REPLACED BY THE CONTRACTOR WITH NEW PARTS OR MATERIALS AT NO CHARGE TO THE CITY. IN THE EVENT THE CONTRACTOR FAILS TO MAKE THE NECESSARY REPAIRMENT OR REPAIRS IMMEDIATELY AFTER NOTIFICATION, THE CITY MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.

CITY OF WINTER GARDEN - RECLAIMED WATER SYSTEM NOTES:

- ALL PERMITTED RECLAIMED WATER SYSTEMS SHALL HAVE A CITY APPROVED BACKFLOW SERVICE ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
- REFERS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE, TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO THE TOTAL NUMBER OF JOINT CONNECTIONS.
- ALL MAINS AND SERVICE LATERALS SHALL BE HYDROSTATICALLY TESTED AT 150 PSI FOR A TWO HOUR PERIOD.
- WARNING TAPE, NON-DETECTABLE, SIZE 2" WITH "REUSE WATER LINE BELOW" MUST BE PLACED 6" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADERS. TEST NUMBER TO GRADE. BRASS WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH SPLIT TAPE, AT LEAST THE TIMES PER JOINT. THE BRASS WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATION CAN BE DETERMINED TO IT. THE CONTRACTOR SHALL DEMONSTRATE THE LOCATE WIRE TO BE IN WORKING CONDITION AT PROJECT COMPLETION.
- THE CONTRACTOR SHALL INSTALL RECLAIMED WATER MAINS PER MODIFIED SOLVENT CEMENTED JOINTS AND THROAT BLOBS SHALL NOT BE ALLOWED.
- REUSE WATER MAIN SHALL BE BURIED TO A MINIMUM DEPTH OF 36" AND A MAXIMUM DEPTH 42" BELOW FINAL GRADE.
- SERVICE LATERALS MUST BE LOCATED A UNIFORM DISTANCE APART AND PLACED TO PROPERTY LOT LINE AT 80" FROM THE RECLAIMED WATER MAIN.
- CUSTOMER SERVICE LATERALS SHALL NOT BE SPICED TOGETHER BETWEEN THE WATER MAIN AND CURB STOP.
- THE CONTRACTOR SHALL CUT CURB A "N" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED GREEN SQUARE (PARALLEL), DIRECTLY IN FRONT OF EACH SERVICE LATERAL AND VALVE.
- THE CONTRACTOR SHALL SET 30" OF CURB STOP, IN METER BOX, OF BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL INSTALL VALVES & BARS, NO MORE THAN 1,000 FEET APART IN BETWEEN TIES AND CROSSINGS. VALVES SHALL BE PROVIDED AT EACH TIE OR CROSS LOCATED IN MARK LINE.
- RECLAIMED WATER MAINS MAY BE LOCATED UNDER SEWERLINES. RECLAIMED MAINS LOCATED UNDER PAVEMENT SHOULD BE MINIMUMS.
- ALL WATERWAYS SHALL BE CLEARED BY PROPPING THE LINE WITH A FORM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PROPPING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PROPPING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
- RECLAIMED WATERMAIN MAINS SHALL BE 8 INCH DIAMETER MINIMUM. 4 INCH IS ALLOWED ON DEAD END PIPING SERVING LESS THAN 20 HOMES. THE DESIGN ENGINEER SHALL SUBMIT HYDRAULIC CALCULATIONS THAT DEMONSTRATE THE PROPOSED SYSTEM WILL PROVIDE REQUIRED FLOW AND MINIMUM SYSTEM MINIMUM PRESSURE. PEAK IRRIGATION RATE SHALL BE 200% TIMES GREATER THAN THE AVERAGE IRRIGATION RATE OF FLOW.
- RECLAIMED WATER SYSTEM COMPONENTS INCLUDING PIPING, VALVE BOX TOPS AND METER BOX TOPS SHALL BE RECLAIMED PURPLE IN COLOR.

NOTE: CONTRACTOR TO REFER/COORDINATE THE WORK SHOWN HEREIN WITH THE WORK SHOWN ON THE REMAINDER OF THESE CONSTRUCTION DOCUMENTS. IF ANY DISCREPANCIES BETWEEN THE WORK SHOWN ON THIS AND OTHER PAGES IS FOUND, OR IF THE CONTRACTOR HAS ANY QUESTIONS OF ANY KIND, CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING PRIOR TO THE PERFORMANCE OF ANY WORK.

CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION OF SEWER LINES

- GENERAL:**
- ALL NEW SANITARY SEWER LINES, PRIVATE OR CITY MAINTAINED, IN THE CITY OF WINTER GARDEN'S SERVICE AREA SHALL BE INSPECTED BY CLOSED CIRCUIT TV INSPECTION BY THE CONTRACTOR WITH A CITY INSPECTOR PRESENT PRIOR TO BEING ACCEPTED BY THE CITY.
- REQUIREMENTS PRIOR TO INSPECTION RELEASE:**
- ALL ELEMENTS OF THE SEWER SYSTEM MUST BE INSTALLED AND BE COMPLETELY FINISHED, INCLUDING MAIN SEWER LINES, LATERALS, CLEAN OUTS, AND MANHOLES PRIOR TO CCTV INSPECTION.
 - ALL SEWER LINES SHALL BE COMPLETELY CLEARED OF ALL DEBRIS, SAND, WATER, ETC. PRIOR TO THE CCTV INSPECTION. ANY OBJECT OR MATTER THAT PREVENTS CCTV INSPECTION FROM VIEWING CONDITION OF PIPELINE IS CONSIDERED AN OBSTRUCTION REQUIRING ADDITIONAL CLEANING. WHEN CCTV VIEW IS OBSTRUCTED, INSPECTION SHALL BE TERMINATED. THE CONTRACTOR SHALL CLEAN THE SEWER SYSTEM COMPLETELY AND RESCHEDULE CCTV RE-INSPECTION WITH THE CITY.
 - A HYDRAULIC SEWER CLEANSER SHALL NOT BE USED DURING THE CCTV INSPECTION IF LINES ARE FOUND TO BE OBSCURED BY WATER OR DEBRIS DURING THE CCTV INSPECTION. THE INSPECTION SHALL BE TERMINATED AND RESCHEDULED TO A DATE WHEN SEWER CLEANING IS COMPLETE.
 - WHEN A SEWER LINE IS UNDER A PAVED AREA, THE AREA SHALL BE COMPACTED AND PRIMED BEFORE THE SYSTEM SHALL BE RELEASED FOR TV INSPECTION.
- TELEVISION EQUIPMENT MINIMUM REQUIREMENTS:**
- THE CLOSED CIRCUIT TV CAMERA SHALL PROVIDE A CLEAR COLOR PICTURE ON THE MONITOR AND ON THE VIDEO RECORDING. THE CAMERA SHALL BE ABLE TO SHOW DETAIL TO THE POINT THAT ALL JOINTS AND ANY DEFECTS MAY BE READILY SEEN AT THE TIME OF THE INSPECTION. THE CAMERA SHALL STOP AND PAN AT EACH JOINT FOR COMPLETE 360 DEGREE INSPECTION.
 - ACCESS TO WORKING OF THE RECOMMENDED STANDARDS FOR OPERATION BY CLOSED CIRCUIT TELEVISION INSPECTION EQUIPMENT.
 - THE VIDEO RECORDER SHALL PROVIDE A NO HOSE STILL PICTURE, AND PROVIDE BOTH AUDIO AND VIDEO DURING THE INSPECTION.
 - A MEASURING DEVICE, APPROVED BY THE CITY, TO CHECK THE GRADE OF THE PIPE DURING THE INSPECTION, SHALL BE REQUIRED. GRADE DEPTH 6" TO 2" MIN WITH 1/2" MARKINGS.
 - AUDIO OF THE INSPECTION SHALL BE SIMULTANEOUSLY RECORDED ON DVD VIDEO. THE AUDIO SHALL CONSIST OF ORATORY DESCRIPTION AND COMMENTARY. A TAPE WILL BE GIVEN TO THE INSPECTOR ON SITE AT THE END OF THE DAY.

- PROCEDURE FOR TELEVISION:**
- THE CITY'S ENGINEERING INSPECTION DIVISION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS NOTICE PRIOR TO THE TIME PLANNED FOR THE TV INSPECTION TO COMMENCE. A DEFINITE TIME AND DATE WILL BE AGREED UPON BY THE CONTRACTOR AND INSPECTOR AT THAT TIME.
 - NO INSPECTION SHALL COMMENCE WITHOUT THE PRESENCE OF THE INSPECTOR. EXCEPT WHEN PRIOR ARRANGEMENTS HAVE BEEN MADE BETWEEN THE CONTRACTOR, INSPECTOR, AND THE CITY. TV INSPECTION SHALL BE POSTPONED BY THE CONTRACTOR AT THE DISCRETION OF THE CONTRACTOR.
 - ALL CCTV INSPECTIONS SHALL COMMENCE AT SYSTEM OF THE SYSTEM TO PREVENT FOREIGN SUBSTANCES FROM ENTERING A SECTION PREVIOUSLY INSPECTED. THE CAMERA SHALL BE WITHDRAWN FROM THE DOWNSTREAM MANHOLE AND PROCEED UPSTREAM IN DIRECTION OPPOSITE THE NORMAL FLOW IN THE LINE. THIS PROCEDURE WILL ALLOW FOR THE VIEWING OF THE SERVICE LATERALS.
 - BEFORE THE CAMERA IS PLACED IN THE SEWER LINE, WATER WITH FILLER OR ORANGE DYE SHALL BE PUT INTO THE UPSTREAM MANHOLE OF THE SECTION BEING INSPECTED. CAMERA WILL HAVE A GRADE SHOWING 1/2" MARKS FROM 1/2" TO 2-1/2". THIS WILL ENABLE THE CAMERA TO DETECT ANY DEFENCES IN GRADE THAT MAY BE PRESENT IN THE SYSTEM.
 - THE CITY AND CITY INSPECTOR SHALL BE TURNED ON BEFORE THE CAMERA IS PLACED IN THE MANHOLE FOR INSPECTION AND SHALL NOT BE TURNED OFF UNTIL THE CAMERA IS REMOVED FROM THE MANHOLE. THE CAMERA SHALL BE MOVED THROUGH THE LINE UNDER THE CONTROL OF THE CITY ENGINEER. OPERATOR. THE CAMERA SHALL BE DRAWN THROUGH THE LINE AT A RATE NOT TO EXCEED THIRTY (30) FEET PER MINUTE AND SHALL STOP AT ALL SERVICE CONNECTIONS AND PIPE JOINTS IN THE PIPELINE.
 - A PHOTO RECORDING SHALL BE MADE OF THE ENTIRE SYSTEM BEING TELEVIEWED. THIS SHALL BECOME THE PROPERTY OF THE CITY UPON COMPLETION OF THE TV INSPECTION (NOT A COPY). THE IMPACT SHALL BE LABELLED IN EACH MANHOLE THAT STATES THE PROJECT NAME, DATE OF INSPECTION AND LINE SECTION ACCORDING TO CONSTRUCTION PLANS CONTAINED ON EACH TAPE. A WRITTEN REPORT SHALL ACCOMPANY THE DVD DISC.

CITY OF WINTER GARDEN - TRUST RESTRAINT TABLE

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)	PIPE SIZE							
	6"	8"	10"	12"	16"	20"	24"	36"
90° BEND	19	29	30	34	44	52	60	70
45° BEND	8	10	12	14	18	21	25	30
22-1/2° BEND	4	5	6	7	9	10	12	14
11-1/4° BEND	2	3	4	5	6	7	8	10
PLUG, DEAD END OR BRANCH-OFF OF TIE	40	52	63	72	83	111	130	155
WALVE	20	29	32	36	47	56	78	116

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)	PIPE SIZE							
	6"	8"	10"	12"	16"	20"	24"	36"
90° BEND	29	37	44	51	65	77	89	105
45° BEND	12	15	18	21	27	32	37	44
22-1/2° BEND	6	7	9	10	13	15	18	21
11-1/4° BEND	3	4	5	6	7	8	9	10
PLUG, DEAD END OR BRANCH-OFF OF TIE	59	77	93	108	138	166	194	231
WALVE	29	37	43	50	62	74	87	104

TRUST RESTRAINT NOTES:

- THE TABLES INDICATE MINIMUM LENGTHS OF RESTRAINED JOINTS ON EACH SIDE OF FITTINGS AND CHANGES IN DIRECTION. WHERE PRACTICAL, FULL LENGTHS OF RESTRAINED PIPE SHALL BE LAID TO ACHIEVE THE REQUIRED MINIMUM RESTRAINT.
- WHERE COMBINATIONS OF FITTINGS ARE USED, THE PIPING BETWEEN THE FITTINGS SHALL BE RESTRAINED. THE MINIMUM RESTRAINED LENGTH OF PIPE REQUIRED UPSTREAM AND DOWNSTREAM OF THE COMBINATION OF FITTINGS SHALL BE DETERMINED ON THE BASIS OF ONE EQUIVALENT FITTING (E.G. 2-90 DEGREE BENDS WILL BE CONSIDERED AS THOUGH A 90° BEND WERE LOCATED BETWEEN THE TWO 45° BENDS).
- FOR PIPE THAT IS COVERED IN POLYETHYLENE, RESTRAINED JOINTS MINIMUM LENGTHS SHALL BE INCREASED BY 50 PERCENT.
- FOR FITTINGS OTHER THAN THOSE PRESENTED IN THE ABOVE TABLES, RESTRAINED JOINT LENGTHS SHALL BE DETERMINED IN ACCORDANCE WITH "TRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" BY THE DUCTILE IRON PIPE RESEARCH ASSOCIATION. RESTRAINED JOINT LENGTHS FOR A GIVEN PRESSURE RANGE SHALL BE BASED ON THE MAXIMUM PRESSURE FOR THE BEST PRESSURE RANGE, 50 (CLASS) SILEX SOIL, 3-FEET DEPTH, LAYING CONDITION NO. 3 AND FACTOR SF= SAFETY OF 1.5.
- IN-LINE VALVES PROVIDE MECHANICAL RESTRAINT ON EACH SIDE OF THE VALVE.
- ALL RECLAIMED WATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 150 PSI. ALL WASTEWATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 100 PSI.

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS.

THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NEEDED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS

PROPOSED UTILITY	PORTABLE WATER		RECLAIMED WATER		SANITARY SEWER (CYCLOCORRUS)		SANITARY SEWER (CYCLOCORRUS)		STORM WATER		ACCEPTABLE MINIMUMS
	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	
PORTABLE WATER	-	-	3'	12"	6'	12"	6'	12"	2'	6" A 12" B	SEE GENERAL NOTES, NO. 4, 5 & 6
RECLAIMED WATER	3'	12"	-	-	3'	6" A 12" B	3'	12"	-	-	
SANITARY SEWER (CYCLOCORRUS)	6'	12"	3'	12"	-	-	-	-	-	-	
SANITARY SEWER (CYCLOCORRUS)	6'	12"	3'	12"	-	-	-	-	-	-	

- GENERAL NOTES:**
- THE TABLE REPRESENTS THE MINIMUM SEPARATION REQUIREMENTS AS DESCRIBED IN F.A.C.P. RULES OF THE FLORIDA ADMINISTRATIVE CODE (F.A.C.). THESE SEPARATION REQUIREMENTS SHALL APPLY BETWEEN NEWLY PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES.
 - FOR THE PURPOSE OF THIS TABLE, RECLAIMED WATER SHALL MEAN UNRESTRICTED PUBLIC ACCESS REUSE WATER AS DEFINED BY F.A.C. 262.001, CHAPTER 61, OTHER TYPES OF RECLAIMED WATER ARE CONSIDERED RAW SEWAGE AND SEPARATIONS LISTED FOR SANITARY SEWER SHALL APPLY.
 - ALL SEPARATION DISTANCES ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE UNLESS OTHERWISE SPECIFIED. CRITICAL PROTECTING GREATER CLEARANCE SHALL BE USED.
 - SEWAGES POTABLE WATER ABOVE RECLAIMED WATER, SANITARY SEWER OR STORM WATER, OR RECLAIMED WATER ABOVE SANITARY SEWER.
 - SEWAGES POTABLE WATER BELOW RECLAIMED WATER, SANITARY SEWER OR STORM WATER, OR RECLAIMED WATER BELOW SANITARY SEWER.
 - UTILITY SEPARATION - VERTICAL CLEARANCE MITIGATION
 - WHERE WATER AND SANITARY SEWER MAINS CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE OF THE SEWER MAIN IS ABOVE THE WATER MAIN, THE SANITARY SEWER WILL BE 20 FEET OF COVER.
 - DUCTILE IRON PIPE, CENTERED ON THE POINT OF CROSSING, OR;
 - CONCRETE ENCASED VENTED CLAY, OR;
 - PVC PIPE UPGRADED TO WATER MAIN STANDARDS AND PRESSURE TESTED.
 - WHERE WATER AND STORM SEWER MAINS CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE, THE WATER MAIN SHALL BE 20 FEET OF DUCTILE IRON PIPE CENTERED ON THE POINT OF CROSSING.
 - SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE CITY ENGINEER.
 - UTILITY SEPARATION - HORIZONTAL SEPARATION MITIGATION
 - WHEN A WATER MAIN PARALLELS A SANITARY SEWER MAIN, A SEPARATION (MEASURED EDGE TO EDGE) OF AT LEAST 30 FEET SHOULD BE MAINTAINED. WHERE THIS SEPARATION IS NOT MET, ONE OF THE FOLLOWING MUST OCCUR:
 - THE WATER MAIN IS Laid IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER, OR;
 - IF BOTH SANITARY SEWER AND POTABLE WATER MAINS ARE PROPOSED AND THE ABOVE (A.1) IS NOT MET, THE SANITARY SEWER PIPES SHALL BE UPGRADED TO THE CURRENT PIPE MATERIAL AS THE WATER MAIN AND PRESSURE TESTED.
 - IF THE SANITARY SEWER IS EXISTING AND THE POTABLE WATER MAIN IS PROPOSED, THE WATER MAIN SHALL, AT A MINIMUM, BE UPGRADED TO DUCTILE IRON PIPE, CONSTRUCTED IN SEPARATE TRENCHES, Laid AT A HIGHER ELEVATION THAN THE SANITARY SEWER, AND UTILITY STAGGERED JOINTS.
 - SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE CITY ENGINEER.
 - NO WATER PIPE SHALL PRESS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY OR STORM WATER MANHOLE OR STRUCTURE.

**CITY OF WINTER GARDEN, FLORIDA
STANDARDS AND SPECIFICATIONS
FOR UTILITIES CONSTRUCTION**



**STANDARD DETAILS
FOR
UTILITIES SYSTEMS**

DATE: JUNE 2018
SHEET: 1
1 OF 11



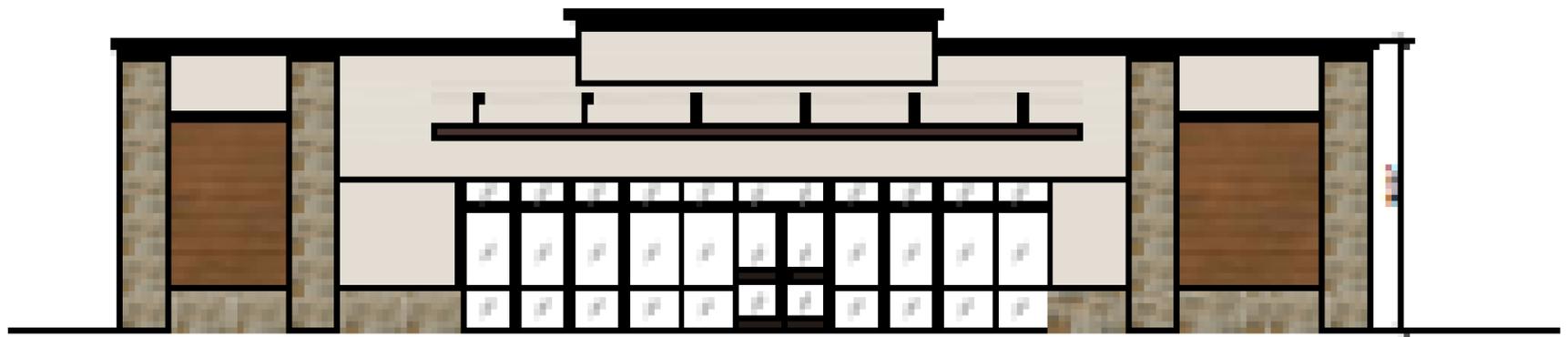
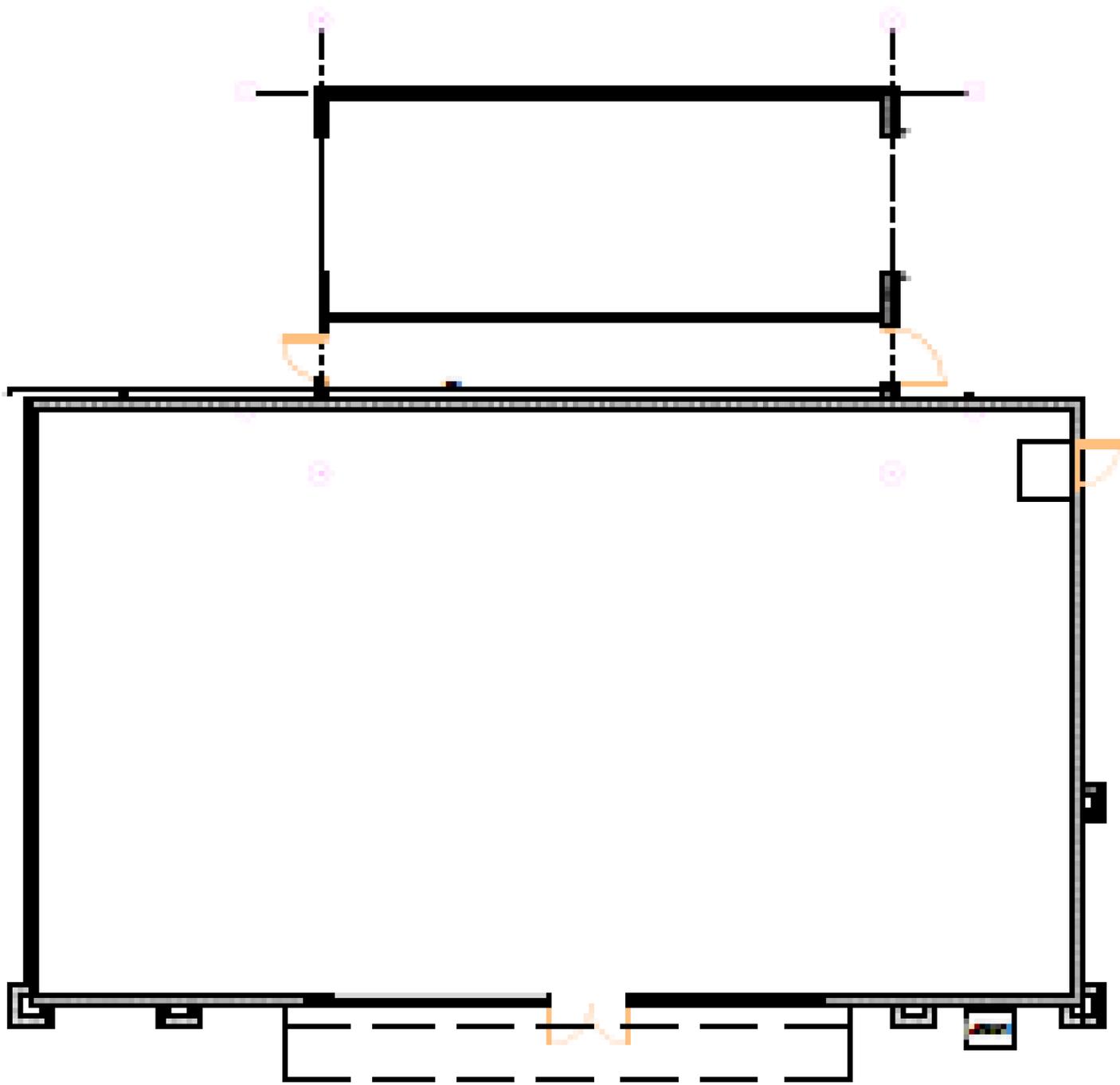
PEOPLES PLAZA
12381 WEST COLONIAL DRIVE
WINTER GARDEN, FL 34787



COMMON SENSE ENGINEERING
1000 UNIVERSITY BLVD, SUITE 100
ORLANDO, FL 32814
WWW.COMMONSENSEENGINEERING.COM

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PEOPLES PLAZA
12381 WEST COLONIAL DRIVE
WINTER GARDEN, FL 34787

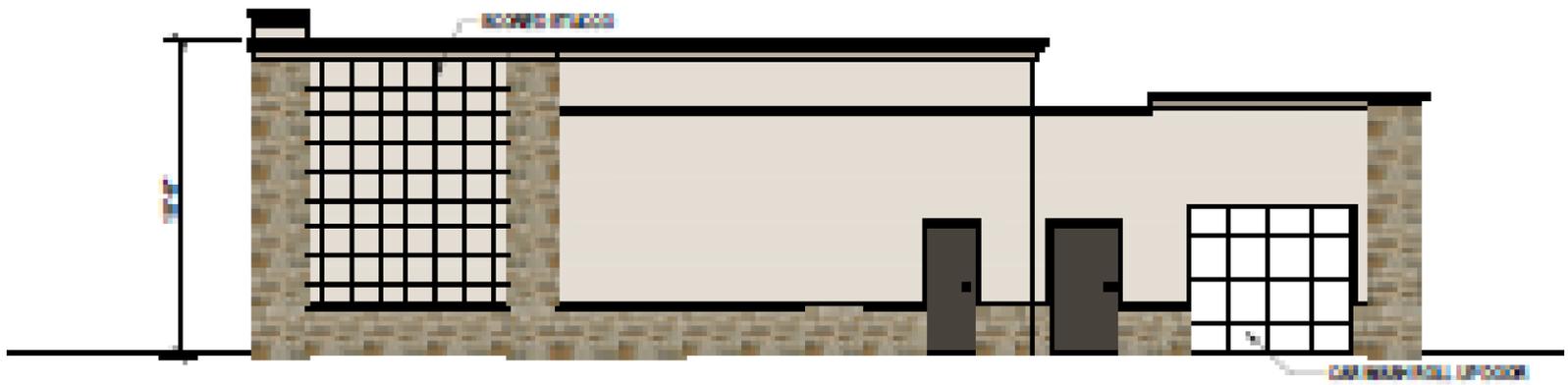
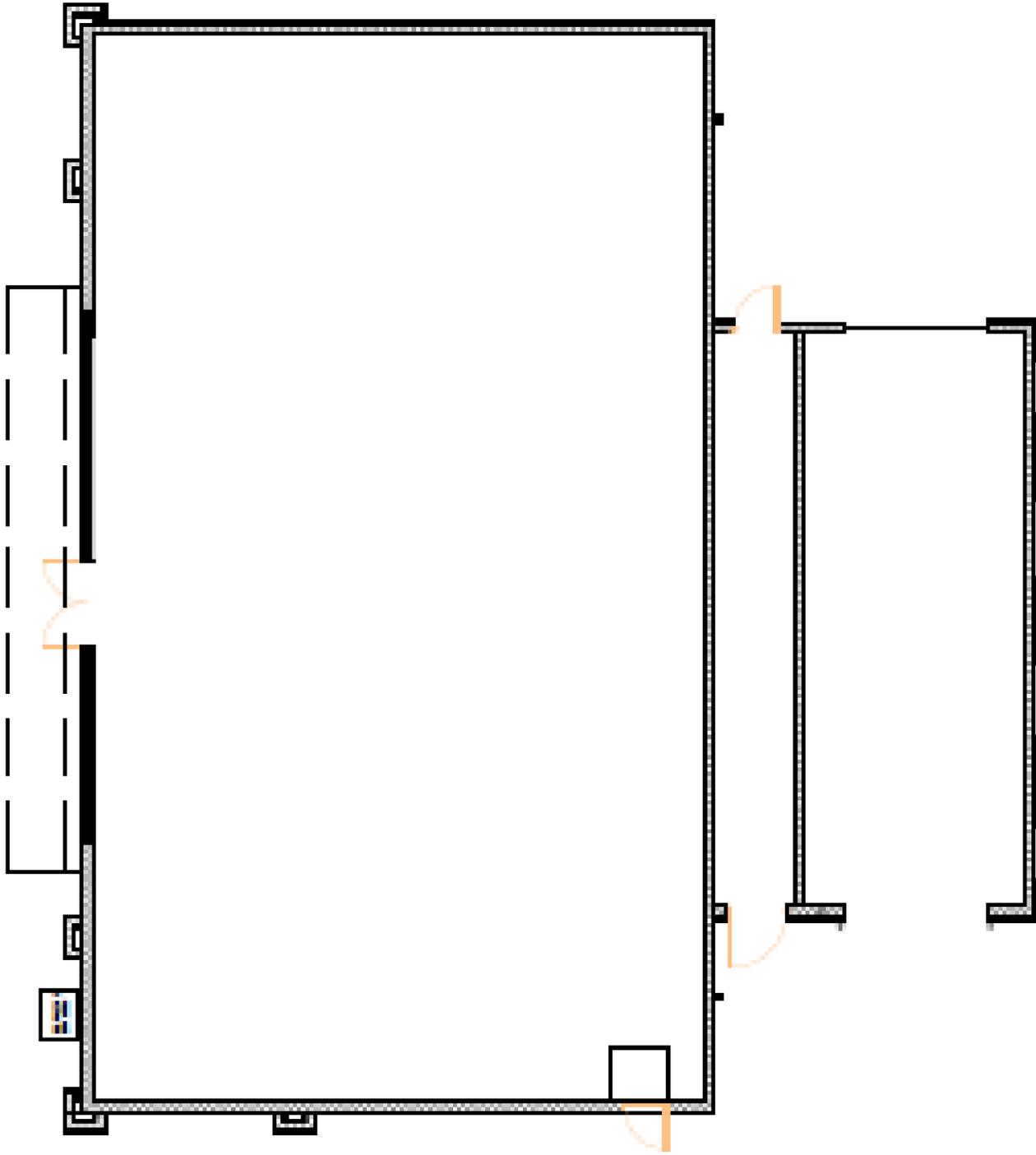
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43	06/10/2018	ISSUED FOR BIDDING
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57	06/10/2018	ISSUED FOR BIDDING
58	06/10/2018	ISSUED FOR BIDDING
59	06/10/2018	ISSUED FOR BIDDING</



SOUTH ELEVATION
Architectural drawing



GENERAL NOTES	
1.	ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BIDDING DOCUMENTS AND SPECIFICATIONS.
2.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3.	THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4.	ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND LOCAL AUTHORITIES.
5.	THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
6.	ALL WASTE MATERIALS SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKDAY.
7.	THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
8.	ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
10.	ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BIDDING DOCUMENTS AND SPECIFICATIONS.



EAST ELEVATION
Scale 1/8"=1'-0"



EXTERIOR MATERIAL SCHEDULE		
ID	NAME	UNIT / SIZE
P-1	CONCRETE	1000 SF
P-2	CONCRETE	1000 SF
P-3	CONCRETE	1000 SF
ST-1	STAINLESS STEEL	1000 SF
G-1	GLASS	1000 SF
S-1	STONE	1000 SF
P-3	CONCRETE	1000 SF
P-3	CONCRETE	1000 SF
P-3	CONCRETE	1000 SF

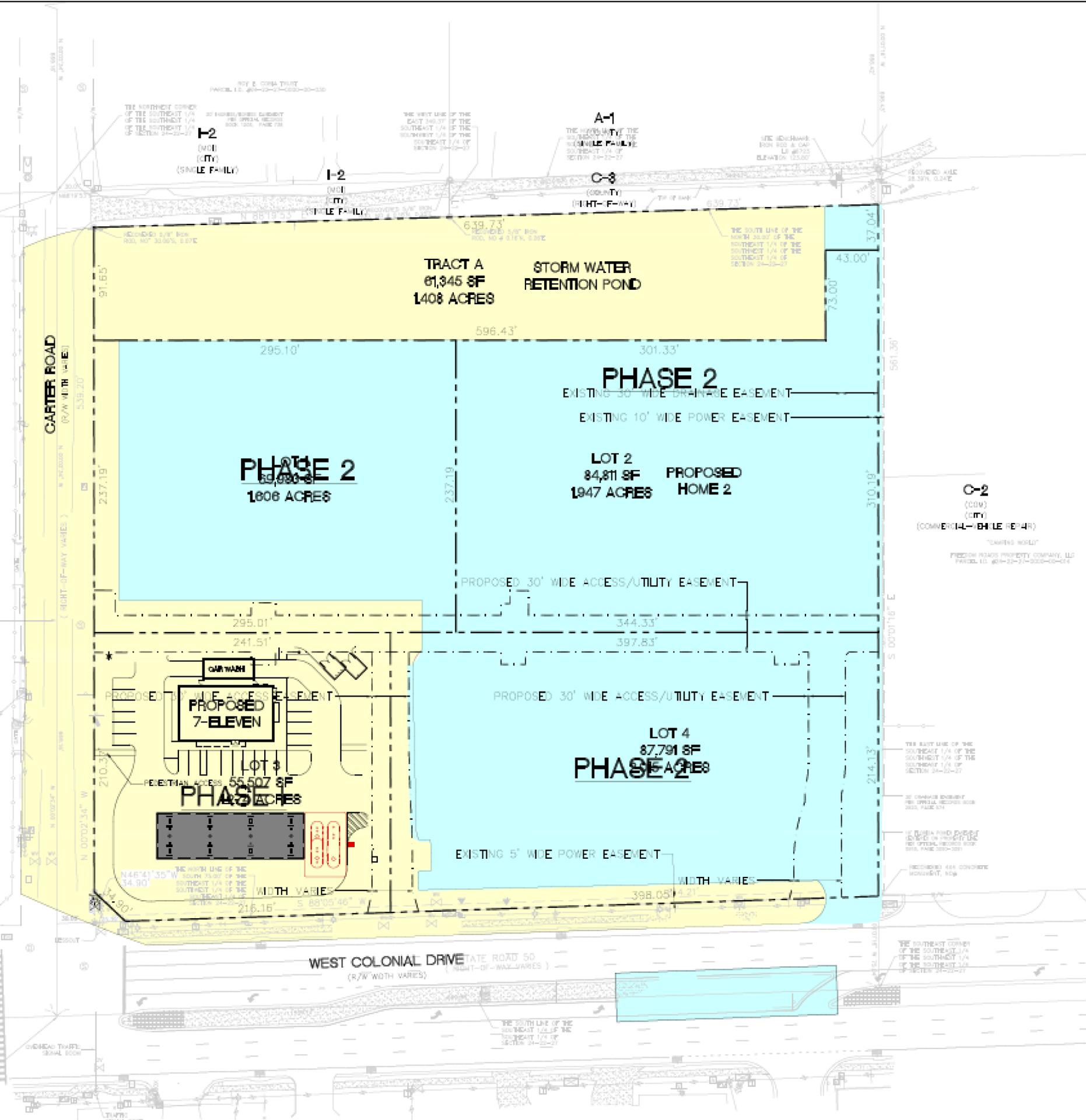


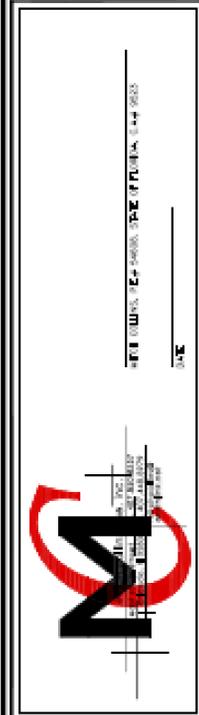
TABLE	BEARING
1	S00°00'15"E

PHASE I
 PHASE II

NOTE:
 REPRODUCTION OF THIS PLAN IS PROHIBITED UNLESS CONTAINING ORIGINAL SIGNATURE AND GEMSEAL SITE ENGINEER'S SEAL AND EXPIRES DATE: 03/31/2025. FLORIDA ADMINISTRATIVE CODE CHAPTER 63, CHAPTER 64 AND CHAPTER 65.

REV/DATE	BY
001/01/25	M.C.
002/01/25	M.C.
003/01/25	M.C.
004/01/25	M.C.
005/01/25	M.C.
006/01/25	M.C.
007/01/25	M.C.
008/01/25	M.C.
009/01/25	M.C.
010/01/25	M.C.

PRELIMINARY SUBDIVISION PLAN
 For
HOME2 SUITES AT PEOPLE'S PLAZA
 WEST WEST COLONIAL DRIVE
 WINTER GARDEN, FLORIDA



DESIGN BY	M.C.
DRAWN BY	M.C.
DATE	07-19
SCALE	1" = 40'
PROJECT NO.	219-002
DATE	07-19
PROJECT NO.	C-1B

CITY OF WINTER GARDEN

Development Review Committee

(407) 656-4111 - FAX (407) 877-2363

MEMORANDUM

TO: STEVE PASH, COMMUNITY DEVELOPMENT DIRECTOR
FROM: DEVELOPMENT REVIEW COMMITTEE
DATE: OCTOBER 13, 2020
SUBJECT: SITE PLAN APPROVAL - 7-ELEVEN AT PEOPLE'S PLAZA
12301 W. COLONIAL DRIVE

We recommend approval subject to the following conditions and comments:

ENGINEERING COMMENTS

Any underlined comments shall be addressed prior to pre-con:

1. The "Master" Developer agreed at the 11/29/06 DRC Meeting to pay his one-half share of the improvements to Carter Road along the project's frontage, including, but not limited to, the following (which has now been reduced since FDOT installed the traffic signal):
 - Carter Road shall be improved to a modified urban section from S.R. 50 to the north property line of the project to include southbound left and right turn lanes, curbing, drainage, etc.
 - Pavement thickness shall be a minimum of 2" asphaltic concrete (can include existing pavement remaining after milling and friction course). Any new base course shall consist of 10" thick soil cement compacted to 98% density, 12" thick subbase compacted to 98% and 18" of clean fill with no more than 5% passing the #200 sieve under the subbase.
 - The existing drainage system on Carter Road will need to be inspected by the City. The condition of the existing CMP's may warrant their replacement with these improvements.
 - **A developer's agreement, drafted by the City Attorney, shall be prepared to allocate the Carter Road improvements' cost share, as well as further defining other commitments of the development including, but not limited to, easement requirements, etc.**
 - The developer's agreement stated above shall be approved by the City Commission prior to issuance of any building permits for the project.
 - Platting will be required providing easements for cross access, drainage and utilities, as well as providing an entity for maintenance of shared facilities. Plat shall be recorded prior to issuance of a certificate of occupancy of any building.
2. General Requirements (as noted):
 - a. All gravity sanitary pipe and fittings shall be SDR 26.
 - b. All compaction shall be 98% of the modified proctor maximum density (AASHTO T-180).
 - c. As-built record drawings shall comply with City of Winter Garden requirements available on-line (note on final construction plans).
 - d. All Storm ($\geq 12''$) and Sanitary lines ($\geq 6''$) shall be inspected by CCTV prior to completion.
 - e. If Thermoplastic pipe is used it shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe (**not HDPE or N-12**), laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).
3. Sheet C5.0, Grading Plan:
 - a. Thermoplastic pipe is shown on the plan. It shall meet all City material and installation

requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe (**not HDPE; N12**), laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).

- b. Drainage and permit modification from SJRWMD is acknowledged. Correspondence from FDOT that drainage permit is exempt is acknowledged.

4. Sheet C6.0 – Utility Plan:

- a. The plans show a 2” potable water meter and 1” irrigation meter. 100% of the water/sewer impact fees shall be paid prior to site or building permit issuance or execution of FDEP permit applications by the City (if not paid previously by the Master Developer).
- b. Based on the above, the utility impact fees are as follows:

<u>1” Irrigation meter</u>	<u>1 ea. @ \$2,715.00</u>	<u>= \$2,715.00</u>
<u>2” Potable water meter</u>	<u>1 ea. @ \$8,688.00</u>	<u>= \$8,688.00</u>
<u>Wastewater for 2” meter</u>	<u>1 ea. @ \$14,136.00</u>	<u>= \$14,136.00</u>
<u>TOTAL</u>	<u>= \$25,539.00</u>	

(does not include connection/installation fee; check with Utility Billing to verify any pre-payments)

- c. Grease trap for building sanitary connection to be reviewed and approved by the Building Department.

- 5. City Standard Detail Sheets shall be used as shown.
- 6. Minimum 5’ wide concrete sidewalks are required along all project frontages to include S.R. 50 and Carter Road (as shown). Existing sidewalks will be checked at completion and any damaged sections shall be replaced. Internal sidewalks shall connect to the public sidewalks in the right-of-way per ADA (as shown)
- 7. Tree removal shall adhere to the City’s Tree Protection Ordinance – separate review, approval and permit is required. Coordinate with the Building Department (Steve Pash) on any tree removal and protection. Additional landscaping and tree replacement may be required with final plan. Pursuant to Code (Chapter 114-70), a tree survey will be required with the preliminary plat submittal showing size and type of trees, trees that will be removed/saved, etc. meeting all Code provisions.
- 8. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer’s expense, including potable water, reclaimed water and sanitary sewer. Final plans shall detail all connections including fire protection, reuse water and domestic water supply. All irrigation on the site shall be designed to be supplied by reclaimed water when available and shall be served by a jumper to potable water until that time. It should also be noted that the buildings may require fire sprinklers subject to review by the Building and Fire Departments.
- 9. Fire protection shall be reviewed and approved by the Fire and Building Departments.
- 10. Permit modification from SJRWMD for stormwater is acknowledged. Permits or exemptions from FDOT are acknowledged (driveway, utilities, and drainage); permits or exemptions from FDEP for water and sewer are acknowledged; FDEP NPDES NOI required.
- 11. Any signs, screen walls or retaining walls shall require a separate permit from the Building Department.
- 12. Streetlighting both internally and on all street frontages is required pursuant to City Code – dark skies lighting is required. A photometric plan has been provided for review by Planning Department.
- 13. Certificates of Occupancy for any building will not be issued until the Certificate of Completion has been issued by the City Engineer for the overall development and the final plat has been approved and recorded.
- 14. All dumpsters shall be enclosed and shall provide 12’ minimum inside clearance (each way inside of bollards), and access by solid waste vehicles. Coordinate additional requirements (compactors, locations, etc.) with Public Services Department, Solid Waste Division.

PLANNING COMMENTS

15. The project shall be developed in accordance with the approved Phasing Plan as exhibited with the Site Plan Approval City Commission item.
16. Note: A separate Sign Permit is required. Signage will be reviewed in detail during permitting. All signage must adhere to the requirements of Ordinance 20-04 and City Code Chapter 102.

STANDARD GENERAL CONDITIONS

17. All construction shall conform to City of Winter Garden Standards, Specifications and Ordinances.
18. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
19. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
20. The Owner and Contractor are responsible for meeting all provisions of ADA and Florida Accessibility Code, including accessible route sidewalks that will connect to public sidewalks on S.R. 50.
21. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
22. Approval by the Planning & Zoning Board (for preliminary plat) and City Commission (site plan) will be required prior to issuance of site or building permit(s).
23. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the site or building permit.
24. Additional comments may be generated at subsequent reviews.

Please review this information and contact our office with any questions. Thank you.

END OF MEMORANDUM

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: October 15, 2020 **Meeting Date:** October 22, 2020

Subject: 15304 Tilden Road
Foundation Academy Ph 2 - Site Plan Approval
PARCEL ID# 09-23-27-0000-00-009

Issue: The applicant is requesting Site Plan approval for the development of Phase 2 of the Foundation Academy and associated site improvements for the property located at 15304 Tilden Road.

Discussion:

The property is approximately 67.48 ± acres and currently consists of three educational buildings, four modular buildings, and several athletic fields. The applicant is requesting to develop an additional 105,107 square feet as Phase 2 of the School's buildout plan. This will consist of education buildings, a maintenance building, a field house, a cafeteria, and some additions to already existing buildings. Further improvements to the property will consist of parking, stormwater, an athletic track & field area, and landscaping.

Recommended Action:

Staff recommends approval of the proposed Site Plan subject to the conditions of the DRC staff report dated October 13, 2020. Development of the property is consistent with the City's Comprehensive Plan & with the property's PUD zoning requirements.

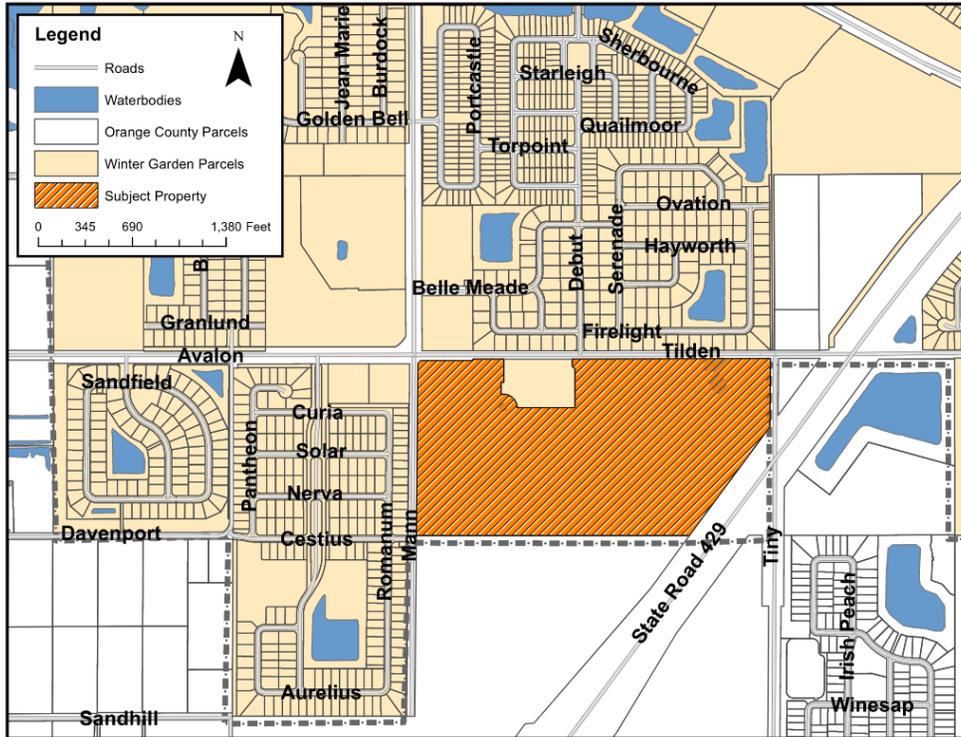
Attachment(s)/References:

Location Map
DRC Staff Report
Site Plan Set
Building Elevations

Location Map

Foundation Academy

15304 Tilden Road



Foundation Academy

Phase 2

Winter Garden, FL

Construction Plans

for

Foundation Academy

by



Denham Engineering, LLC

Call Sunshine Before You Dig (1-800-432-4770)

Project Team

Owner / Developer
Foundation Academy
12204 Tilden Road
Winter Garden, FL 34787
Tel: 407-350-0000

Architect
Allen & Company, Inc.
1472 West 20
Winter Garden, FL 34787
Tel: 407-350-0000

Environmentalist
Bio-Desk Consulting, Inc.
2222 West South Street
Orlando, FL 32810
Tel: 407-351-0000

Civil Engineer
Denham Engineering, LLC
710 N. Lake Parkway Dr.
Orlando, FL 32808
Tel: 407-427-6427

Geotechnical Engineer
Universal Engineering/Science
2222 Maple Blvd.
Orlando, FL 32811
Tel: 407-350-0000

Utilities

Drinking Water
City of Winter Garden
200 W. West Street
Winter Garden, FL 34787
(407) 350-4111

Sanitary Sewer
City of Winter Garden
200 W. West Street
Winter Garden, FL 34787
(407) 350-4111

Garbage Disposal
by Private Owner

Electric
John Deery
P.O. Box 8824
Orlando, FL 32817
407-278-1222

Phone
CenturyLink
200 Lake Center Drive
Apopka, FL 32703
(407) 427-0700

Cable
Sprint
2241 Magnolia Road
Orlando, FL 32708
407-351-0000

Vicinity Map



Drawing Index

No.	Title	Revised
1	Site	08-11-2009
2	Site - Foundation & Utilities	08-11-2009
3	Foundation & Utilities	08-11-2009
4	Foundation & Utilities Phase 1, 2	08-11-2009
5	Foundation & Utilities	08-11-2009
6	Foundation & Utilities	08-11-2009
7	Foundation & Utilities	08-11-2009
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Sunshine 811-37

Denham Engineering, LLC
Office: 407-317-8487
Mobile: 862-989-1918
denham@denhameng.com
www.DenhamENG.com

Foundation Academy
12204 Tilden Road
Winter Garden, FL 34787
Tel: 407-350-0000

Foundation Academy Phase 2
Winter Garden, FL

Construction Plans

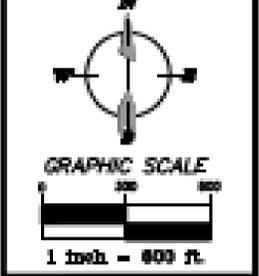
Cover Sheet

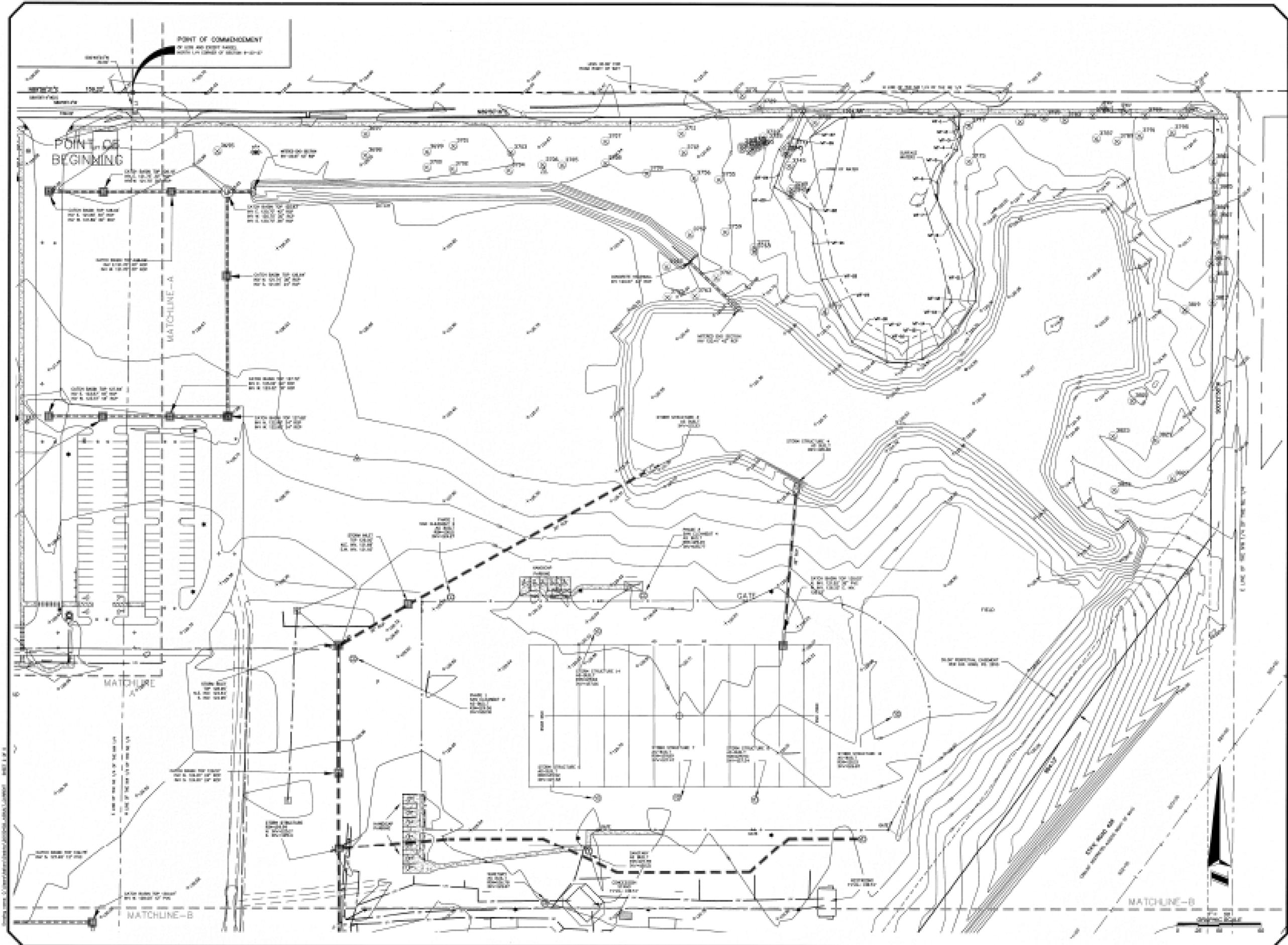
Revisions

No.	Date	Description
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02	08-11-2009	Issue for review
03	08-11-2009	Issue for review
04	08-11-2009	Issue for review
05	08-11-2009	Issue for review
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100	08-11-2009	Issue for review

Please see notes on sheet 60, 61 and 62 for details.

T. Mark Denham, P.E.
Title: P.E.
No. 123456789
Certificate of Authorization 123456789





18 EAST PLANT STREET
 WINTER GARDEN, FLORIDA 34003
 (407) 894-0355

AS-BUILT SURVEY
 OF
FOUNDATION ACADEMY
 SECTION 9, TOWNSHIP 23 SOUTH, RANGE 27 EAST
 ORANGE COUNTY, FLORIDA

FOR:
 FOUNDATION ACADEMY
 FIRST AMERICAN TITLE
 INSURANCE COMPANY
 SYDNEY BANK, MA, 180A
 HILL WARD, HENDERSON
 NELSON MILLERS



NO.	REVISIONS	DATE	REVISIONS

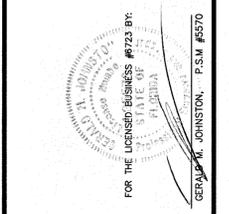
JOB # 200904
 DATE 05/27/09
 SCALE 1" = 30'
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 FIELD BY GEA
 CHECKED BY JFC/GEA/DAI



16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 854-5355

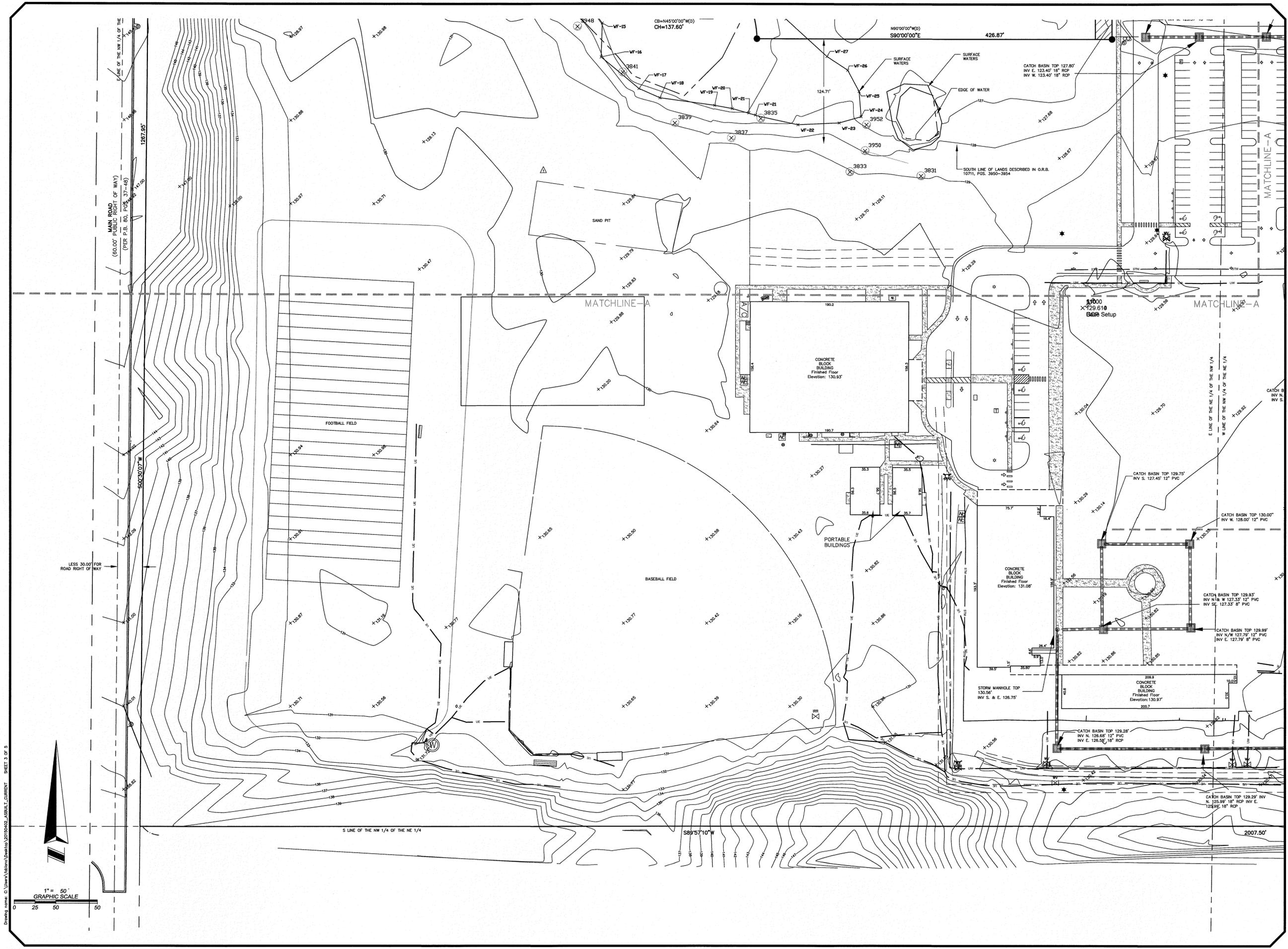
AS-BUILT SURVEY
OF
FOUNDATION ACADEMY
SECTION 9, TOWNSHIP 23 SOUTH, RANGE 27 EAST
ORANGE COUNTY, FLORIDA

FOR:
FOUNDATION ACADEMY
FIRST AMERICAN TITLE
INSURANCE COMPANY ISOA
SYNOVUS BANK INCORP
WARD HENDERSON
NELSON MOLLINS



DATE	REVISIONS
08/02/20	NEW BOUNDARY/ASSEMBLY

JOB # 20150402
DATE: 2/27/19
SCALE: 1" = 50'
CALC BY: JPC
FIELD BY: GMJ
DRAWN BY: JPC/EGT/FS/MV
CHECKED BY: GMJ



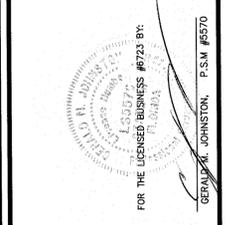
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16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654-5355

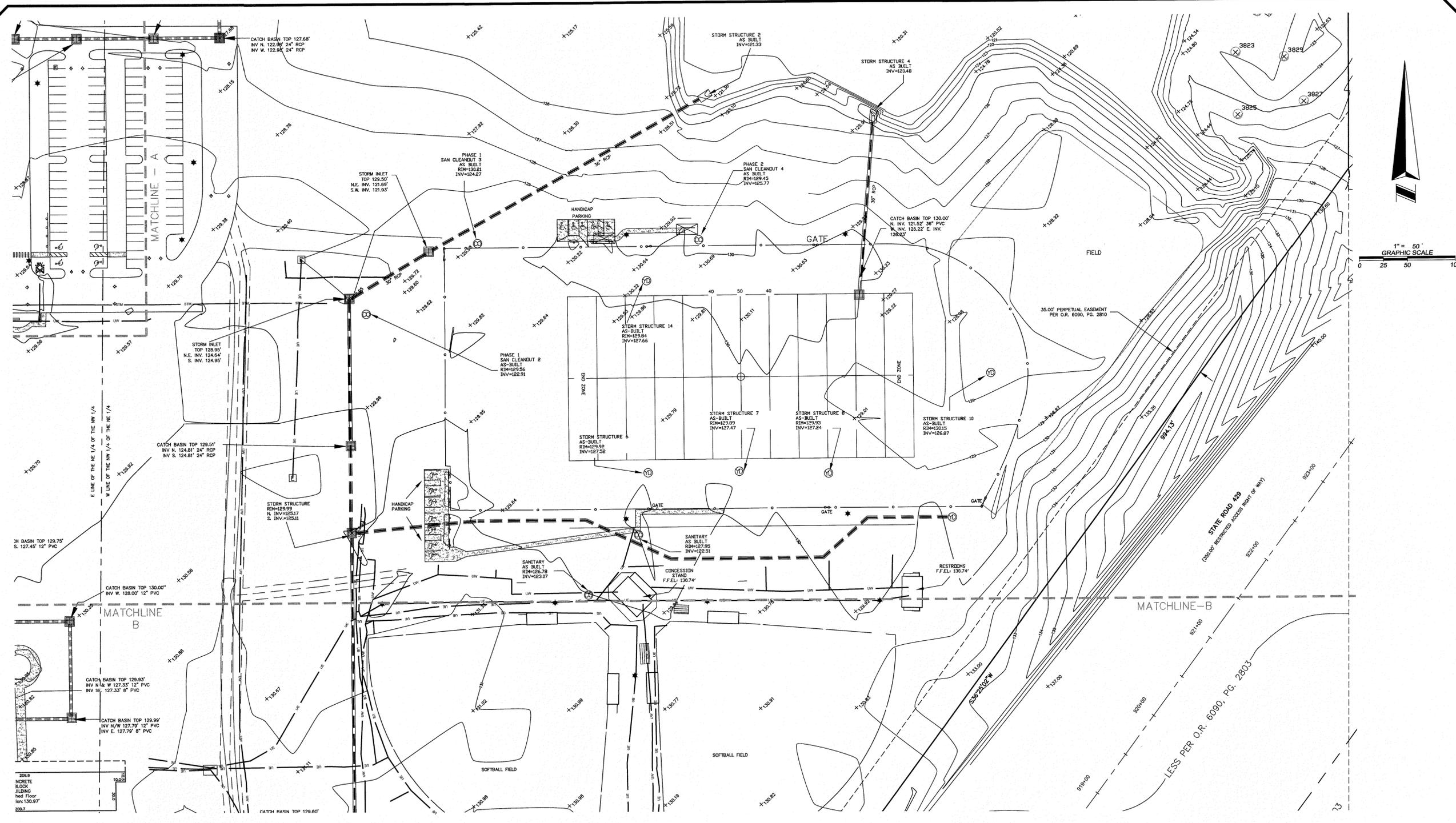
AS-BUILT SURVEY
OF
FOUNDATION ACADEMY
SECTION 9, TOWNSHIP 23 SOUTH, RANGE 27 EAST
ORANGE COUNTY, FLORIDA

FOR:
FOUNDATION ACADEMY
FIRST AMERICAN TITLE
INSURANCE COMPANY
SYNOVIS BANK, N/A, ISA
HILLWARD HENDERSON
NELSON MULLINS



DATE	REVISIONS

JOB # 20150402
DATE 2/27/19
SCALE: 1" = 50'
CALC BY: JPC
FIELD BY: GMJ
DRAWN BY: JPC/EGT/FS/MV
CHECKED BY: GMJ



1" = 50'
GRAPHIC SCALE

LEGEND:

- | | | | | | | | |
|------------------------------------|---|--------------------------------------|-------------------------------|----------------------------------|--|---|-------------------------------------|
| — Denotes pipe | — Denotes underground television | ⊗ Denotes fire hydrant | ⊠ Denotes yard drain | ↶ Denotes left turn arrow | ◀ Denotes ground light | ■ Denotes set 4"x 4" Concrete Monument w/disc #LB6723 | DIP Denotes ductile iron pipe |
| — Denotes centerline | — Denotes underground telephone | ⊕ Denotes fire department connection | ⊙ Denotes storm manhole | ↷ Denotes right turn arrow | ● Denotes metal or concrete power pole | Denotes found 4"x 4" Concrete Monument numbered as shown | OU Denotes overhead utility line |
| — Denotes gate | — Denotes underground telephone | ⊗ Denotes irrigation valve | ⊗ Denotes sanitary valve | — Denotes broken stripe | ⊙ Denotes wood power/utility pole | ● Denotes set 1/2" Iron Rod w/cap or nail with disc stamped LB#6723 | PVC Denotes polyvinyl chloride pipe |
| — Denotes fence line (barbed) | — Denotes underground steam | ⊗ Denotes sprinkler head | ⊙ Denotes sanitary manhole | ↑ Denotes straight arrow | ★ Denotes light pole | ● Denotes found Iron Rod or Iron Pipe as shown | △ Denotes central angle |
| — Denotes fence line (chainlink) | — Denotes underground steam | ⊗ Denotes reclaimed water valve | ⊙ Denotes back flow preventer | ↔ Denotes guy pole | ⊠ Denotes electric pull box | ● Denotes rail road spike | R Denotes radius |
| — Denotes fence line (iron or pvc) | — Denotes underground reclaimed water | ⊗ Denotes water valve | ⊙ Denotes grease trap manhole | ⊙ Denotes electric manhole | ⊠ Denotes electric outlet | × Denotes x-cut | L Denotes length |
| — Denotes fence line (wood) | — Denotes underground reclaimed water | ⊗ Denotes water meter | ⊙ Denotes monitoring well | ⊠ Denotes electric meter | ⊙ Denotes wood signal pole | LB Denotes Licensed Business | CB Denotes chord bearing |
| — Denotes guard rail | — Denotes underground gas | ⊗ Denotes gas valve | ⊙ Denotes mailbox | ⊠ Denotes electric box | ⊙ Denotes vault | FND Denotes found | ABS Denotes black plastic pipe |
| — Denotes bottom bank | — Denotes underground gas | ⊗ Denotes gas meter | ⊙ Denotes well | ⊠ Denotes cable television riser | ⊙ Denotes traffic signal box | PSM Denotes Professional Surveyor & Mapper | |
| — Denotes top of bank | — Denotes underground fiber optic cable | ⊗ Denotes catch basin | ⊙ Denotes sign | ⊠ Denotes phone riser | ⊙ Denotes phone manhole | LS Denotes Licensed Surveyor | |
| — Denotes wetland | — Denotes underground electric | ⊗ Denotes grate | ⊙ Denotes parking meter | ⊠ Denotes phone riser | ⊙ Denotes oak | INV Denotes invert | |
| — Denotes swale | — Denotes underground electric | | | ⊠ Denotes mitered end section | | RCP Denotes reinforced concrete pipe | |
| — Denotes creek | — Denotes overhead utility | | | ⊠ Denotes concrete signal pole | | CMP Denotes corrugated metal pipe | |
| — Denotes edge of water | | | | | | R/W Denotes right of way | |
| — Denotes underground water | | | | | | | |

FOUNDATION ACADEMY, 16 EAST PLANT STREET, WINTER GARDEN, FLORIDA 34787
 SHEET 4 OF 5



16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654-5355

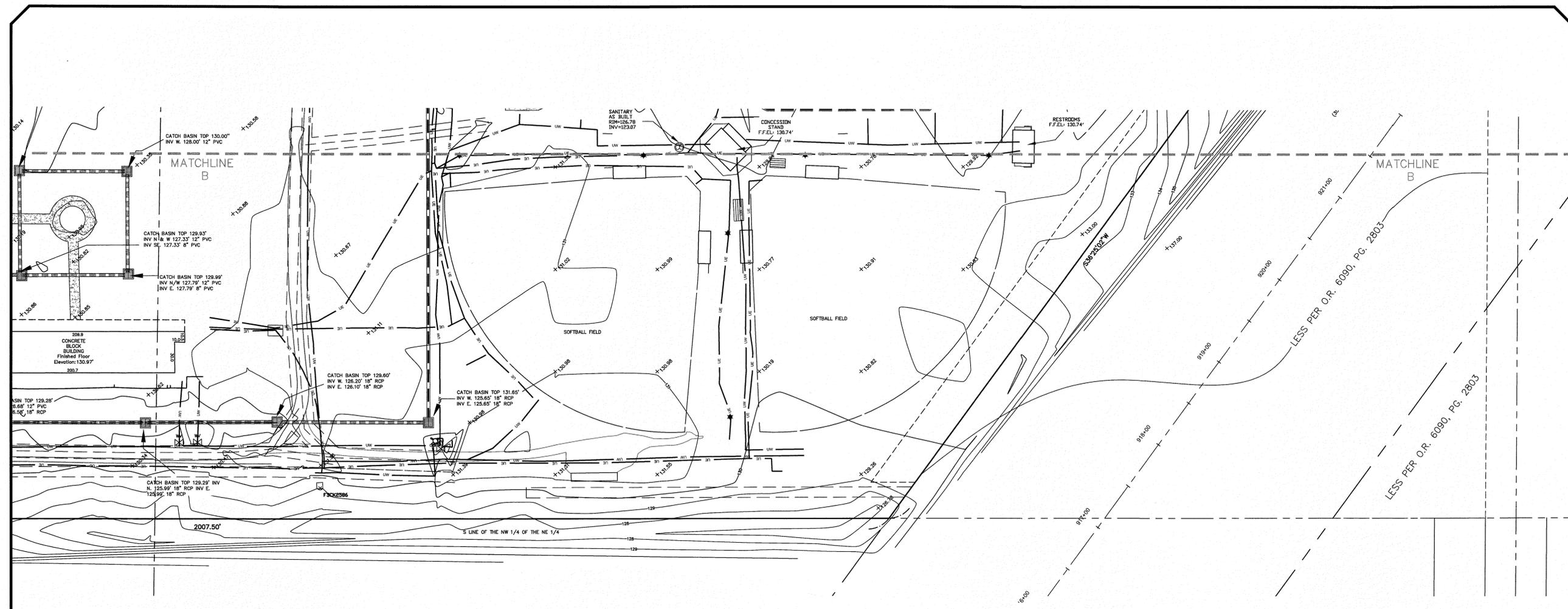
AS-BUILT SURVEY
OF
FOUNDATION ACADEMY
SECTION 9, TOWNSHIP 23 SOUTH, RANGE 27 EAST
ORANGE COUNTY, FLORIDA

FOR:
FOUNDATION ACADEMY
FIRST AMERICAN TITLE
INSURANCE COMPANY
SYNOVUS BANK, N.A. ISOA
HILL WARD HENDERSON
NELSON MULLINS



DATE	REVISIONS
08/02/20	NEW BOUNDARY/ASSESSMENT

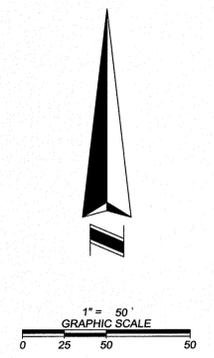
JOB # 20150402
DATE: 2/27/19
SCALE: 1" = 50'
CALC BY: JPC
FIELD BY: GMJ
DRAWN BY: JPC/EGT/FS/MV
CHECKED BY: GMJ



TREE TABLE:

POINT NUMBER	NORTING	EASTING	ELEVATION	TREE TYPE
3626	1517451.735	457365.8265	127.071	OAK 12"
3628	1517499.828	457329.5758	127.586	OAK 22-24-29
3630	1517549.243	457315.528	117.523	OAK 19.5
3632	1517570.995	457291.0047	127.585	OAK 12
3634	1517589.466	457277.1011	127.366	OAK 24
3636	1517554.684	457214.1185	129.818	OAK 16
3638	1517538.128	457234.3428	128.71	OAK 22
3640	1517541.72	457233.5569	128.648	OAK 19
3642	1517539.111	457244.229	128.897	OAK 22-25
3644	1517525.634	457260.1235	128.881	OAK 15-22-19-12.5
3646	1517566.201	457342.795	126.393	OAK 27
3652	1517564.258	457420.8571	125.776	OAK 25-28
3654	1517590.843	457385.5982	126.235	OAK 16
3656	1517618.107	457375.1944	126.153	OAK 17
3658	1517593.338	457361.4224	126.671	OAK 16
3695	1517598.753	458436.3668	125.606	OAK 12"
3697	1517619.543	458613.4818	125.11	OAK 12"
3699	1517598.743	458666.7833	124.592	OAK 12"
3701	1517605.646	458718.6659	124.839	OAK 16"-23"
3703	1517597.901	458787.6736	124.62	OAK 12"
3705	1517582.635	458848.7522	124.923	OAK 12"
3707	1517611.047	458800.4097	124.897	OAK 26"
3709	1517572.947	458950.2967	124.724	OAK 16"-26"
3711	1517620.438	458991.5601	124.354	OAK 12"
3713	1517605.555	459004.0585	124.25	OAK 22"
3715	1517602.082	459004.2119	124.175	OAK 16"
3717	1517605.343	459009.1533	124.305	OAK 24"
3719	1517607.65	459074.7441	123.705	OAK 16"
3721	1517601.795	459075.7161	123.656	OAK 16"
3723	1517603.791	459082.6654	123.361	OAK 24"
3725	1517597.565	459072.0331	124.213	OAK 15"
3727	1517601.808	459077.5658	124.066	OAK 12"
3729	1517652.447	459065.3073	123.709	OAK 13"
3731	1517665.835	459064.5219	123.259	OAK 20"
3733	1517615.898	459089.1433	123.249	OAK 24"
3735	1517611.283	459092.7583	123.295	OAK 35"
3737	1517640.687	459121.6816	122.587	OAK 12"
3739	1517633.821	459151.4047	122.168	OAK 20"
3741	1517603.787	459124.6447	121.452	OAK 13"
3743	1517596.783	459117.9496	122.272	OAK 17"
3745	1517602.229	459103.5747	121.452	OAK 16"
3747	1517597.413	459115.3437	121.662	OAK 13"
3749	1517554.123	459123.3183	122.282	OAK 15"
3751	1517549.985	459122.717	122.443	OAK 18"
3753	1517546.109	459123.1868	122.226	OAK 12"
3755	1517565.501	459036.4647	124.42	OAK 13"
3757	1517499.768	459001.9086	124.997	OAK 15"
3759	1517602.957	459041.086	124.676	OAK 17"
3761	1517448.022	459033.8078	125.273	OAK 15"
3763	1517426.601	459008.0042	125.539	OAK 15"

POINT NUMBER	NORTING	EASTING	ELEVATION	TREE TYPE
3765	1517425.155	458975.0784	125.397	OAK 14"
3767	1517461.342	458974.0126	125.456	OAK 13"
3769	1517479.682	459079.0535	128.085	OAK 22"
3771	1517484.148	459079.0539	128.63	OAK 33"
3773	1517408.044	459163.2433	124.596	OAK 13"
3775	1517588.411	459335.6382	122.308	OAK 24"
3777	1517630.683	459335.7262	122.837	OAK 18"
3779	1517635.338	459397.1971	122.584	OAK 23"
3781	1517640.243	459426.0833	122.726	OAK 13"
3783	1517637.481	459450.4448	121.857	OAK 20"
3785	1517643.11	459484.2501	121.572	OAK 22"
3787	1517615.198	459488.5188	121.854	OAK 29"
3789	1517612.421	459513.2886	122.294	OAK 27"
3791	1517619.163	459540.0464	122.245	OAK 24"
3793	1517643.454	459546.8215	122.052	OAK 58"+11"+10"
3795	1517622.796	459578.696	120.999	OAK 19"+17"+9"
3797	1517643.105	459590.2027	120.855	OAK 54"
3801	1517588.079	459628.2345	120.57	OAK 28"
3803	1517565.851	459627.3615	120.459	OAK 13"+14"
3805	1517551.876	459631.2099	120.481	OAK 12"+17"
3807	1517517.797	459632.0904	120.478	OAK 15"
3809	1517527.094	459628.0532	120.531	OAK 29"
3811	1517491.698	459630.3925	120.747	OAK 14"
3813	1517466.454	459625.3634	121.154	OAK 28"+9"
3815	1517447.943	459628.2614	121.889	OAK 24"
3817	1517419.353	459627.6404	121.955	OAK
3819	1517411.044	459594.3329	121.951	11"+9"+10"+12"
3821	1517303.586	459531.7481	124.664	OAK 17"
3823	151761.549	459508.9524	122.439	OAK 32"
3825	1517197.438	459510.7668	124.706	OAK 15"+15"+25"+12"
3827	1517211.098	459575.4534	123.03	OAK 40"+19"
3829	1517256.844	459559.5767	123.063	OAK 35"
3831	1517116.909	457965.2668	128.609	OAK 12"
3833	1517121.77	457879.9891	129.129	OAK 15"
3835	1517185.573	457772.7838	128.051	OAK 16"+18"+22"+20"
3837	1517162.135	457737.3816	128.488	OAK 24"+11"
3839	1517180.163	457669.5422	128.867	OAK 19"+10"
3841	1517140.289	457608.8709	127.965	OAK 16"
3843	1517637.846	457475.4038	127.548	OAK 12"
3845	1517381.331	457469.3239	126.159	OAK 33"
3847	1517363.151	457452.9763	127.487	OAK 22"
3849	1517354.713	457464.4729	127.074	OAK 20"+19"
3851	1517332.349	457471.8539	128.751	OAK 16"
3853	1517334.546	457451.5971	129.511	OAK 12"
3855	1517294.568	457552.4835	127.505	OAK 14"
3857	151747.034	457897.9637	128.249	OAK 14"
3859	1517178.281	457899.6764	126.001	OAK 15"
TOTAL				97





Denham Engineering, LLC
 Orlando: 407-217-6487
 Clermont: 352-989-1919
 Brian@DenhamENG.com
 www.DenhamENG.com

Foundation Academy
 15304 Tilden Road
 Winter Garden, FL 34787
 Ph: 407-330-5052

Foundation Academy
 Phase 2
 Winter Garden, FL

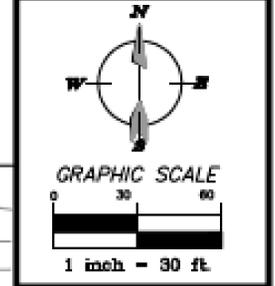
Construction Plans

Erosion Control & Demolition Plan 1-NW

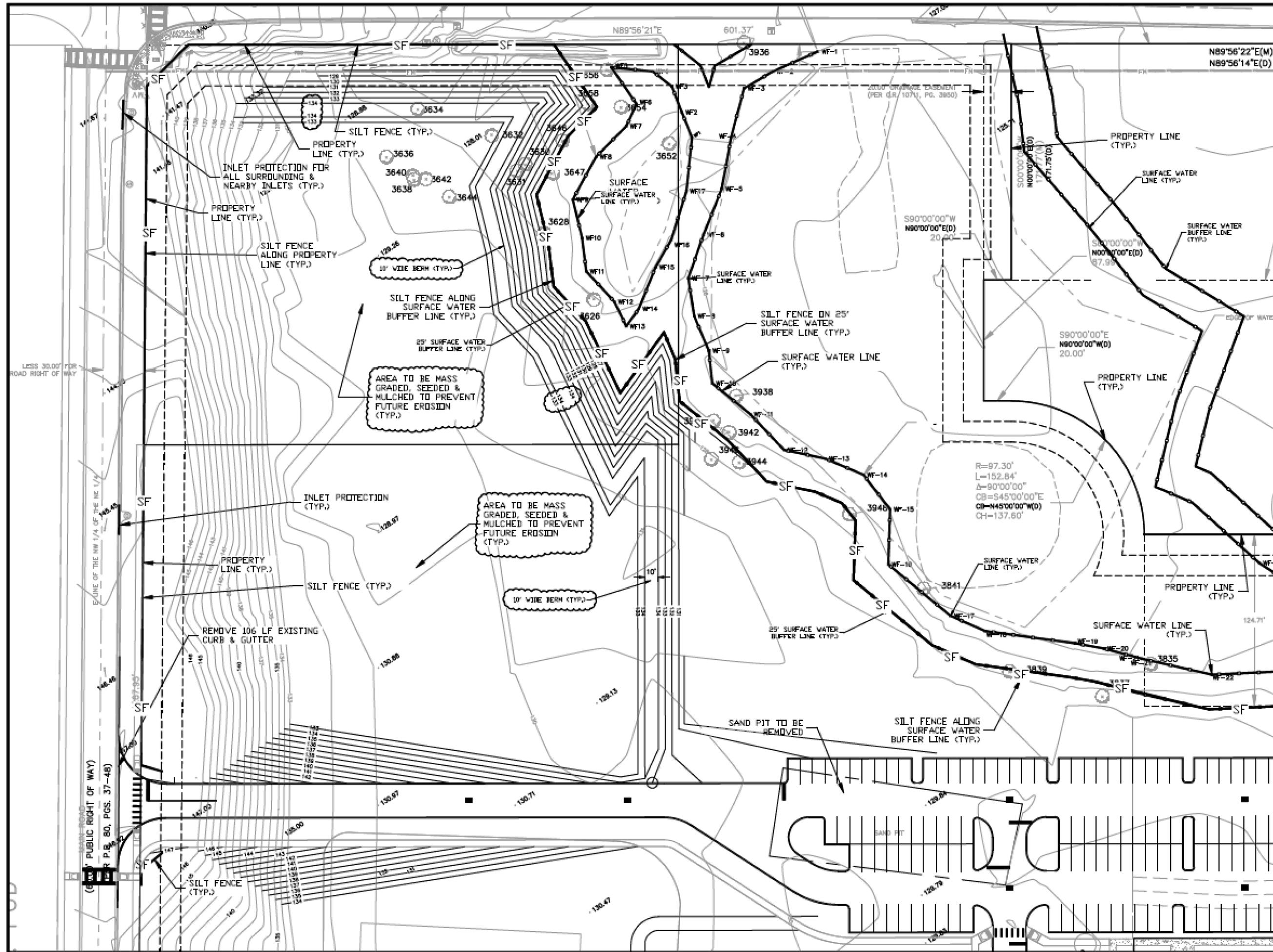
Revisions		
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1	02-27-10	Initial Issue
2	11-20-10	ADD Demolition
3	01-29-11	Submittal Set
4	03-22-11	Updated Top Survey
5	05-17-11	Per Winter Garden & LORRAE
6	07-23-11	Per LORRAE
7	09-20-11	Per LORRAE
8		
9		
10		

Plans not valid unless signed, dated and sealed below.

J. Brian Denham, P.E.
 Date: 09-20-11
 FL Registration 0000006
 Certificate of Authorization 0000000

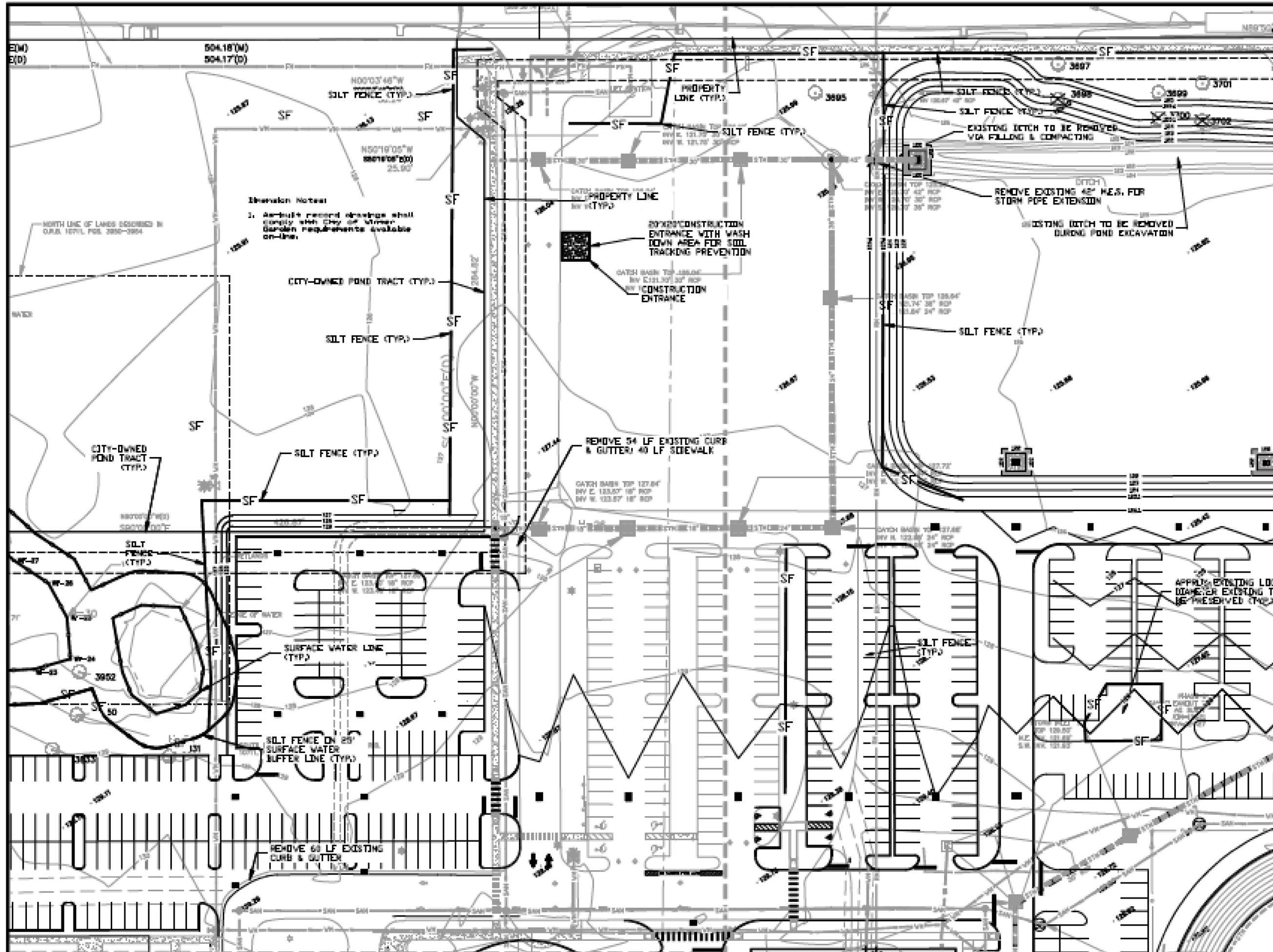


Sheet Number
4A of 61



LESS 30.00' FOR ROAD RIGHT OF WAY

PUBLIC RIGHT OF WAY
 P.L. 80, PGS. 37-48



Scales: 811-37

Denham
Engineering, LLC

Orlando: 407-317-8487
 Clearwater: 882-982-1918
 denham@denham2010.com
 www.Denham2010.com

Foundation Academy
 18204 Tilden Road
 Water Garden, FL 34717
 Tel: 407-320-0822

Foundation Academy
 Phase 2
 Water Garden, FL

Construction Plans

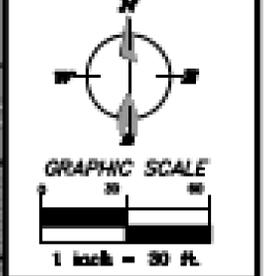
Erosion Control & Demolition Plan 2-N

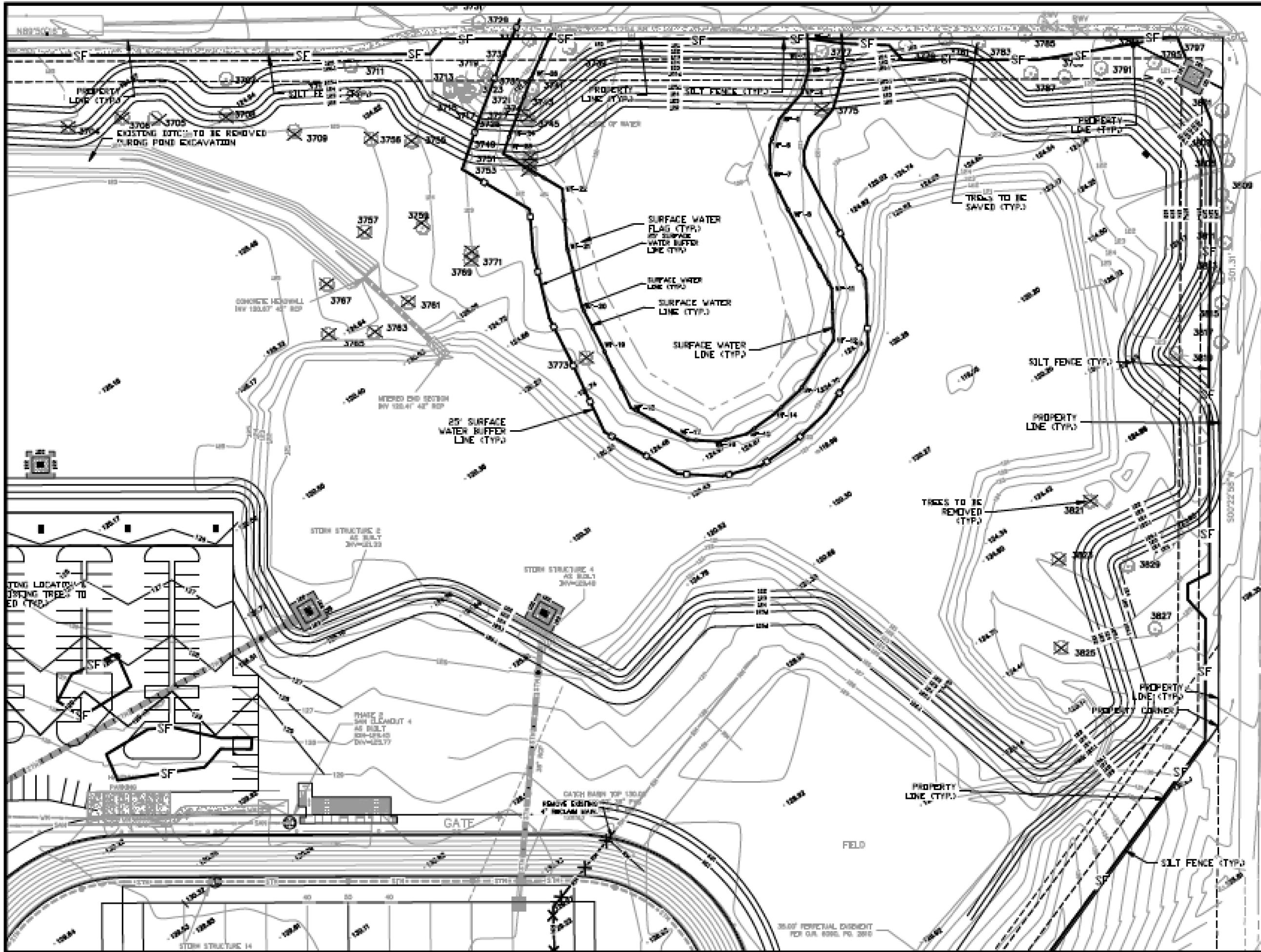
Revisions

NO.	DATE	REVISION
1	11-11-10	Issue for bid
2	11-11-10	Issue for bid
3	11-11-10	Issue for bid
4	11-11-10	Issue for bid
5	11-11-10	Issue for bid
6	11-11-10	Issue for bid
7	11-11-10	Issue for bid
8	11-11-10	Issue for bid
9	11-11-10	Issue for bid
10	11-11-10	Issue for bid

Plan as noted unless noted
 Detail and schedule notes.

J. Brian Gorman, P.E.
 Date: 11-11-10
 11/11/10
 Director of Architecture/Design





Spheros 811-37

Denham
Engineering, LLC

Defender: 407-317-9487
 Chairman: 352-989-1916
 denham@denham2012.com
 www.Denham2012.com

Foundation Academy
18304 Tilden Road
Water Garden, FL 34787
Tel: 407-350-0632

Foundation Academy
Phase 2
Water Garden, FL

Construction Plans

Erosion Control & Demolition Plan 3-NE

Revisions

NO.	DATE	REVISION
1	10-20-12	Initial Design
2	11-15-12	Final Design
3	12-10-12	Construction Set
4	01-10-13	Final Design
5	02-15-13	Final Design
6	03-15-13	Final Design
7	04-15-13	Final Design
8	05-15-13	Final Design
9	06-15-13	Final Design
10	07-15-13	Final Design

Please see other related Plans, Plans and Specifications.

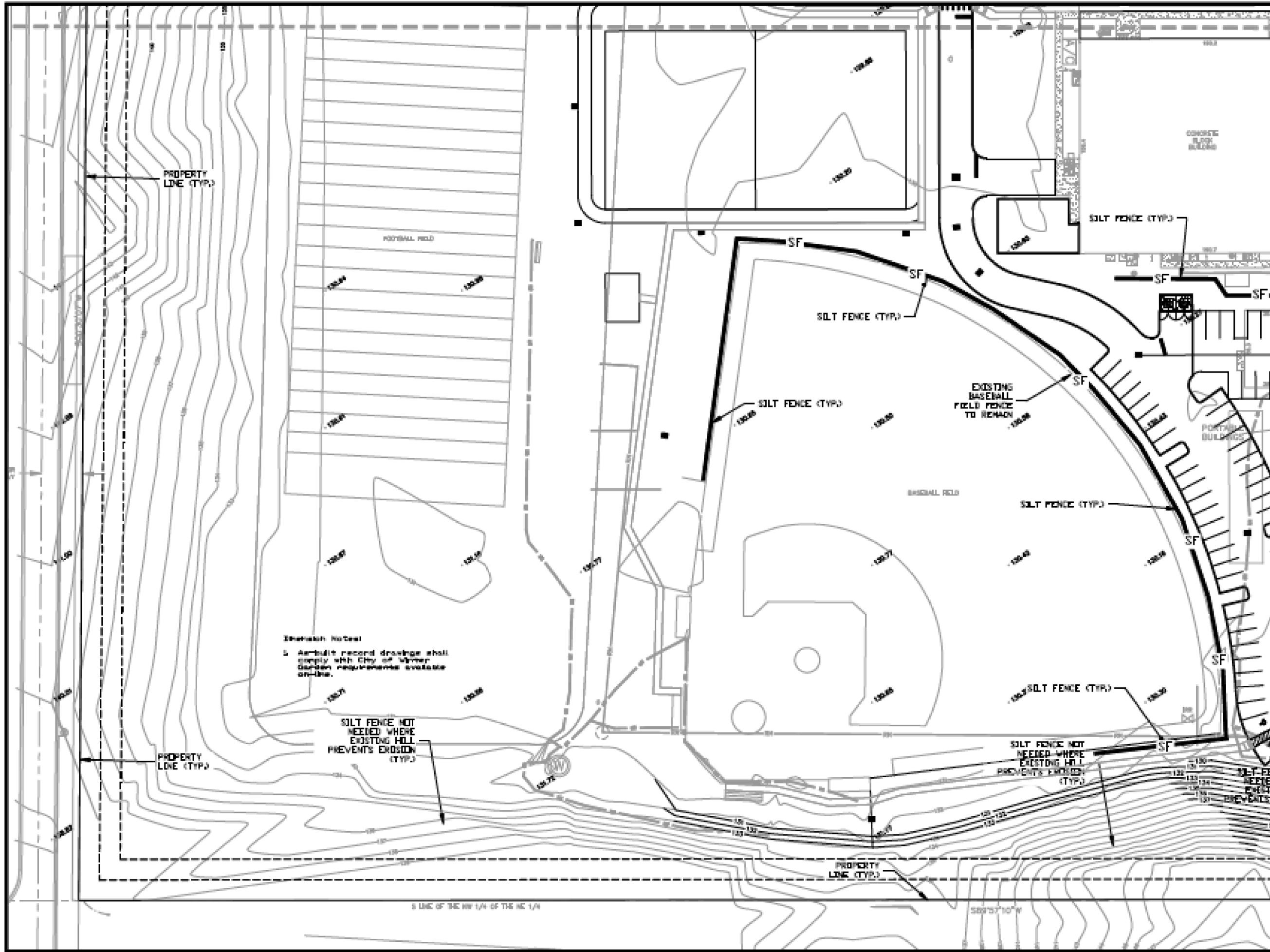
J. Brian Denham, P.E.
Date: 10-20-12
P.E. Registration No. 12000
Certification of Authorization: 000000

N

GRAPHIC SCALE

1 inch = 30 ft.

Sheet Number
4C of 61



Sheet No. 4D of 61

Denham Engineering, LLC
 Orlando: 407-217-9487
 Clearwater: 888-688-1916
 Orlando: 407-217-9487
 www.DenhamENG.com

Foundation Academy
 1204 Thibodaux Road
 Winter Garden, FL 34787
 Tel: 407-350-0022

Foundation Academy
 Phase 2
 Winter Garden, FL

Construction Plans

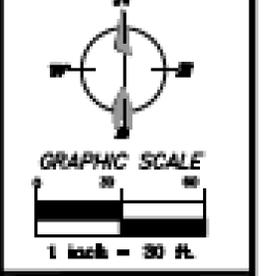
Erosion Control & Demolition Plan 4-SW

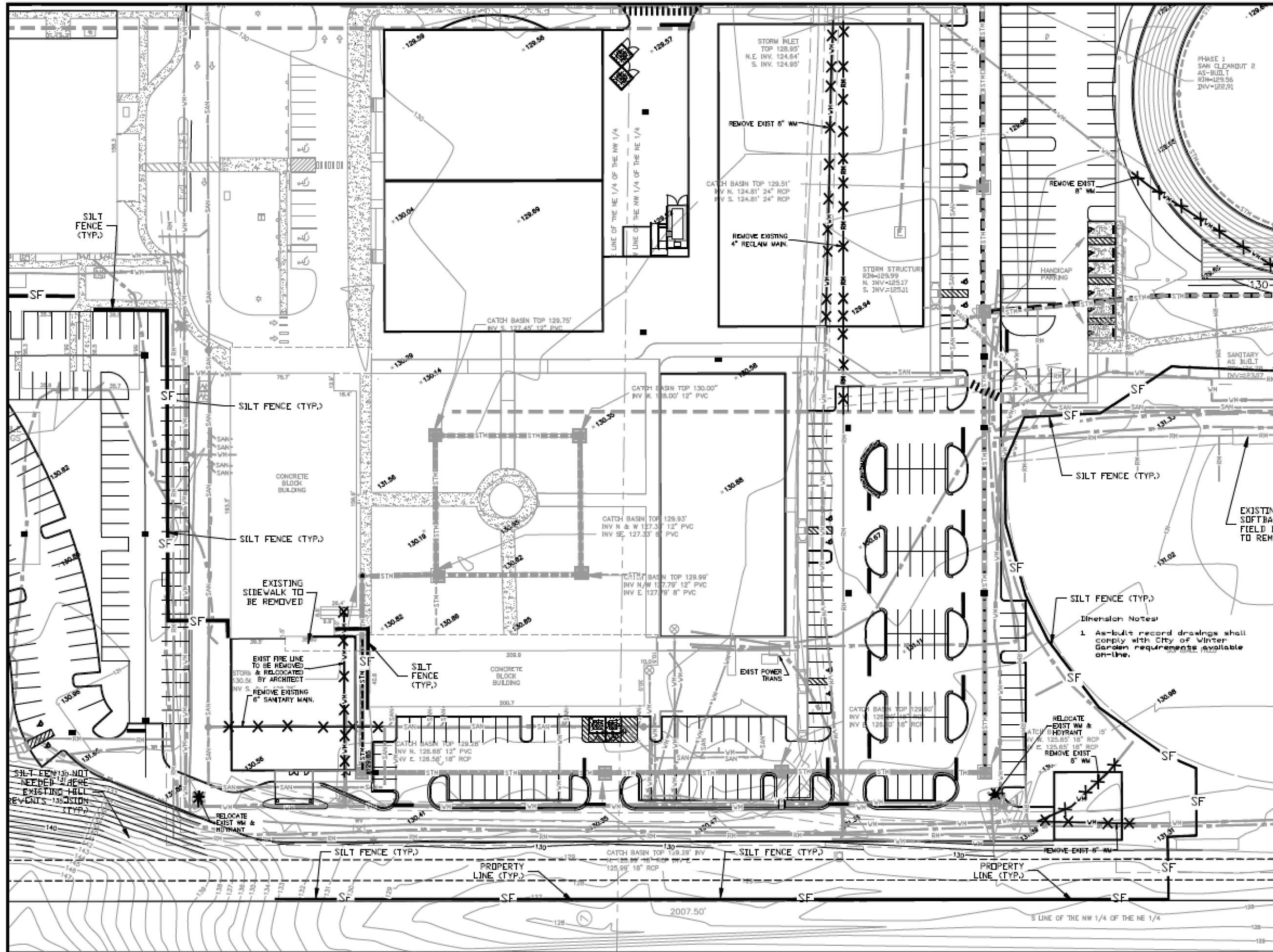
Revisions

No.	Date	Revision
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59	08/11/11	Issue for Bid
60	08/11/11	Issue for Bid
61	08/11/11	Issue for Bid

Plan set shall comply with Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction.

J. Scott Denham, P.E.
 State of Florida
 Professional Engineer
 License No. 12000
 State of Florida Department of Transportation





Regulation 6-11-17

Denham Engineering, LLC
 Orlando: 407-217-6487
 Clermont: 352-989-1915
 Brian@DenhamENG.com
 www.DenhamENG.com

Foundation Academy
 15904 Tilden Road
 Winter Garden, FL 34787
 Ph: 407-230-5052

Foundation Academy Phase 2
 Winter Garden, FL

Construction Plans

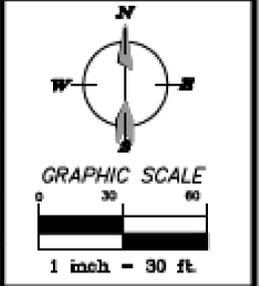
Erosion Control & Demolition Plan 5-S

Revisions

NO.	DATE	REVISION
1	10-21-16	Initial Issue
2	11-20-16	ADD Drainage
3	12-29-16	Submittal Set
4	01-26-17	Updated Topo Survey
5	02-17-17	Per Winter Garden & CEMCO
6	03-23-17	Per CEMCO
7	05-02-17	Per CEMCO
8		
9		
10		

Plans not valid unless signed, Dated and Sealed below.

J. Brian Denham, P.E.
 Date: 05-29-17
 FL Registration 0000000
 Certificate of Authorization 0000000

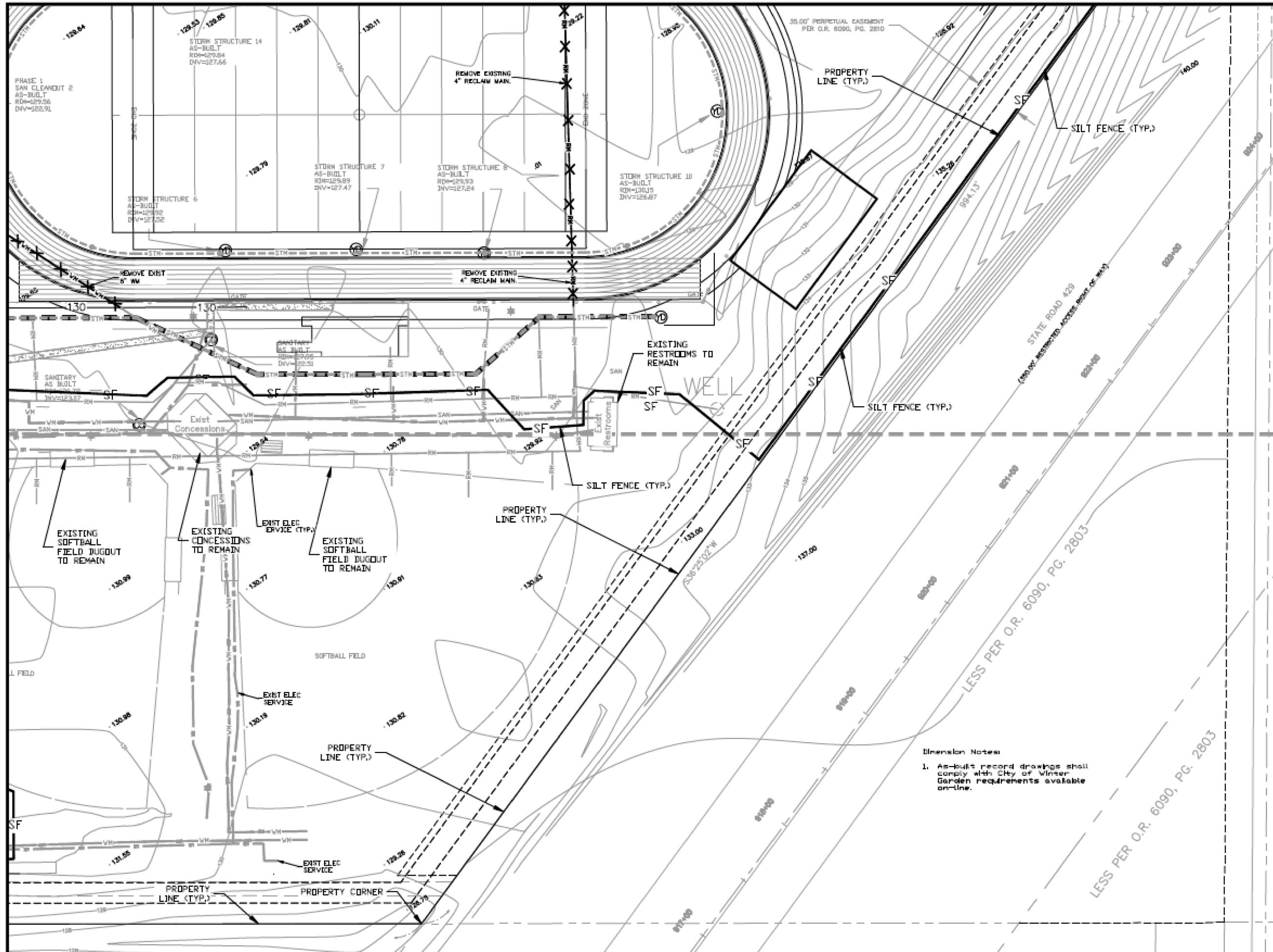


Sheet Number
4E of 61

Dimension Notes
 1. As-built record drawings shall comply with City of Winter Garden requirements available on-line.

SILT FENCE NOT NEEDED WHERE EXISTING HILL PREVENTS EROSION (TYP.)

EXISTING SOFTBALL FIELD DUE TO REMAIN



Registration #11-17

Denham
Engineering, LLC
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Clermont: 352-989-1915
Brien@DenhamENG.com
www.DenhamENG.com

Foundation Academy
15304 Tilden Road
Winter Garden, FL 34787
Ph: 407-230-5052

Foundation Academy
Phase 2
Winter Garden, FL

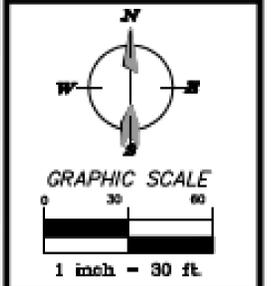
Construction Plans

Erosion Control & Demolition Plan 6-SE

Revisions		
NO.	DATE	REVISION
1	07-27-18	Initial Issue
2	11-20-18	REV Drawings
3	01-22-19	Revised for
4	01-22-19	Updated Site Survey
5	01-17-19	For Winter Garden & Clarified
6	01-22-19	for Clarified
7	01-22-19	for Clarified
8		
9		
10		

Plans not valid unless signed, dated and sealed below.

J. Brian Denham, P.E.
Date: 01-22-19
FL Registration #28802
Certificate of Authorization #29666



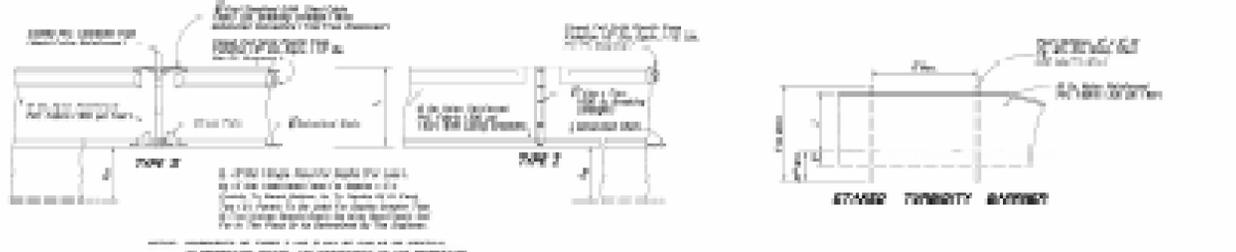
Sheet Number
4F of 61

- Dimension Notes
- As-built record drawings shall comply with City of Winter Garden requirements available on-line.

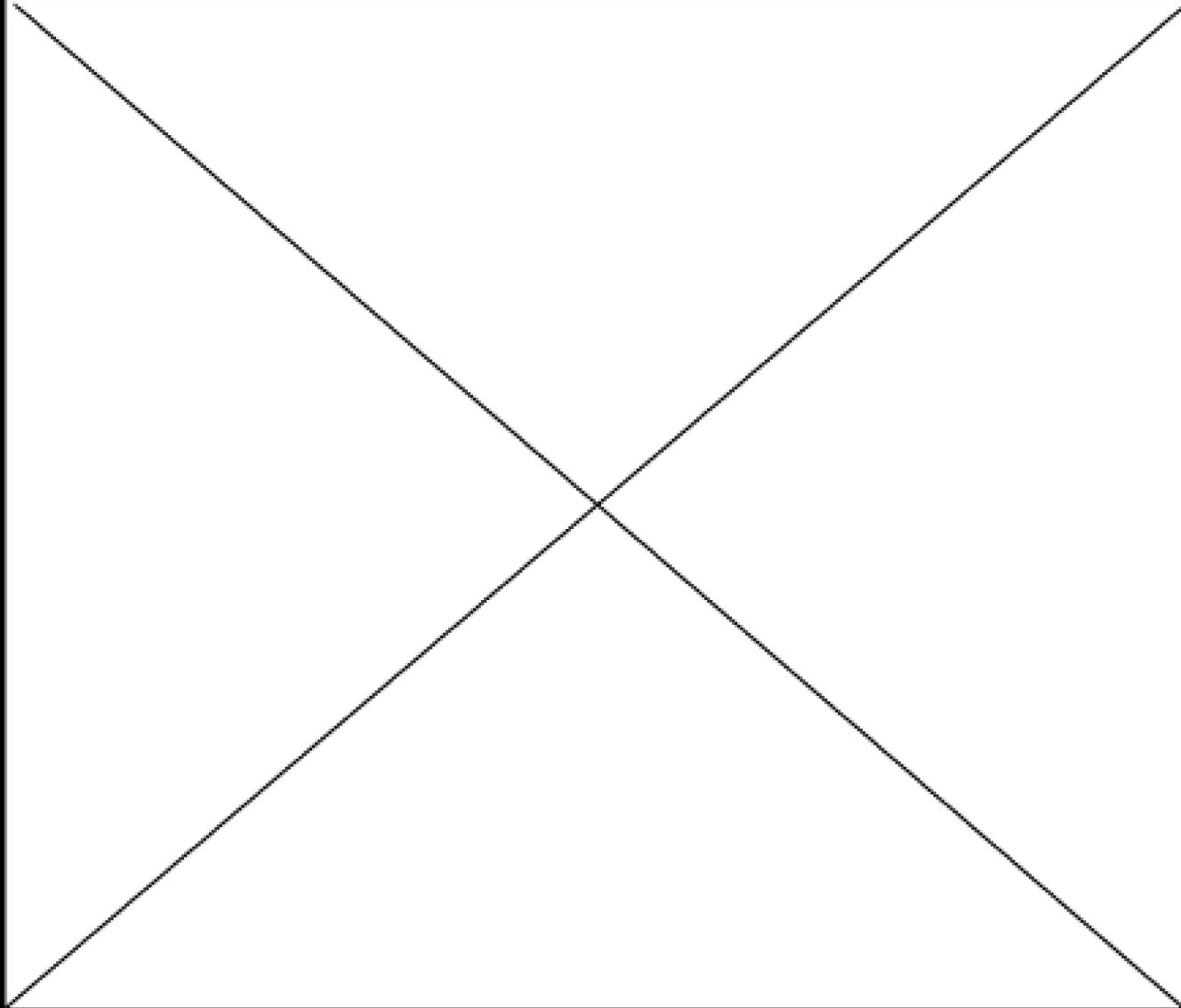
LESS PER O.R. 6090, PG. 2803
LESS PER O.R. 6090, PG. 2803



- MINIMUM SILT FENCE**
1. Silt fence shall be installed in accordance with the following:
 2. Silt fence shall be installed in accordance with the following:
 3. Silt fence shall be installed in accordance with the following:
 4. Silt fence shall be installed in accordance with the following:
- MINIMUM SILT FENCE**
1. Silt fence shall be installed in accordance with the following:
 2. Silt fence shall be installed in accordance with the following:
 3. Silt fence shall be installed in accordance with the following:
 4. Silt fence shall be installed in accordance with the following:



- STAGED TURBIDITY BARRIER**
1. Silt fence shall be installed in accordance with the following:
 2. Silt fence shall be installed in accordance with the following:
 3. Silt fence shall be installed in accordance with the following:
 4. Silt fence shall be installed in accordance with the following:



Erosion Control Notes

1. Erosion control measures are to be taken to ensure protection of surrounding properties, roads, utilities and any other objects that are not under control of the owner as well as existing developments to be sited under control of owner.
2. The contractor shall protect all existing & proposed stormwater collection systems from damage by sediment or other construction related causes.
3. Name, location and invert elevations of existing drains to be verified by the contractor prior to construction. Existing underground utilities have been shown based on the best information available. The contractor is responsible for verifying location of all utilities prior to beginning any excavation.
4. Silt fence shall be installed around the entire perimeter of the site or on areas on the drawing prior to construction. Additional measures are shown as required. Additional details are to be utilized as needed, dependent upon actual site conditions and construction operations. See detail sheets and specifications for additional information on erosion control.
5. Erosion control shall be maintained when construction areas by quickly establishing disturbed areas to prevent the release of sediments. This shall be accomplished using silt, silt/fabric fences, SOT hay bales, and other means acceptable to local municipality, water management district, DEP, owner, engineer and other regulatory agencies.
6. This Storm Water Pollution Prevention Plan (SWPPP) is for providing only Contractor to submit a separate SWPPP & notice of Erosion (NEC) along by the owner, to the Florida Department of Environmental Protection (FDEP) consistent with the contractor's anticipated means and methods of construction prior to commencement of construction.
7. Inspecting and erosion control during construction shall be followed in accordance with the technical specifications and the NPDES permit. Contractor to prepare a site specific storm water Pollution Prevention Plan (SWPPP) specific to the proposed means & methods and obtain NPDES SWPPP and discharge permit from regulatory agencies. Contractor to have project monitored and maintained by certified inspection company for compliance with NPDES permit & DEP regulations.
8. Coarse excavated material shall be disposed of off-site by the contractor. Coarse material is not to be placed in good upland specifically authorized by geotechnical engineers. Inland building or sediment traps/ponds is not to be placed in ponds. Contractor to obtain a permit to have fill or excess material off-site if necessary.
9. Stormwater infrastructure (low walls, storm pipes, HCB's, ponds & similar structures) to be in place and operating prior to construction of impervious areas (ing. roadway base, building pads, etc.)
10. Portable silt/fabric fences shall be placed in front of all drainage curb inlets and provide proper silt/fabric under the grate of all storm drainage inlets after final completion of the drainage structures to protect all storm drainage inlets and pipes from silt, sand and debris during construction. Any accumulation within the storm drainage pipe system shall be removed without jacking or flushing into ponds or wetlands. Pond bottoms, and ditches as necessary, shall be scraped & scarified to remove any buildup of silt, clay or other sediment that may prevent permeability of water into the soils as described by Denham Engineering, LLC. Retain these measures until:
11. All storm drainage inlets and pipes shall be protected from silt, sand and debris during construction. Any accumulation within the storm drainage system shall be removed without jacking or flushing into ponds.
12. Sediment buildup in pipes and at pond bottoms to be removed prior to final grading, stabilization and sealing of ponds.
13. Sediment buildup at all inlets to be removed on a consistent basis, identified by contractor, to avoid potential barrier failure. Headers to barriers to be repaired promptly.
14. Contractor must implement sediment best management practices as necessary, in accordance with the specifications in Section 6 of the Florida Land Development Rules, & 625 to Local and Water Management District, Florida Department of Environmental Regulation, latest edition.
15. For sediment erosion control, slopes greater than 4:1 shall be seeded. Slopes of 4:1 or less may be seeded & mulched. All pond slopes to be seeded. Contractor to verify acceptability of seed material type with local municipality.
16. Contractor to assess all finished paved streets and existing paved streets adjacent to the construction site continuously as necessary to prevent erosion run, dirt or mud from leaving the construction site. All construction vehicles that are tracked highly restricted, to and from the construction site will be covered with a tarp. Temporary stabilized or rock construction equipment, as well as other such areas, may be required to remove excess dirt and mud from these before construction vehicles enter adjacent paved streets.
17. Erosion control to be maintained by contractor until accepted by owner.
18. The City has specific requirements for demolition activities through the Public Work program, see the City's Land Development Code for these requirements. Coordinate this with County regarding removal of demolition materials.

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 www.DenhamENG.com

Foundation Academy
 12204 Tilden Road
 Winter Garden, FL 34787
 Ph: 407-350-0822

Foundation Academy
 Phase 2
 Winter Garden, FL

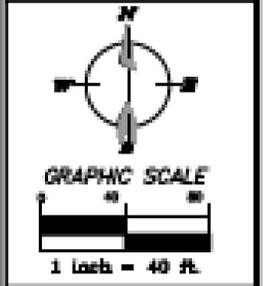
Construction Plans

Erosion Control & Demolition Plan 7

Revisions		
No.	Date	Description
1	04-21-11	Issue for bid
2	05-27-11	Revised for
3	06-17-11	Revised for other items & notes
4	07-20-11	Revised for notes
5	08-01-11	Revised for notes
6		
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10		

Plan provided under Permit, Road and Utility Notes.

J. Brian Denham, P.E.
 Date: 04-21-11
 Title: Project Engineer
 Certificate of Authorization: 00000000





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Tel: 407-250-0822

Foundation Academy
Phase 2
Winter Garden, FL

Construction Plans

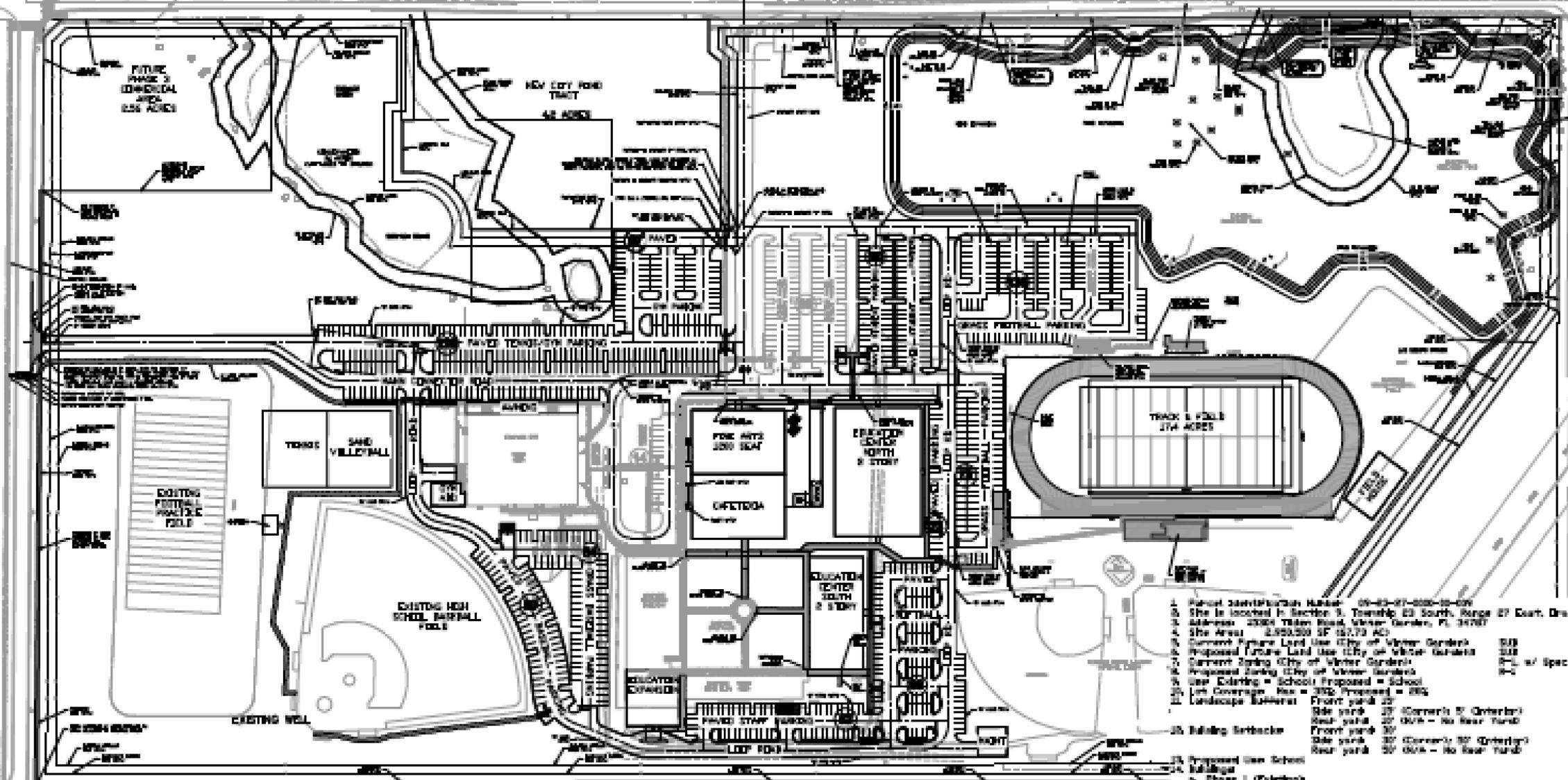
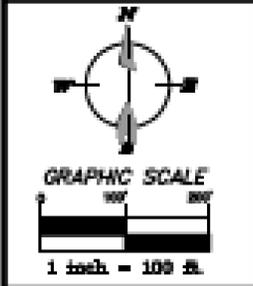
Master Plan

Revisions	
1	10-11-11
2	10-11-11
3	10-11-11
4	10-11-11
5	10-11-11
6	10-11-11
7	10-11-11
8	10-11-11
9	10-11-11
10	10-11-11

Plan as noted unless noted, detail and field notes.

J. Brian Denham, P.E.

Date: 10-11-11
Project: 12994 TILDEN ROAD
City of Winter Garden



- 1 Parcel Identification Number: 09-03-07-000-00-000
- 2 Site is located in Section 3, Township 23 South, Range 27 East, DeSoto County, FL
- 3 Address: 12994 Tilden Road, Winter Garden, FL 34787
- 4 Site Area: 2,520,000 SF (72.73 AC)
- 5 Current Future Land Use (City of Winter Garden): S18
- 6 Proposed Future Land Use (City of Winter Garden): S18
- 7 Current Zoning (City of Winter Garden): R-1
- 8 Proposed Zoning (City of Winter Garden): R-1
- 9 Use Category: Schools Proposed = School
- 10 Use Category: Schools Proposed = School
- 11 Lot Coverage: Max = 30% Proposed = 28%
- 12 Landscape Buffer: Front yard 20'
- 13 Side yard 20' (Corner: S' Corner)
- 14 Rear yard 20' (Corner: S' Corner) - No Rear Yard
- 15 Building Setback: Front yard 30'
- 16 Side yard 30' (Corner: S' Corner)
- 17 Rear yard 30' (Corner: S' Corner) - No Rear Yard
- 18 Proposed Use School
- 19 Building
- 20 Classroom
- 21 Lab
- 22 Cafeteria
- 23 Support Restrooms
- 24 Support Concessions
- 25 Gym
- 26 Stage & Performance
- 27 Field House
- 28 Fine Arts
- 29 Cafeteria
- 30 Education Center North
- 31 Education Center South
- 32 Maintenance Building
- 33 Education Expansion
- 34 Gym Addition
- 35 Total Area: 2,620,000 SF
- 36 Height Allowed = 50 FT Proposed = 50 FT.
- 37 Stories Proposed = 2
- 38 Parking
- 39 Spaces Provided = 873 paved + 873 grass = 871 Total
- 40 Student Provided = 529 Paved for 1000 students = 1 space / 80 students
- 41 Staff Provided = 70 Paved for 50 staff = 1 space / 60 staff
- 42 Handicap Spaces: Required = 8% of total = 18 Provided = 18
- 43 Open Space: 20%
- 44 Construction shall 20 yr. Flood plain is not proposed.
- 45 Storm water treatment via dry detention system.
- 46 The Flooded Plain, Detention shall exceed the 100 year flood plain for the adjacent water body or the project shall water management system by a min. of two feet.
- 47 Wetlands - on site at SC corner.
- 48 Utilities
- 49 Water, Sanitary Sewer & Gas Provider = City of Winter Garden.
- 50 All D-20s utilities shall be privately owned & maintained.
- 51 Solid Waste by private contract.
- 52 Pre-construction meetings with the City are required prior to commencement of construction.
- 53 Project to comply with 2010 FL Accessibility Code.
- 54 All signs to be installed.
- 55 All storage shall comply with city land development code & require a separate building permit.
- 56 All dumpster enclosures and site lighting shall require a separate building permit.
- 57 The furnishings (benches, receptacles, and bike racks) should be decorative in nature, heavy-duty and suitable for the outdoor environment.
- 58 Fencing - 2' High
- 59 Student Capacity: 1000 Students allowed per 100 Existing student count = 1000
- 60 Any building over 5000 SF shall be provided with a fire sprinkler system and a monitored fire alarm system. Each fire shall be no higher than 7' from finished floor and shall be monitored by the fire alarm system or burglar alarm system.



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Ph: 407-230-5052

Foundation Academy
Phase 2
Winter Garden, FL

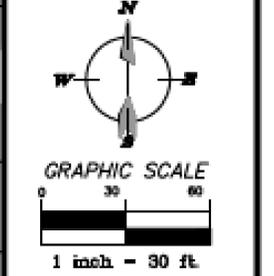
Construction Plans

Dimension Plan 1-NW

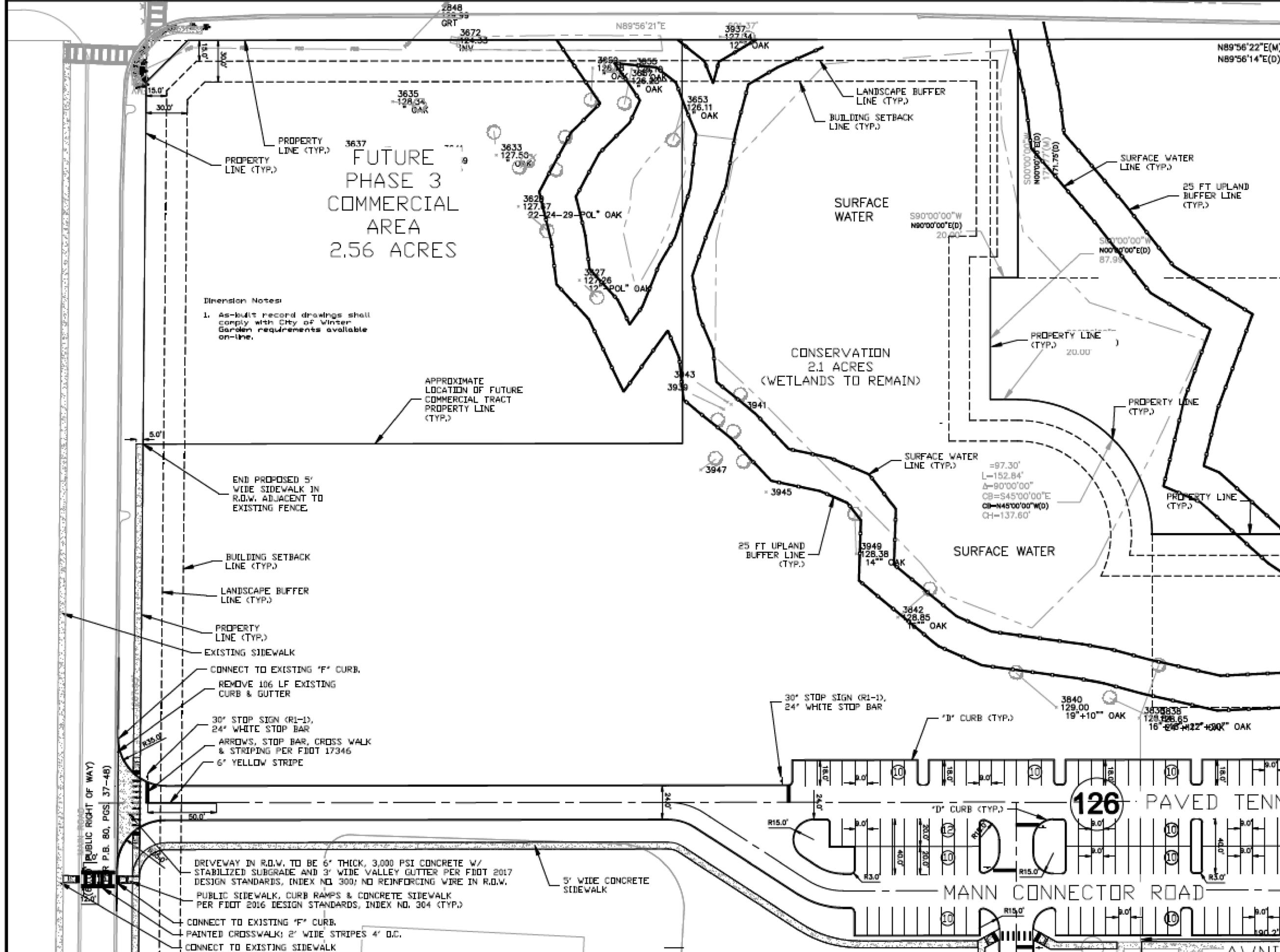
Revisions		
NO.	DATE	REVISION
1	07-27-18	Issue Issue
2	07-28-18	REV Drawing
3	07-28-18	Revised for
4	07-28-18	Updated Top Survey
5	07-11-18	For Winter Garden 2 Survey
6	07-23-18	For Survey
7	07-27-18	For Survey
8		
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10		

Plans not valid unless signed, dated and sealed below.

J. Brian Denham, P.E.
Date: 07-27-18
FL Registration #18800
Certificate of Authorization #18800



Sheet Number
6A of 61



FUTURE PHASE 3 COMMERCIAL AREA 2.56 ACRES

CONSERVATION 2.1 ACRES (WETLANDS TO REMAIN)

Dimension Notes
1. As-built record drawings shall comply with City of Winter Garden requirements available on-line.

APPROXIMATE LOCATION OF FUTURE COMMERCIAL TRACT PROPERTY LINE (TYP.)

END PROPOSED 5' WIDE SIDEWALK IN R.O.W. ADJACENT TO EXISTING FENCE.

BUILDING SETBACK LINE (TYP.)

LANDSCAPE BUFFER LINE (TYP.)

PROPERTY LINE (TYP.)

EXISTING SIDEWALK

CONNECT TO EXISTING 'F' CURB.

REMOVE 106 LF EXISTING CURB & GUTTER

30' STOP SIGN (R1-1), 24" WHITE STOP BAR

ARROWS, STOP BAR, CROSS WALK & STRIPING PER FDOT 17346

6" YELLOW STRIPE

DRIVEWAY IN R.O.W. TO BE 6" THICK, 3,000 PSI CONCRETE W/ STABILIZED SUBGRADE AND 3" WIDE VALLEY GUTTER PER FDOT 2017 DESIGN STANDARDS, INDEX NO. 300; NO REINFORCING WIRE IN R.O.W.
PUBLIC SIDEWALK, CURB RAMPS & CONCRETE SIDEWALK PER FDOT 2016 DESIGN STANDARDS, INDEX NO. 304 (TYP.)

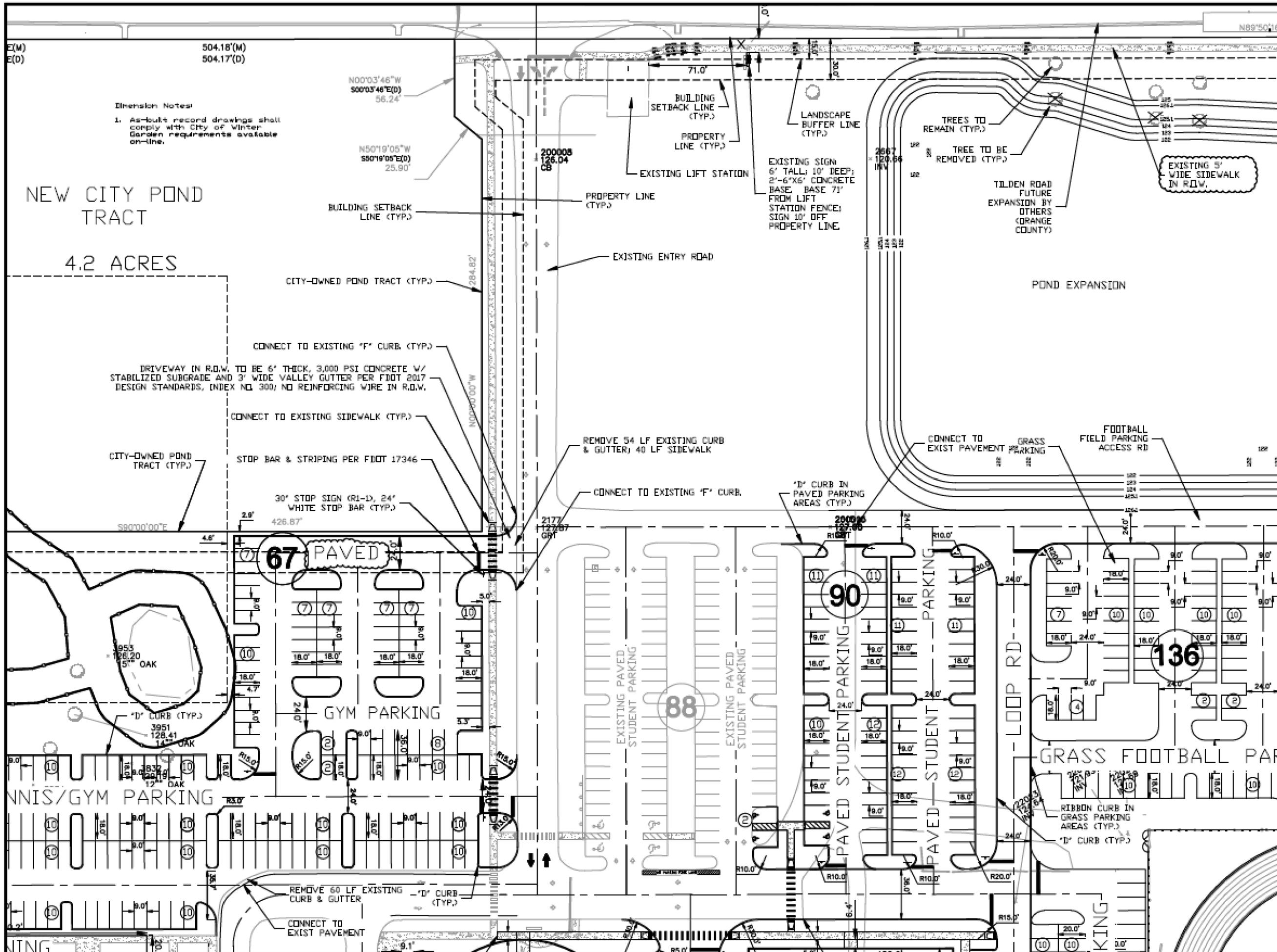
CONNECT TO EXISTING 'F' CURB.
PAINTED CROSSWALK; 2" WIDE STRIPES 4" O.C.
CONNECT TO EXISTING SIDEWALK

5' WIDE CONCRETE SIDEWALK

126 PAVED TENN

MANN CONNECTOR ROAD

PUBLIC RIGHT OF WAY
R.P.B. 80, POS. 37-48



Dimension Notes
 1. As-built record drawings shall comply with City of Winter Garden requirements available on-line.

NEW CITY POND TRACT
 4.2 ACRES



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 www.DenhamENG.com

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Foundation Academy
 Phase 2
 Winter Garden, FL

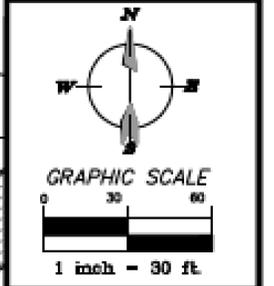
Construction Plans

Dimension Plan 2-N

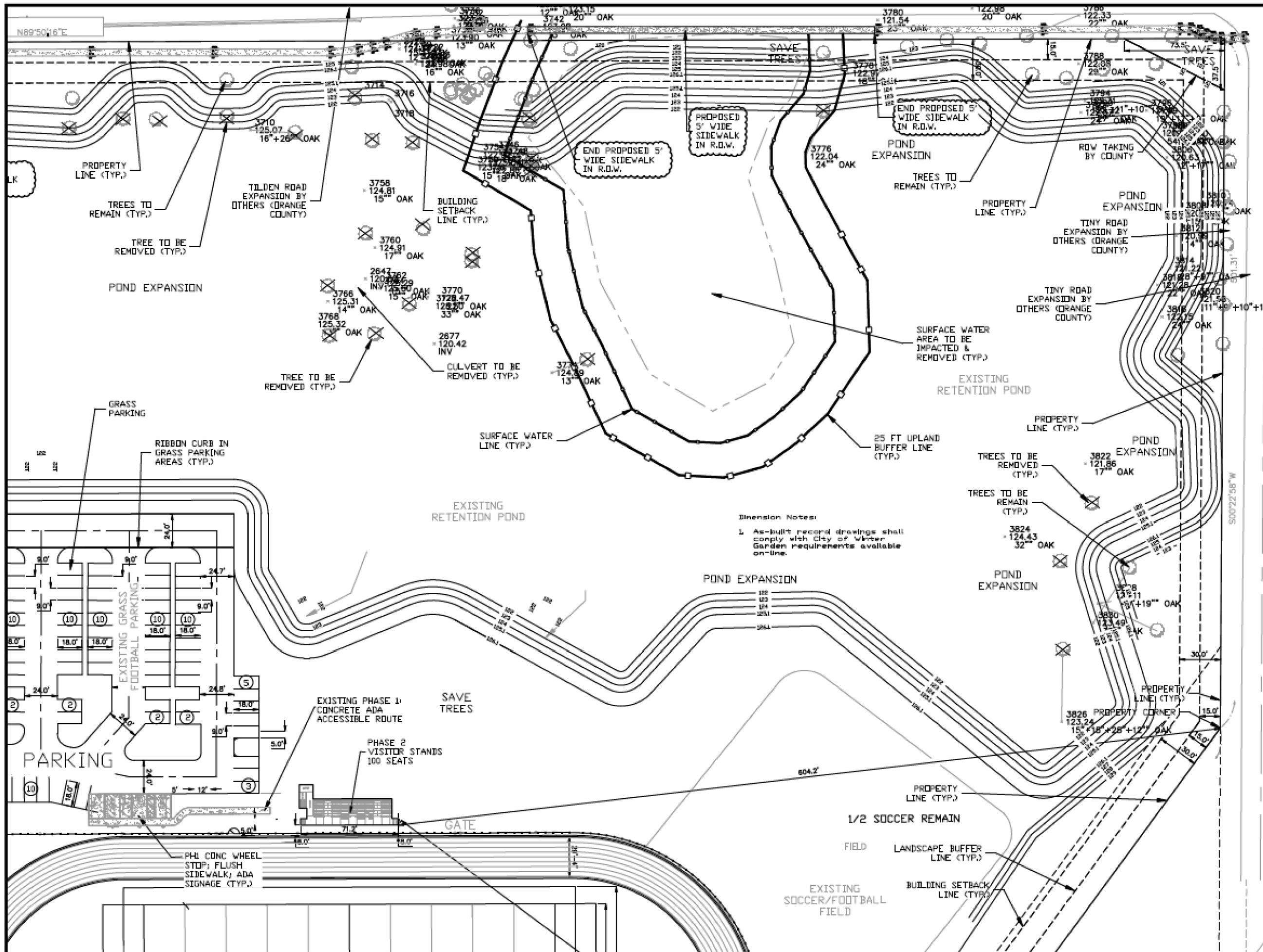
Revisions		
NO.	DATE	REVISION
1	02-07-18	Issue Set
2	01-30-18	REV Drawing
3	01-26-18	Revised Site
4	01-26-18	Updated Site Survey
5	01-11-18	Per Winter Garden & LAFD
6	01-23-18	Per LAFD
7	01-23-18	Per LAFD
8		
9		
10		

Plans not valid unless signed, dated and sealed below.

J. Brian Denham, P.E.
 Date: 01-23-18
 FL Registration 000004
 Certificate of Authorization 000000



Sheet Number
6B of 61



Dimension Notes:
 1. As-built record drawings shall comply with City of Winter Garden requirements available on-line.

Revision 6-11-17

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Foundation Academy Phase 2
 Winter Garden, FL

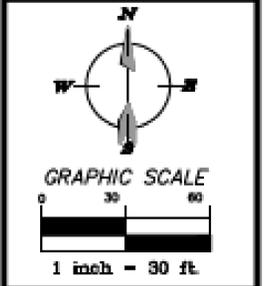
Construction Plans

Dimension Plan 3-NE

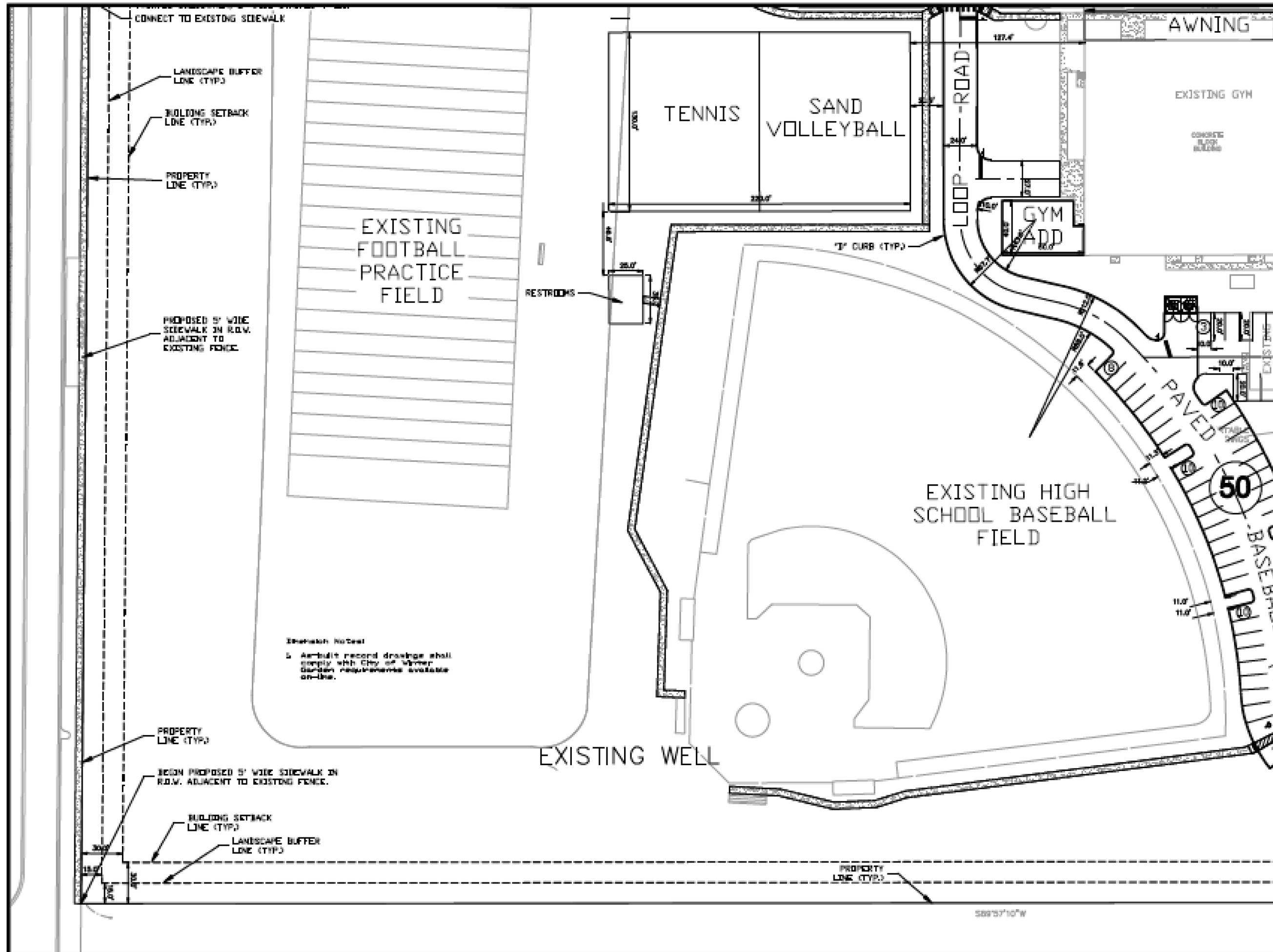
Revisions		
NO.	DATE	REVISION
1	02-01-18	Initial Issue
2	01-20-18	REV Drawing
3	01-09-18	Revised Set
4	02-08-18	Updated Site Survey
5	02-11-18	Survey Added East Wetland Line
6	02-11-18	Per Winter Garden & SURFAS
7	02-02-18	Per SURFAS
8	02-02-18	Per SURFAS
9		
10		

Plans not valid unless signed, dated and sealed below.

J. Brian Denham, P.E.
 Date: 02-02-18
 FL Registration #00004
 Certificate of Authorization #00000



Sheet Number
6C of 61



Sketch not to scale
 1. As-built record drawings shall comply with City of Winter Garden requirements available on-line.

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 www.DenhamENG.com

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Foundation Academy
 Phase 2
 Winter Garden, FL

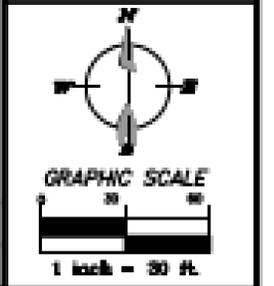
Construction Plans

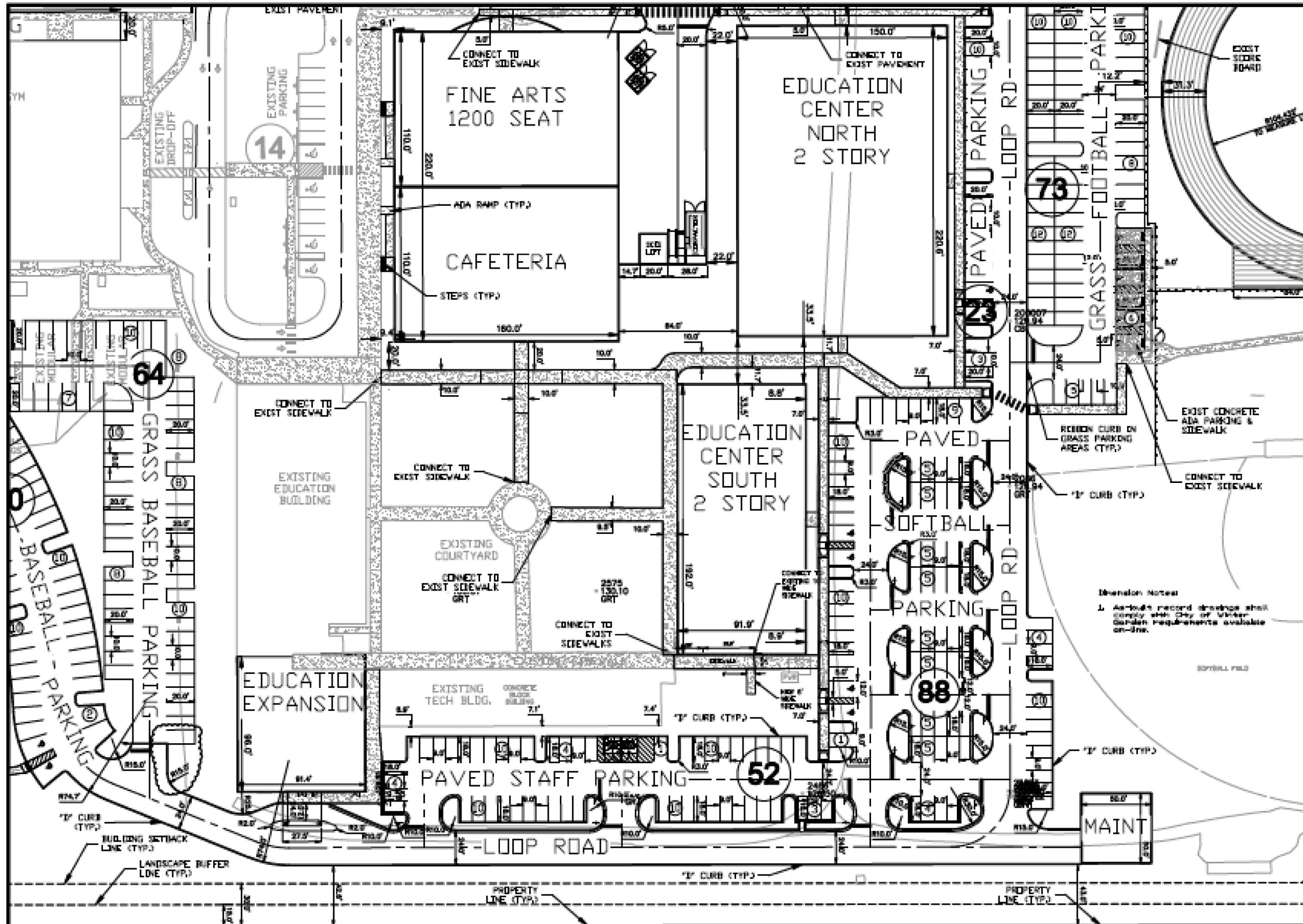
Dimension Plan 4-SW

Revisions		
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2	REVISED	REVISED
3	REVISED	REVISED
4	REVISED	REVISED
5	REVISED	REVISED
6	REVISED	REVISED
7	REVISED	REVISED
8	REVISED	REVISED
9	REVISED	REVISED
10	REVISED	REVISED

Please see all other sheets, notes and specifications.

J. John Graham, P.E.
 Date: 10-1-17
 10/1/17
 Professional Engineer
 State of Florida License No. 12000







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 Clearwater: 882-989-1916
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 Tel: 407-230-0000

Foundation Academy
 Phase 2
 Winter Garden, FL

Construction Plans

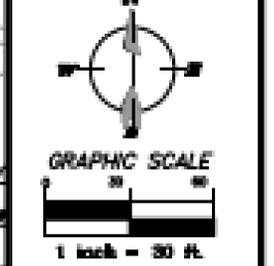
Dimension Plan 5-S

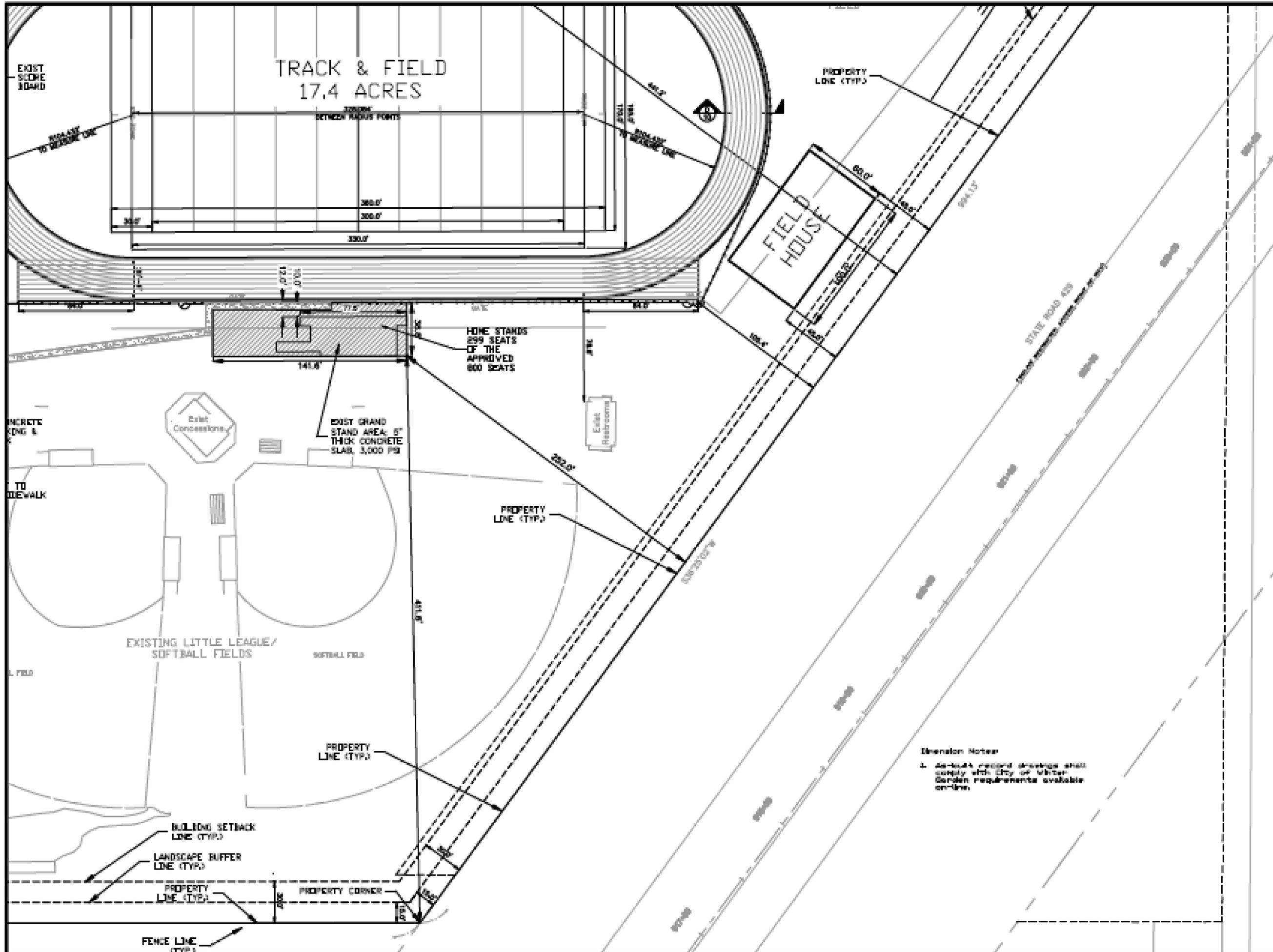
Revisions

No.	Date	Description
1	10/1/2017	Issue for RFP
2	10/1/2017	Issue for RFP
3	10/1/2017	Issue for RFP
4	10/1/2017	Issue for RFP
5	10/1/2017	Issue for RFP
6	10/1/2017	Issue for RFP
7	10/1/2017	Issue for RFP
8	10/1/2017	Issue for RFP
9	10/1/2017	Issue for RFP
10	10/1/2017	Issue for RFP

Dimension Notes
 1. As-built record drawings shall comply with City of Winter Garden requirements available on-line.

Prepared by: *[Signature]*
 Checked by: *[Signature]*
 Date: 10/1/2017
 Title: *[Signature]*





Phone: 811-37

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 Clearwater: 882-989-1918
 denham@denhameng.com
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Foundation Academy
 12294 Tilden Road
 Winter Garden, FL 34787
 Tel: 407-230-0602

Foundation Academy
 Phase 2
 Winter Garden, FL

Construction Plans

Dimension Plan 6-SE

Revisions

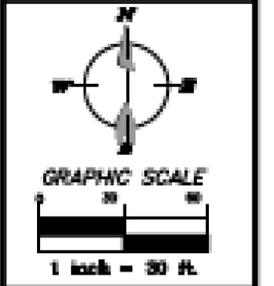
NO.	DATE	DESCRIPTION
1	11-11-2014	Issue for Review
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3	11-11-2014	Issue for Review
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5	11-11-2014	Issue for Review
6	11-11-2014	Issue for Review
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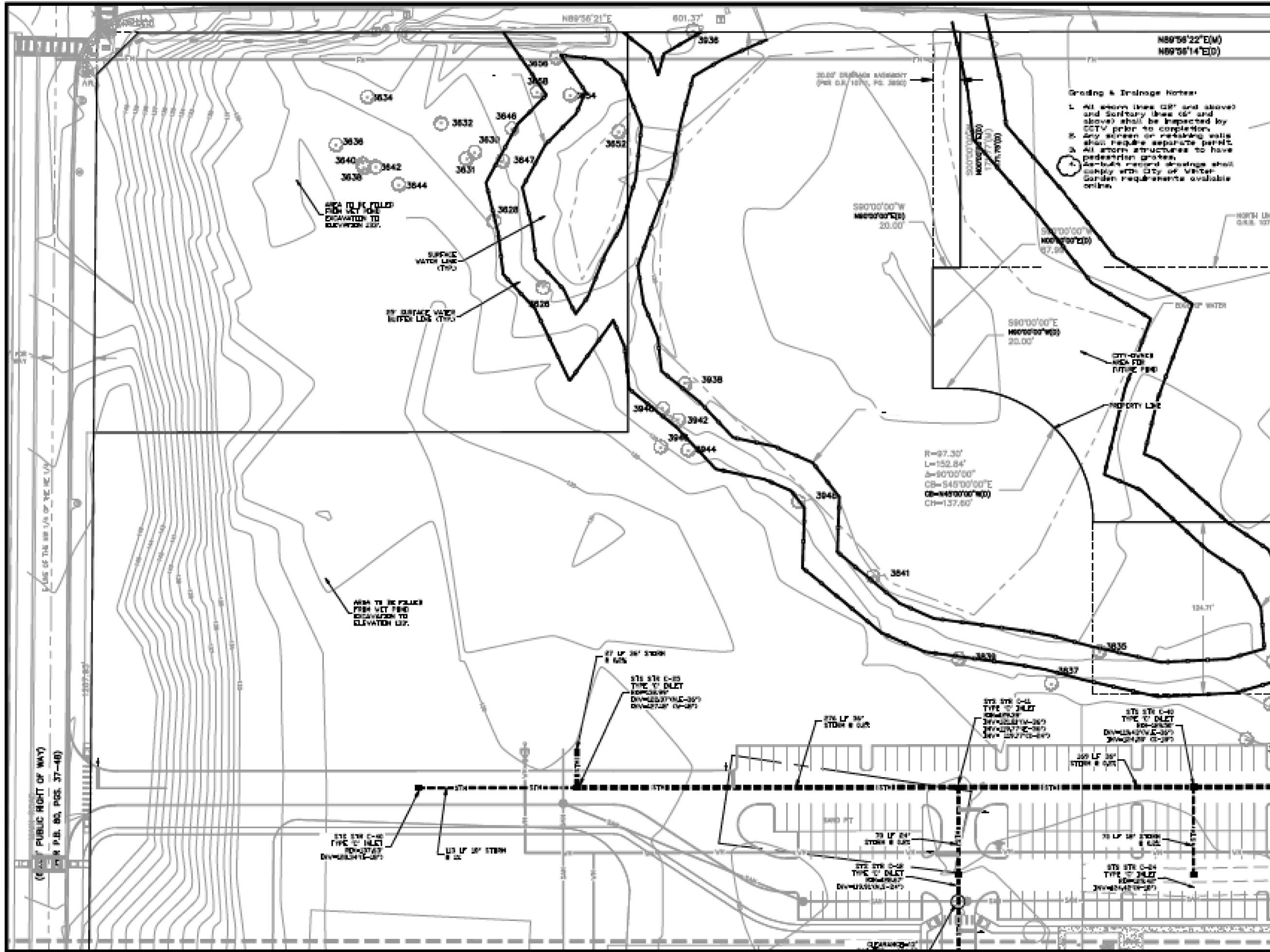
Plan set shall comply with all applicable codes and regulations.

J. Denham, P.E.
 Date: 11-11-2014
 Title: Project Engineer
 Seal: [Professional Engineer Seal]

Dimension Notes

- As-built record drawings shall comply with City of Winter Garden requirements available on-line.





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 Tel: 407-350-0822

Foundation Academy
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 Winter Garden, FL

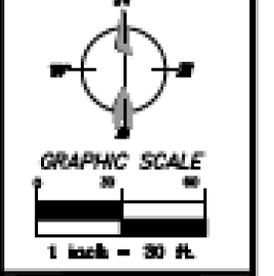
Construction Plans

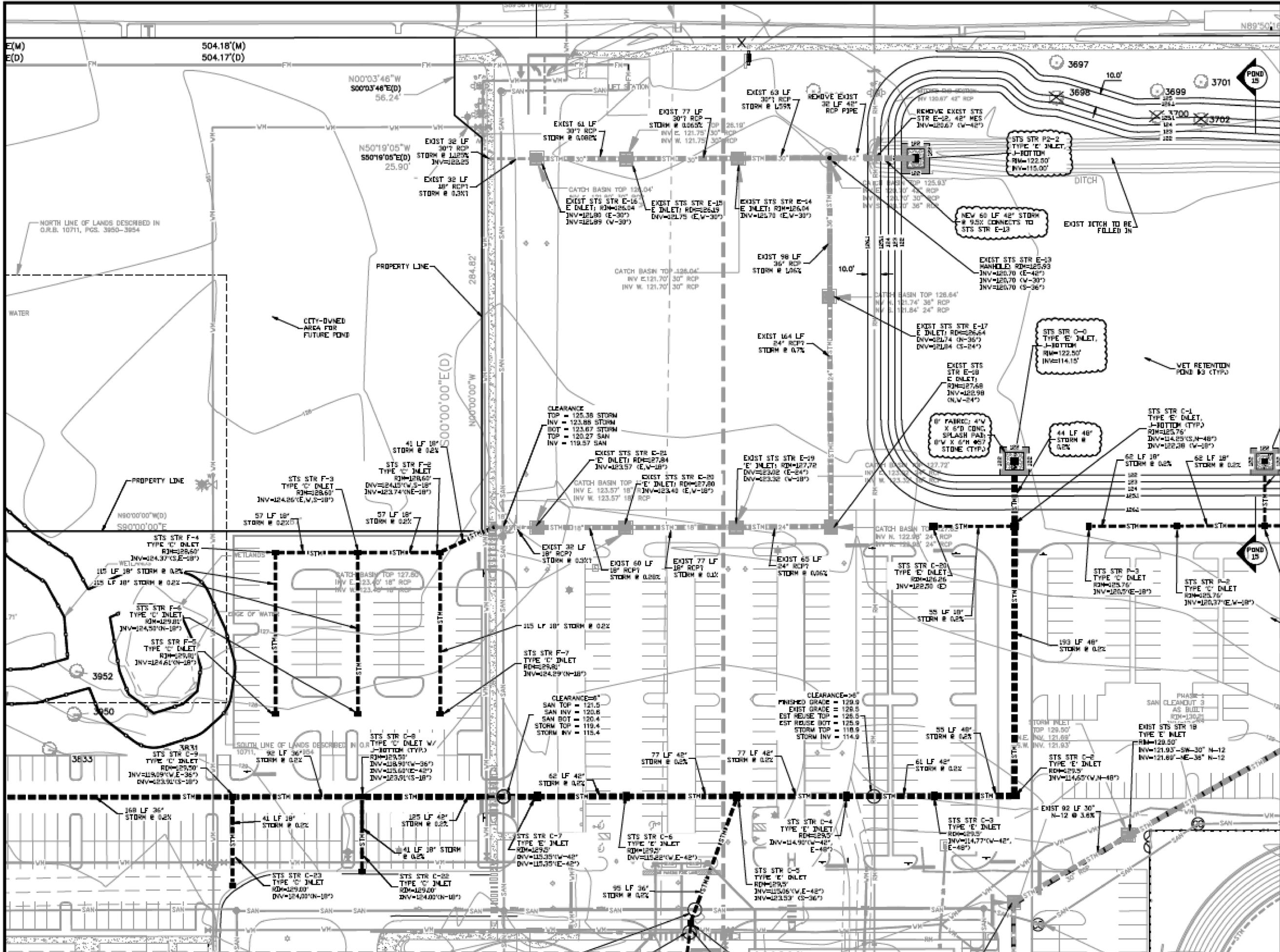
Drainage Plan 1-NW

Revisions		
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2	REVISE	ADD LANE
3	REVISE	ADD DRIVE
4	REVISE	ADD DRIVE
5	REVISE	ADD DRIVE
6	REVISE	ADD DRIVE
7	REVISE	ADD DRIVE
8	REVISE	ADD DRIVE
9	REVISE	ADD DRIVE
10	REVISE	ADD DRIVE

Plans are void unless stamped, sealed and dated below:

J. Jason Dutton, P.E.
 Date: 01-14-20
 P.E. Registration Number: 12000
 Certificate of Professional Status





Reference: 0-11-17

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15304 Tilden Road
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Ph: 407-230-5052

Foundation Academy
Phase 2
Winter Garden, FL

Construction Plans

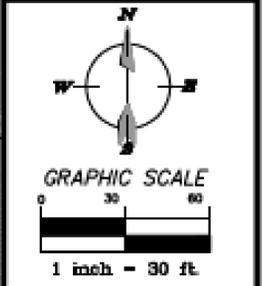
Drainage Plan 2-N

Revisions

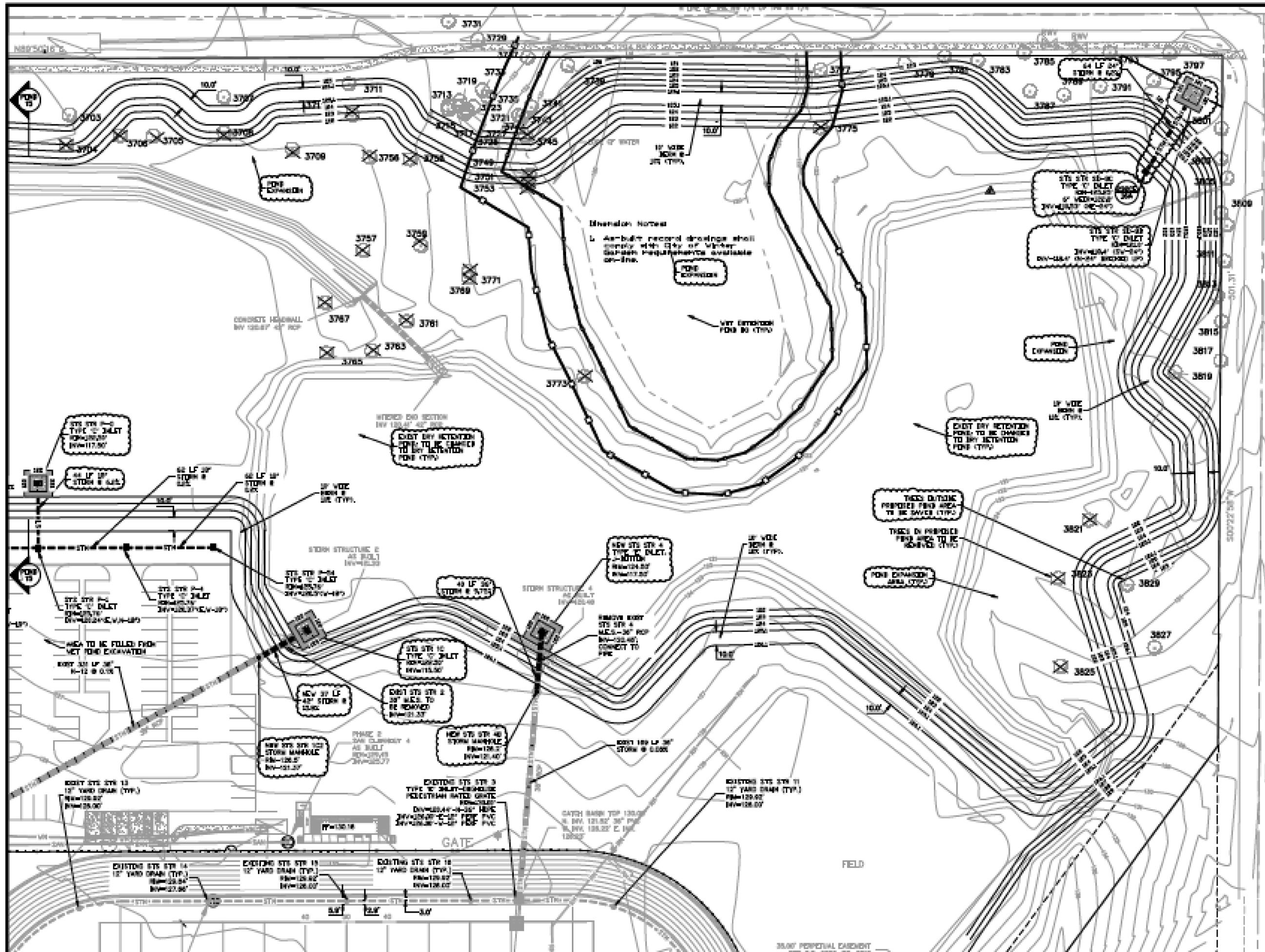
NO.	DATE	REVISION
1	02-21-18	Initial Issue
2	03-20-18	REV Drainage
3	03-20-18	Revised San
4	03-20-18	Updated Pipe Slopes
5	03-21-18	Per Winter Garden & City
6	03-21-18	Per City
7	03-21-18	Per City
8	03-21-18	Per City
9	03-21-18	Per City
10		

Plans not valid unless signed, dated and sealed below.

J. Brian DeLynn, P.E.
Date: 03-21-18
FL Registration #00002
Certificate of Authorization #00000



Sheet Number
7B of 61



Station 611-37

Denham
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18304 Tibbon Road
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Phase 2
Water Garden, FL

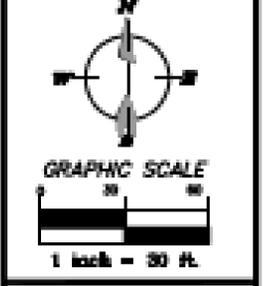
Construction Plans

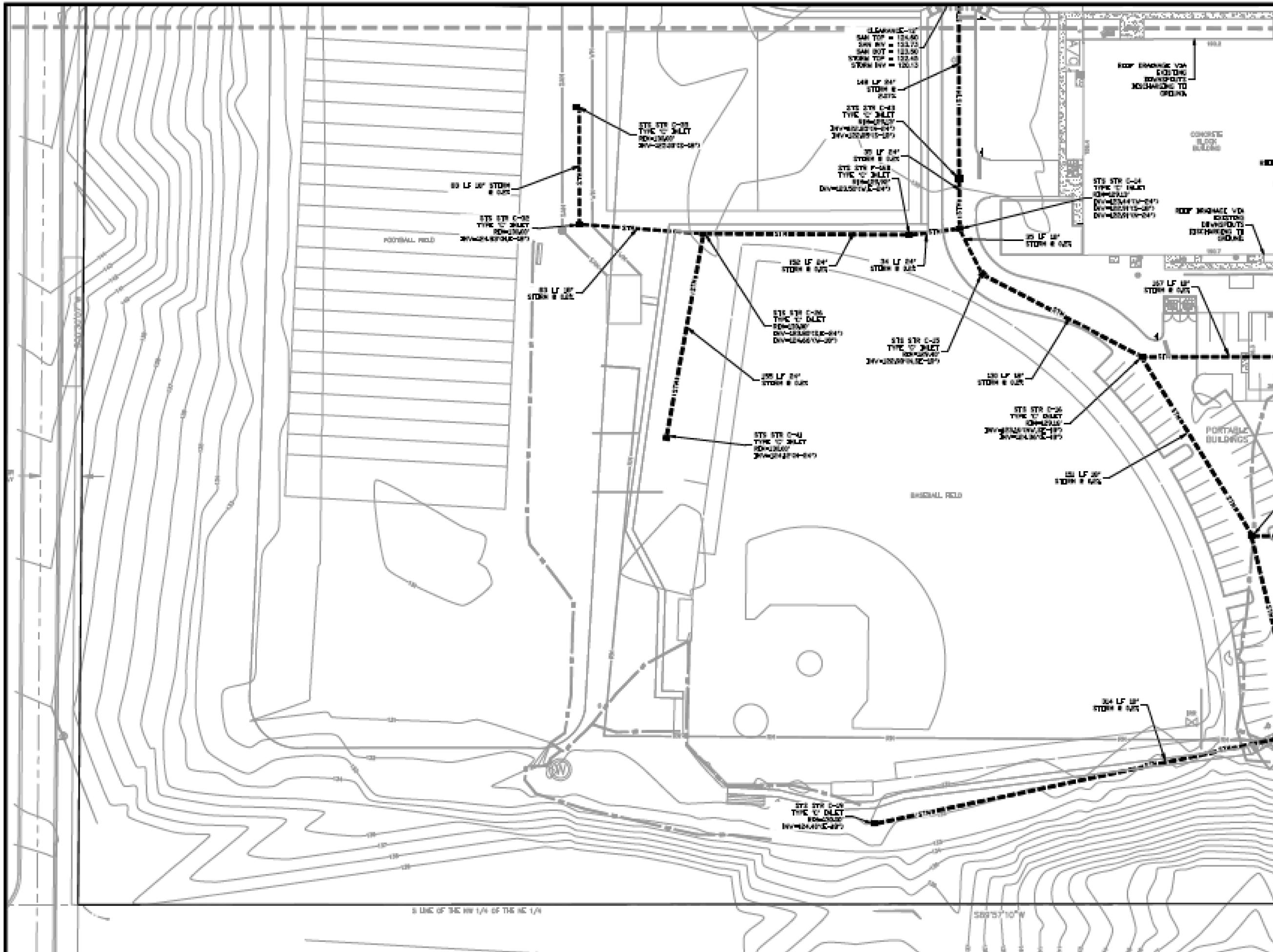
Drainage Plan 3-NE

Revisions

No.	Date	Description
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Prepared by: J. John O'Brien, P.E.
Checked by: J. John O'Brien, P.E.
Date: 11/11/2011
Project: Foundation Academy





Denham
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 Orlando: 407-317-8487
 Clearwater: 882-989-1918
 www.DenhamENG.com

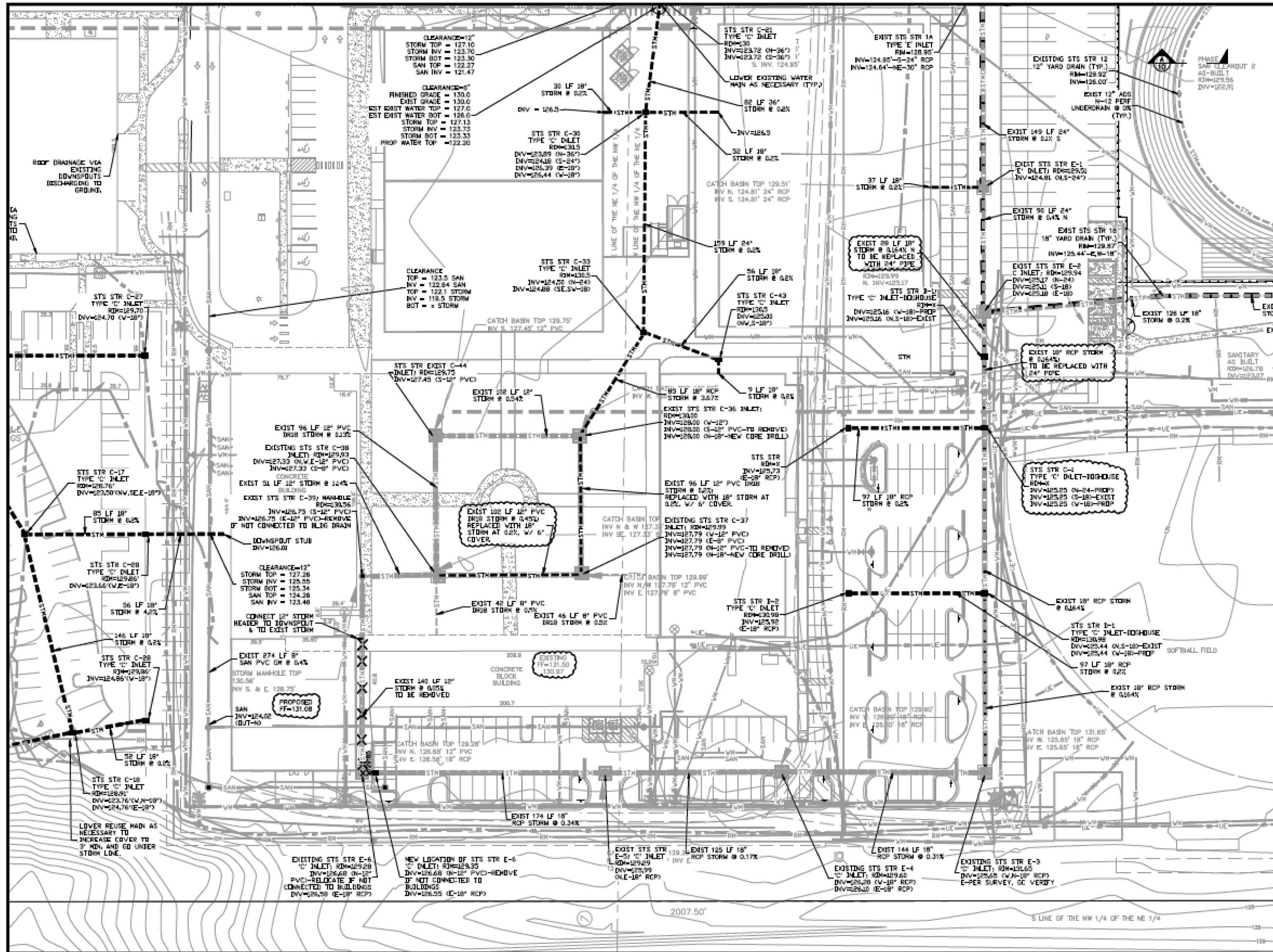
Foundation Academy
 18204 Tibbon Road
 Water Center, FL 34707
 Tel: 407-350-0600

Foundation Academy
Phase 2
 Water Center, FL

Construction Plans

Drainage Plan 4-SW

Revisions		
1	10/1/2018	Issue for Review
2	10/15/2018	Issue for Review
3	10/22/2018	Issue for Review
4	11/01/2018	Issue for Review
5	11/08/2018	Issue for Review
6	11/15/2018	Issue for Review
7	11/22/2018	Issue for Review
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12	01/05/2019	Issue for Review
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289	04/24/2024	Issue for Review



Registered 6:11-17

Denham Engineering, LLC
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 Brian@DenhamENG.com
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Foundation Academy
 13904 Tilden Road
 Winter Garden, FL 34787
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Foundation Academy
 Phase 2
 Winter Garden, FL

Construction Plans

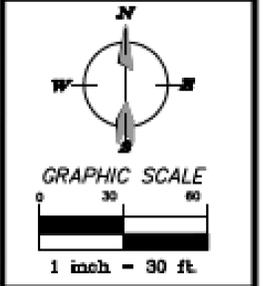
Drainage Plan 5-S

Revisions

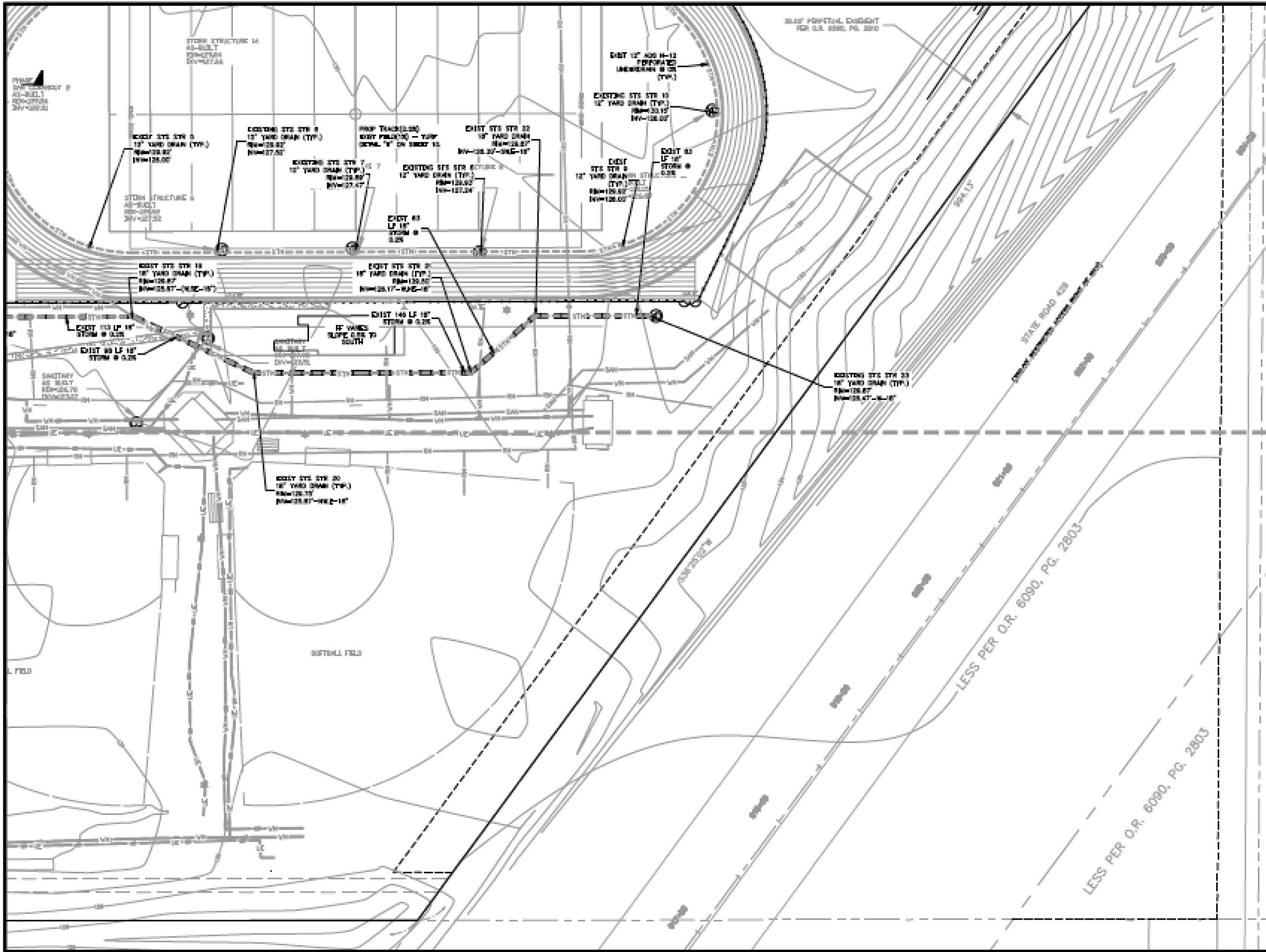
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3	11-20-19	Sanitary Sewer
4	11-20-19	Updated Pipe Survey
5	11-21-19	Per Winter Garden & SUEHS
6	11-21-19	Per SUEHS
7	11-21-19	Per SUEHS
8	11-21-19	Per SUEHS
9		
10		

Plans not valid unless signed, dated and sealed below.

J. Brian Denham, P.E.
 Date: 09-28-20
 FL Registration 0000006
 Certificate of Authorization 0000000



Sheet Number
7E of 61



Telephone 811-37

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Construction Plans

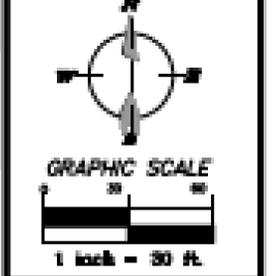
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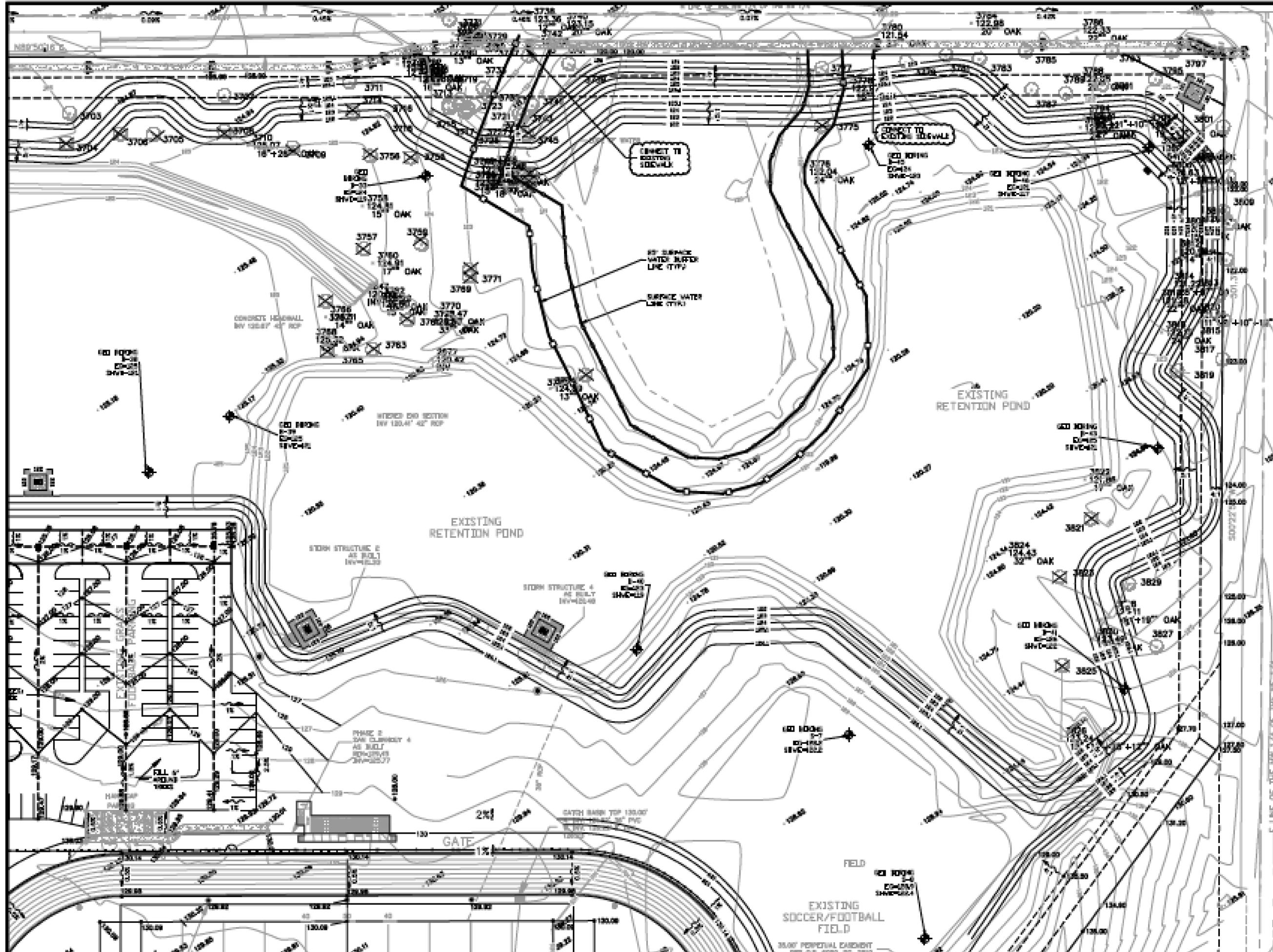
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7	11-11-11	Issue
8	11-11-11	Issue
9	11-11-11	Issue
10	11-11-11	Issue

Plan prepared under license of Professional Engineer
 State of Florida, License No. 12500

J. Scott Denham, P.E.
 Date: 11-11-11
 License No. 12500
 State of Florida







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 Engineering, LLC
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 Claimant: 302-989-1916
 info@denhameng.com
 www.DenhamENG.com

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 12004 Tilden Road
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Foundation Academy
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 Water Garden, FL

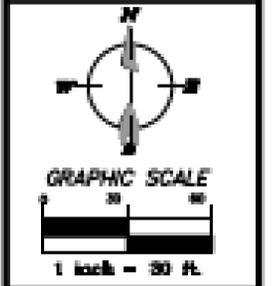
Construction Plans

Grading Plan 3-NB

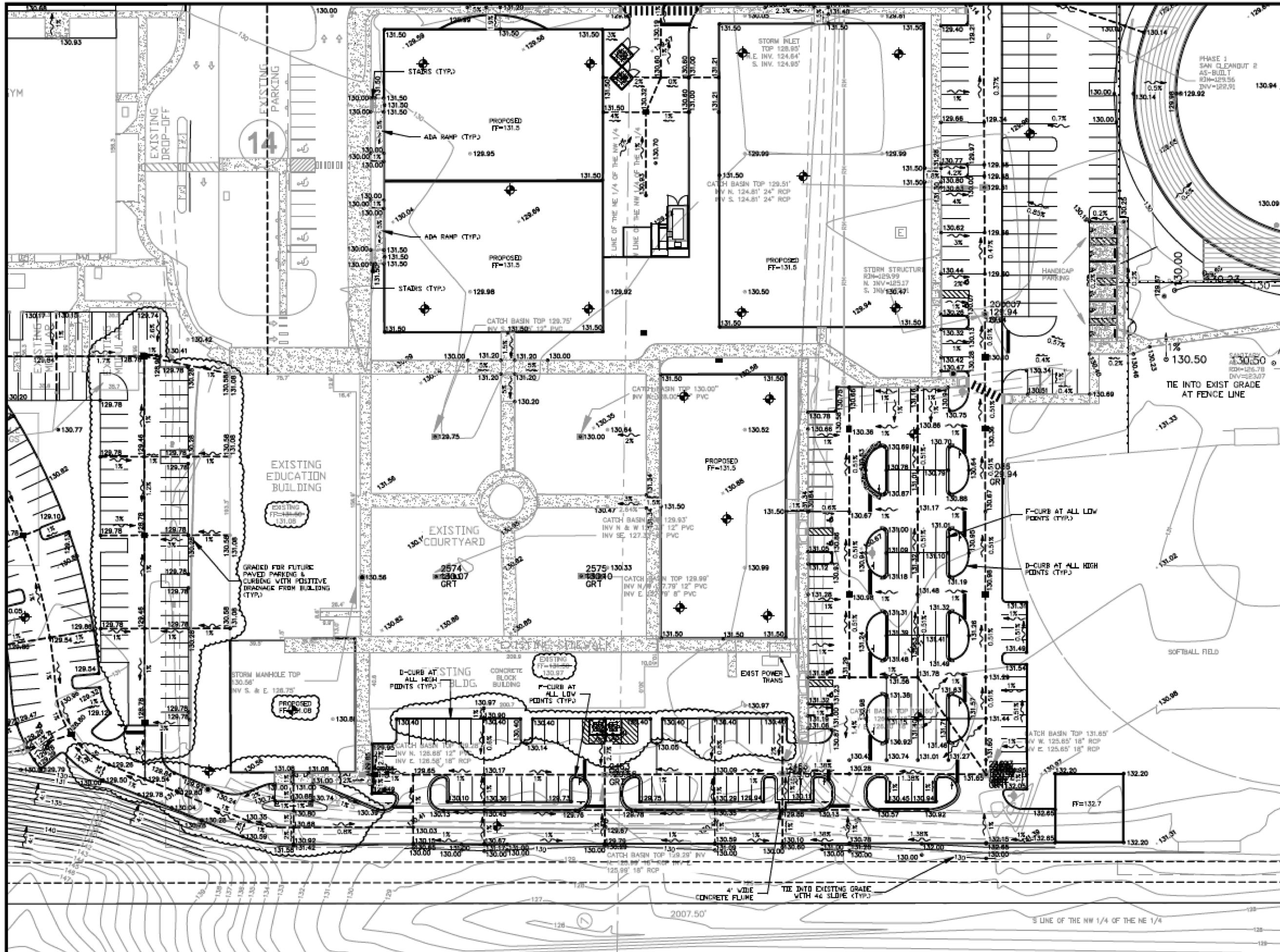
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3	ADD
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6	ADD
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8	ADD
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10	ADD

Plans are void unless signed, sealed and dated below.

J. Brian Gordon, P.E.
 Date: 11-11-11
 11-11-11
 State of Florida
 Professional Engineer



Sheet Number
8C of 61



Registration #: 11-17

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Winter Garden, FL 34787
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Foundation Academy
Phase 2
Winter Garden, FL

Construction Plans

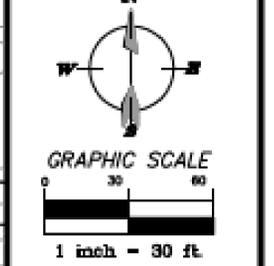
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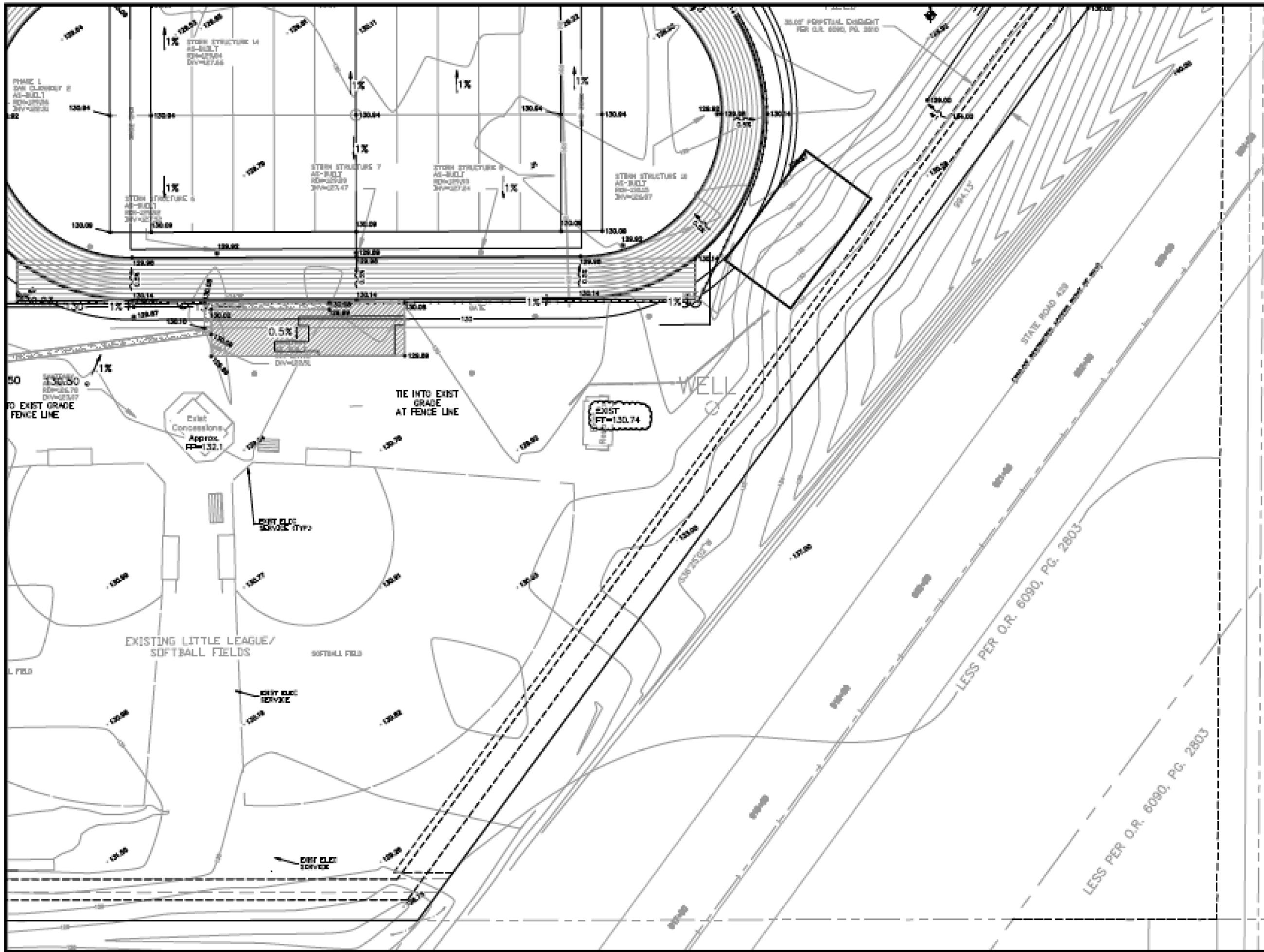
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4	05-21-18	Updated Site Survey
5	05-21-18	For other items & confirm
6	05-21-18	for confirm
7	05-21-18	for confirm
8	05-21-18	for confirm
9		
10		

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J. Brian Denham, P.E.
Date: 05-21-18
R. Registration 088994
Certificate of Authorization 080966





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 Clearwater: 941-988-1818
 Orlando: 407-517-8487
 www.DenhamENG.com

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Foundation Academy
 Phase 2
 Winter Garden, FL

Construction Plans

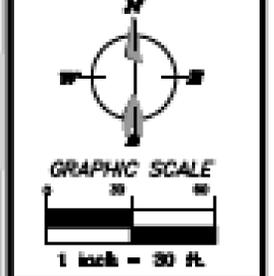
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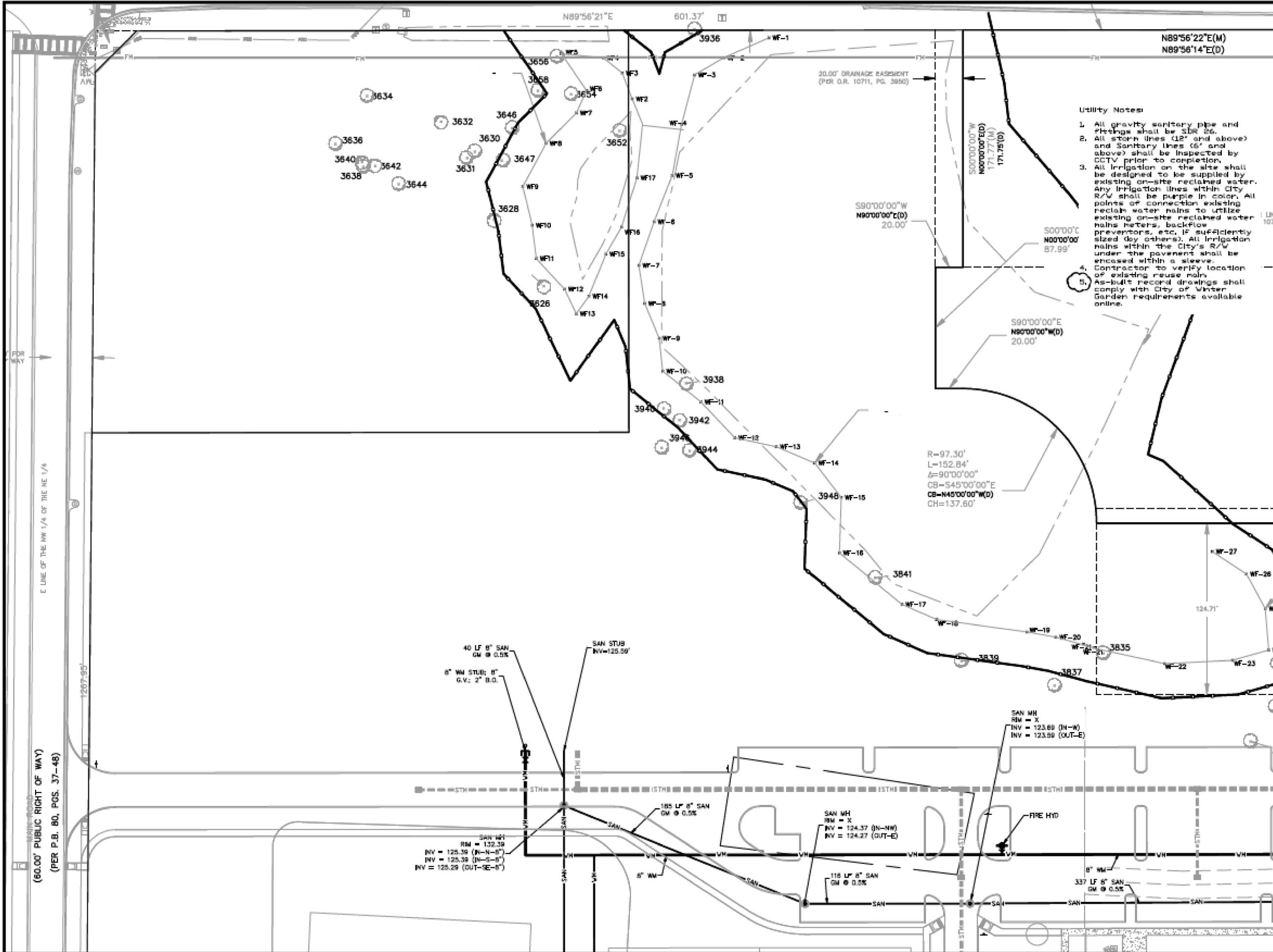
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9	08/11/2011	Issue for bid
10	08/11/2011	Issue for bid

Plan approved using Board, Seal and Stamp Below.

J. Wade Graham, P.E.
 Date: 08/11/2011
 License No. 12000
 State of Florida





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Foundation Academy
 Phase 2
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Construction Plans

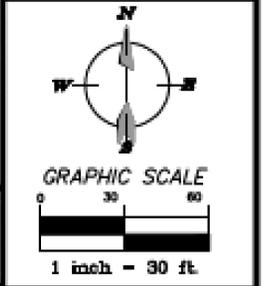
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Revisions

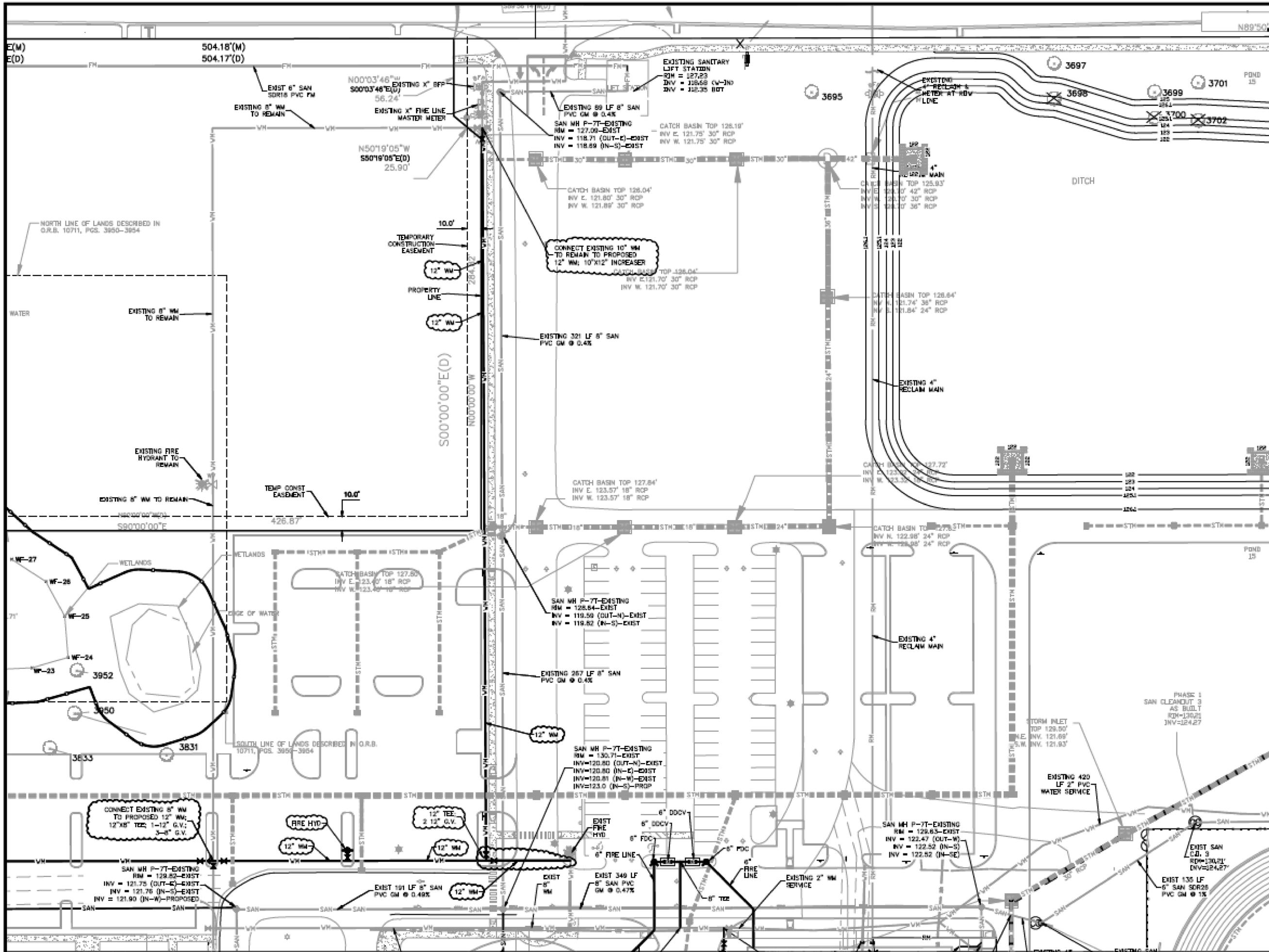
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2	01-25-18	ADD Drawings
3	01-25-18	Revised Set
4	02-21-18	Per Winter Garden & STH
5	02-21-18	Per STH
6		
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J. Brian Denham, P.E.
 Date: 02-21-18
 FL Registration 000006
 Certificate of Authorization 000000



Sheet Number
9A of 61





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Foundation Academy
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Foundation Academy
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 Winter Garden, FL

Construction Plans

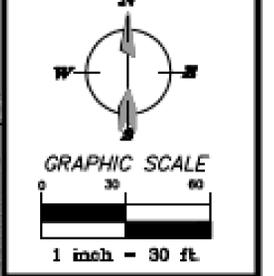
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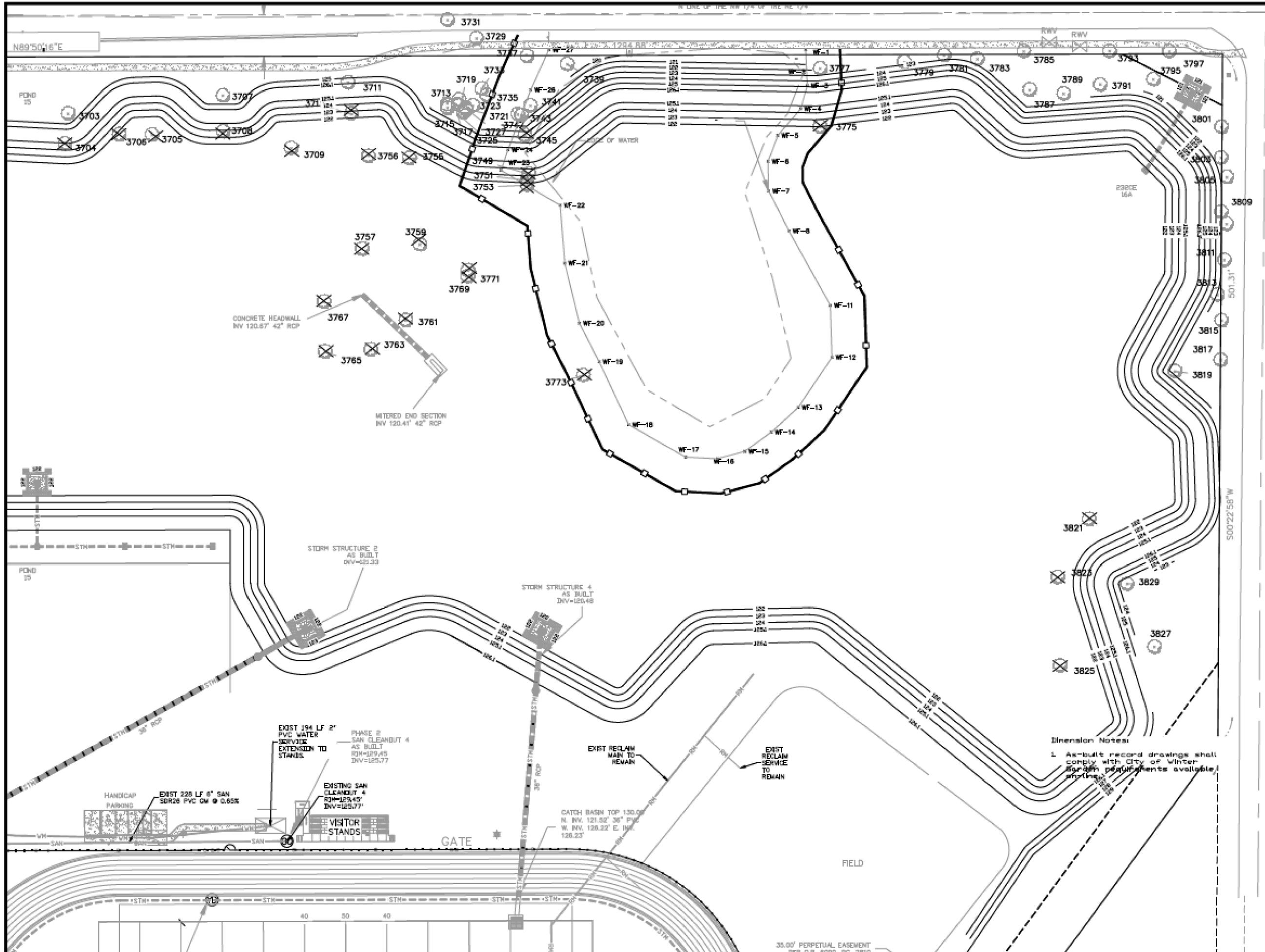
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2	11-25-16	REV Drawings
3	01-28-17	Revised Per
4	04-11-17	Per Winter Garden & Santee
5	04-27-17	Per Santee
6	05-02-17	Per Santee
7		
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J. Brian Denham, P.E.
 Date: 04-27-17
 P.E. Registration 088806
 Certificate of Authorization 020000





Registration 6-11-17

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Foundation Academy
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 Winter Garden, FL

Construction Plans

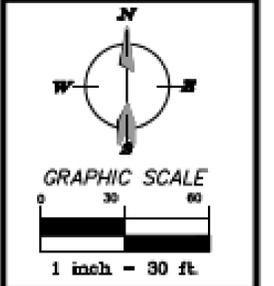
Utility Plan 3-NE

Revisions

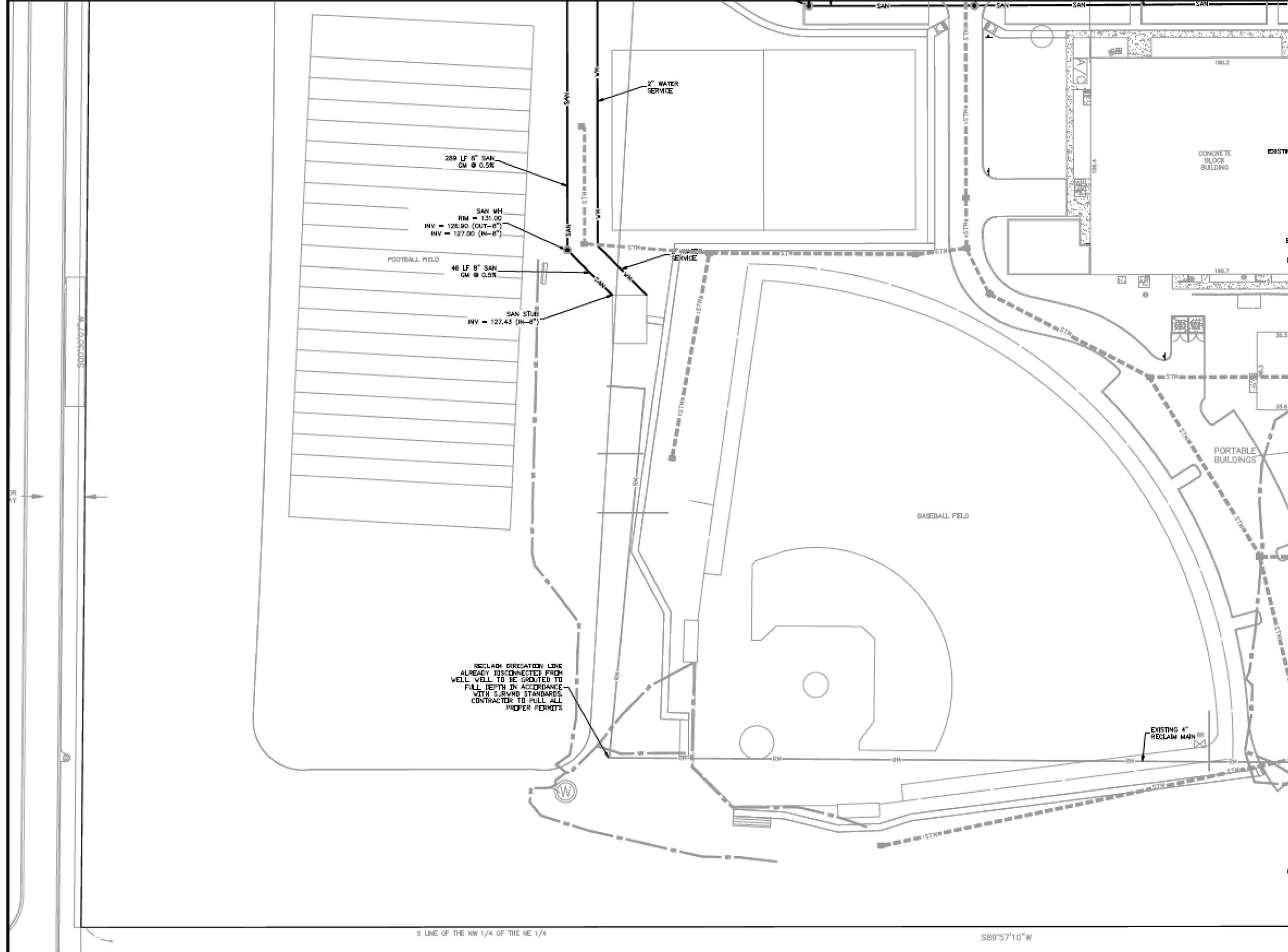
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6	02-01-18	Per SDR26
7		
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J. Brian Denham, P.E.
 Date: 02-01-18
 FL Registration 000008
 Certificate of Authorization 000000



Sheet Number
9C of 61



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Foundation Academy
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 Winter Garden, FL

Construction Plans

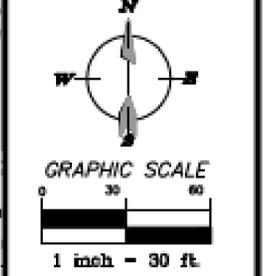
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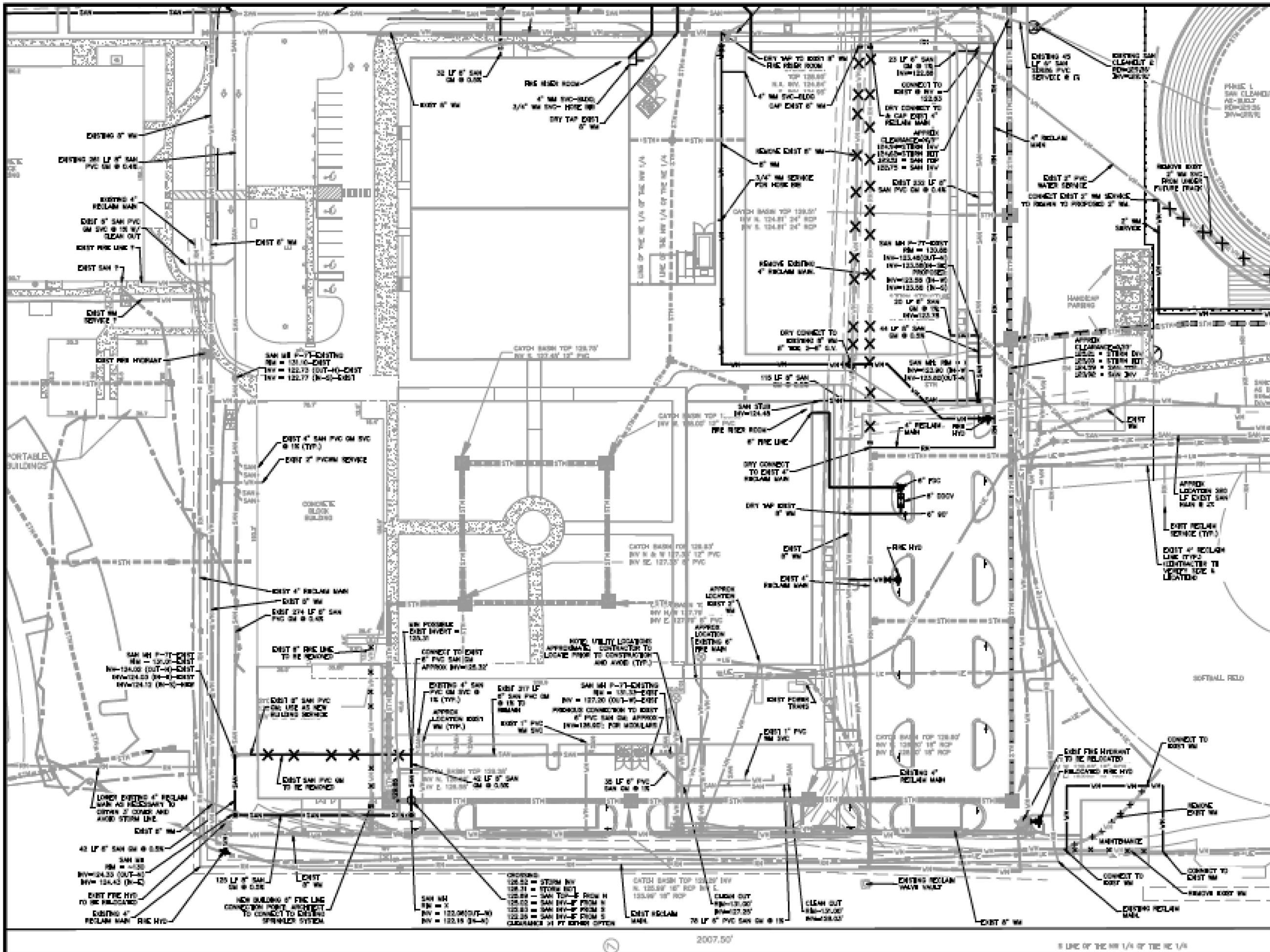
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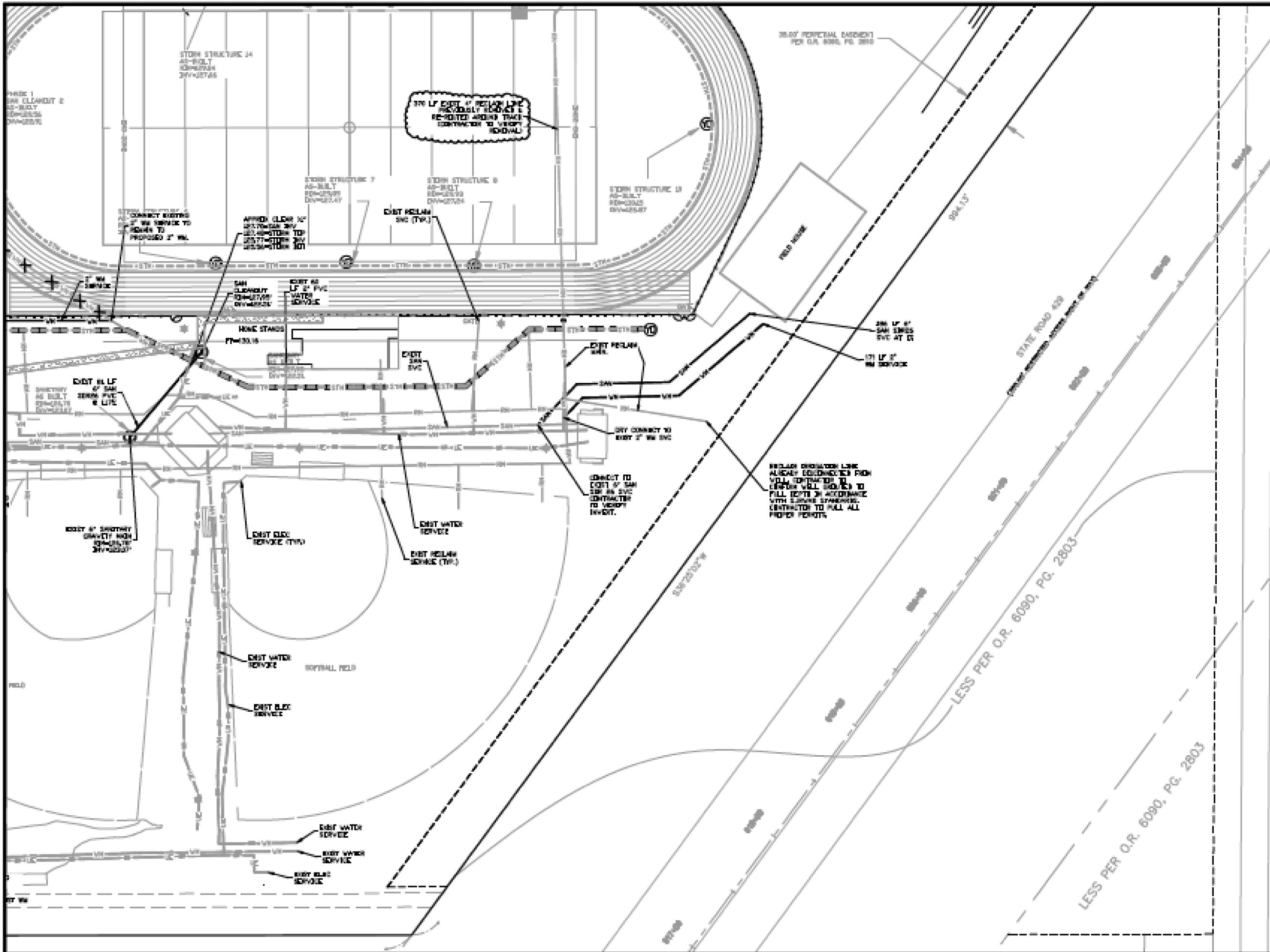
Plans not valid unless signed, Dated and Sealed below.

J. Brian Denham, P.E.
 Date: 07-27-18
 P.E. Registration 000000
 Certificate of Authorization 000000



S LINE OF THE NW 1/4 OF THE NE 1/4 S89°57'10"W





Scales 6:11-17

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Foundation Academy
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 Water Garden, FL

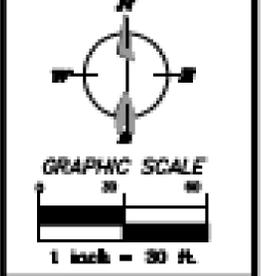
Construction Plans

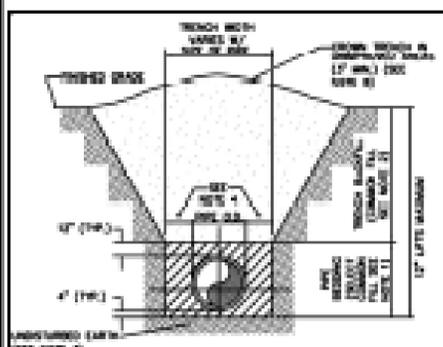
Utility Plan 6-SE

Revisions		
01	ADD	ISSUES
02	REVISE	ADD NOTES
03	REVISE	ADD NOTES
04	REVISE	ADD NOTES
05	REVISE	ADD NOTES
06	REVISE	ADD NOTES
07	REVISE	ADD NOTES
08	REVISE	ADD NOTES
09	REVISE	ADD NOTES
10	REVISE	ADD NOTES

Plan set shall remain closed, sealed and unaltered.

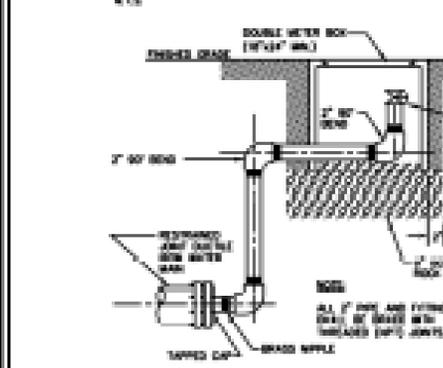
J. Brian Gaudin, P.E.
 Date: 11-14-18
 Title: PROJECT ENGINEER
 Signature of Professional Engineer



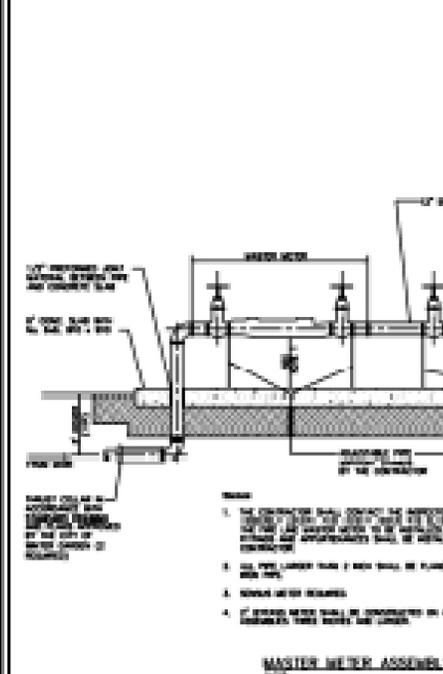


- NOTES**
1. PIPE BEDDING SELECT COMMON FILL COMPACTED TO 95% OF STANDARD DENSITY AS PER ASTM D 1557 AND CONTAINING NO MORE THAN 5% PASSING 20# SIEVE.
 2. MINIMUM BEDDING DEPTH SHALL BE 18" FOR 12" DIA. PIPE AND 24" FOR 18" DIA. PIPE.
 3. PIPE BEDDING SELECT COMMON FILL OR BEDDING TYPE IS ATTYRMENT, WITH 10% A BITTUMEN AND 10% SAND MAY BE REQUIRED AS INDICATED BY THE CITY OF WATER GARDEN.
 4. (1) 12" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL JOINTS TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. REFER TO SECTION 05110 OF THE CITY OF WATER GARDEN STANDARD SPECIFICATIONS FOR CONSTRUCTION OF WATER MAINS AND WATER MAIN CONNECTIONS FOR DETAILS AND MATERIALS IN CONNECTIONS.
 8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF TOWNSHIP OF WATER GARDEN AND SPECIFICATIONS FOR WATER MAINS AND WATER MAIN CONNECTIONS FOR DETAILS AND MATERIALS IN CONNECTIONS.

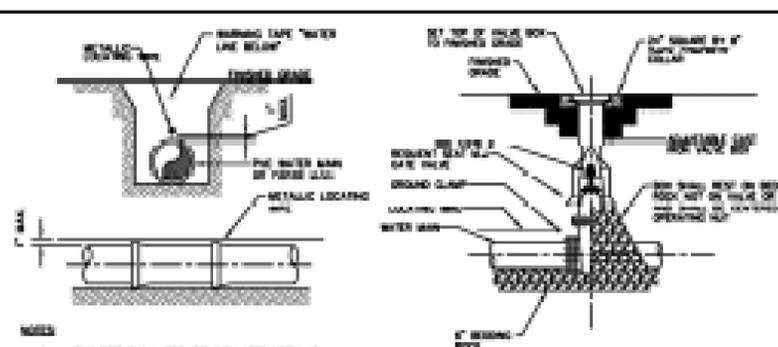
STANDARD BECCING DETAIL
N.T.S.



BLOWOFF VALVE DETAIL
N.T.S.

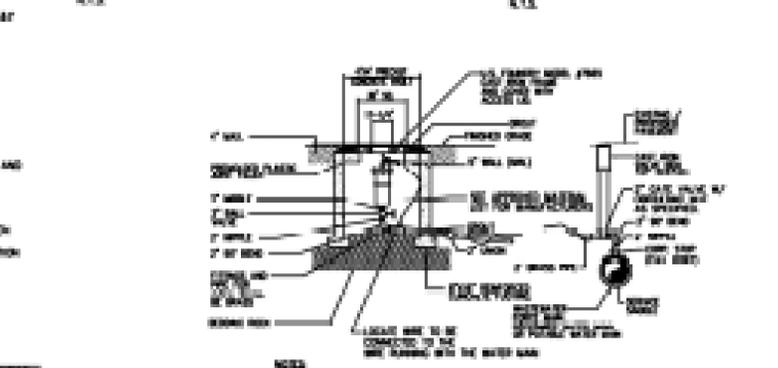


MASTER METER ASSEMBLY
N.T.S.



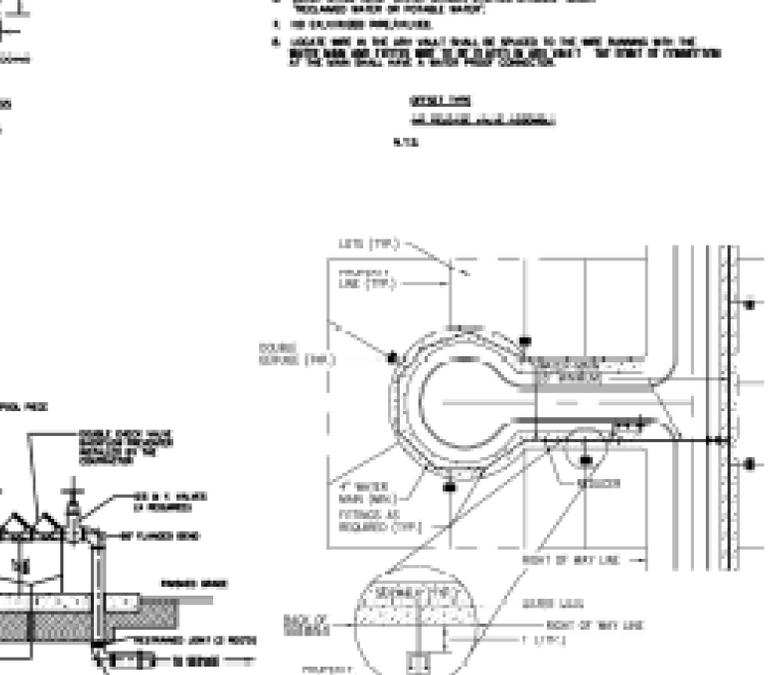
- NOTES**
1. THE 12" DIA. GATE VALVE SHALL BE INSTALLED IN A TRENCH WITH A MINIMUM COVER OF 18" ABOVE THE TOP OF THE VALVE BOX.
 2. VALVE BOX SHALL REMAIN AT THE TOP OF EACH CURB CUT FOR THE ENTIRE LIFE OF THE VALVE.

GATE VALVE AND VALVE BOX DETAIL
N.T.S.



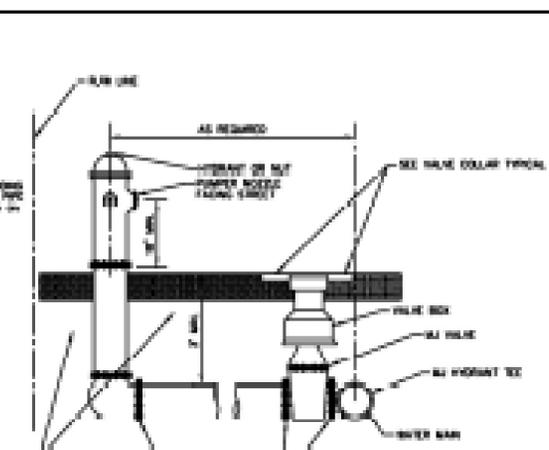
- NOTES**
1. THE MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 18" FEET.
 2. COVER SHALL BE MADE OF 12" THICK CONCRETE WITH 2" DIA. REBAR.
 3. THE VALVE SHALL BE INSTALLED WITH THE VALVE BOX AT THE HIGHEST POINT IN THE TRENCH.
 4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL BE FINISHED WITH A BRUSHED FINISH.
 5. CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED WITH FINISHED GRADE.
 6. COVER SHALL HAVE 18" DIA. ACCESS LID WITH 18" DIA. ACCESS LID WITH FINISHED GRADE.
 7. COVER SHALL HAVE 18" DIA. ACCESS LID WITH 18" DIA. ACCESS LID WITH FINISHED GRADE.
 8. VALVE BOX SHALL BE INSTALLED WITH THE VALVE BOX AT THE HIGHEST POINT IN THE TRENCH.

VALVE BOX COLLAR DETAIL
N.T.S.

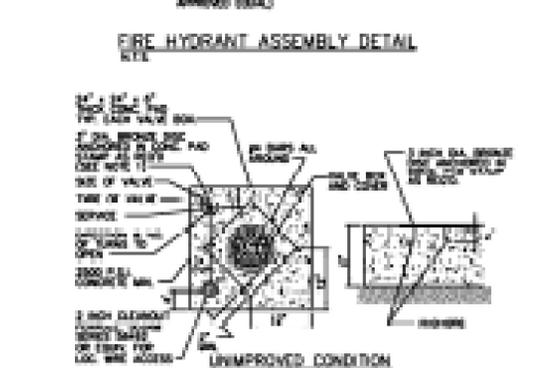


- NOTES**
1. THE MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 18" FEET.
 2. COVER SHALL BE MADE OF 12" THICK CONCRETE WITH 2" DIA. REBAR.
 3. THE VALVE SHALL BE INSTALLED WITH THE VALVE BOX AT THE HIGHEST POINT IN THE TRENCH.
 4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL BE FINISHED WITH A BRUSHED FINISH.
 5. CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED WITH FINISHED GRADE.
 6. COVER SHALL HAVE 18" DIA. ACCESS LID WITH 18" DIA. ACCESS LID WITH FINISHED GRADE.
 7. COVER SHALL HAVE 18" DIA. ACCESS LID WITH 18" DIA. ACCESS LID WITH FINISHED GRADE.
 8. VALVE BOX SHALL BE INSTALLED WITH THE VALVE BOX AT THE HIGHEST POINT IN THE TRENCH.

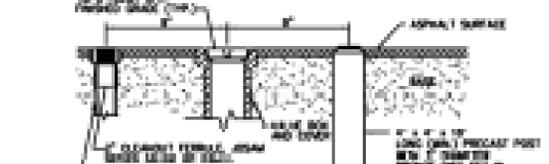
CUL-DE-SAC LOOPING AND METER BOX PLACEMENT DETAIL
N.T.S.



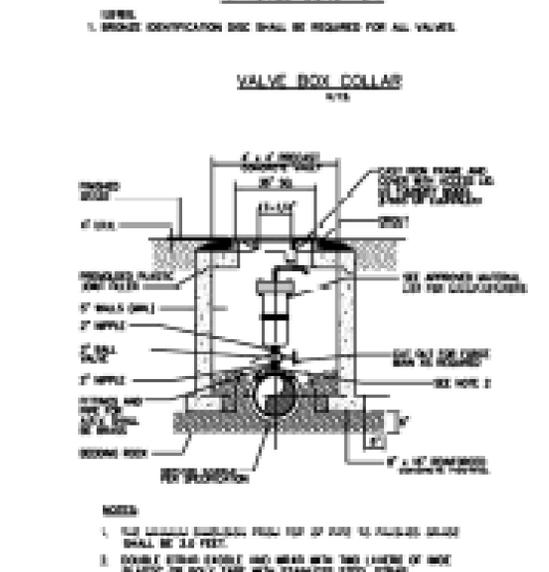
FIRE HYDRANT ASSEMBLY DETAIL
N.T.S.



IMPROVED CONDITION
N.T.S.

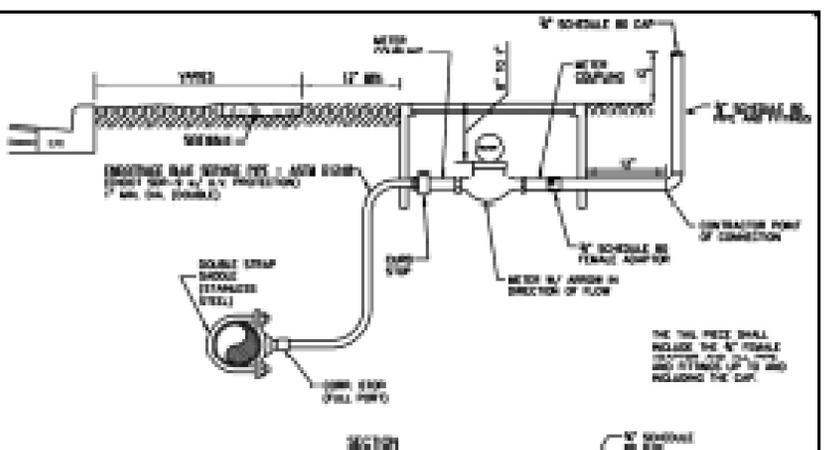


VALVE BOX COLLAR DETAIL
N.T.S.

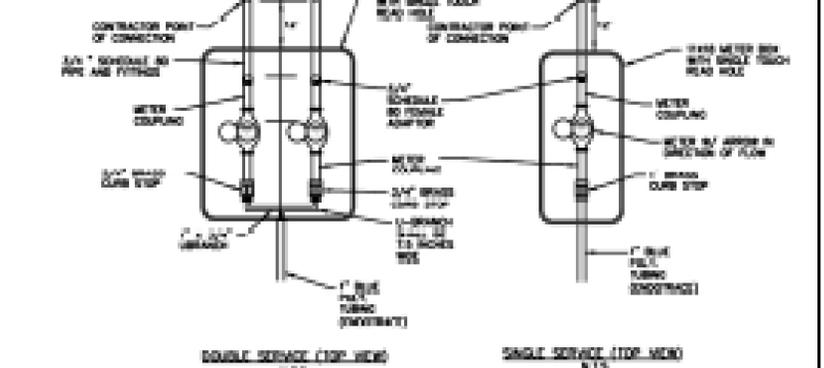


- NOTES**
1. THE MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 18" FEET.
 2. COVER SHALL BE MADE OF 12" THICK CONCRETE WITH 2" DIA. REBAR.
 3. THE VALVE SHALL BE INSTALLED WITH THE VALVE BOX AT THE HIGHEST POINT IN THE TRENCH.
 4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL BE FINISHED WITH A BRUSHED FINISH.
 5. CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED WITH FINISHED GRADE.
 6. COVER SHALL HAVE 18" DIA. ACCESS LID WITH 18" DIA. ACCESS LID WITH FINISHED GRADE.
 7. COVER SHALL HAVE 18" DIA. ACCESS LID WITH 18" DIA. ACCESS LID WITH FINISHED GRADE.
 8. VALVE BOX SHALL BE INSTALLED WITH THE VALVE BOX AT THE HIGHEST POINT IN THE TRENCH.

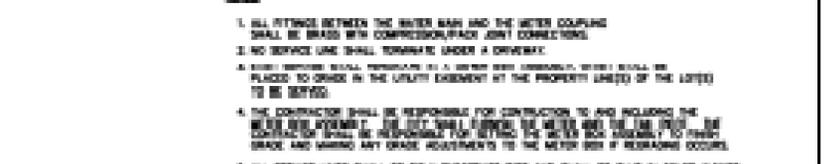
POTABLE WATER SYSTEM AIR RELEASE VALVE AND VAULT
N.T.S.



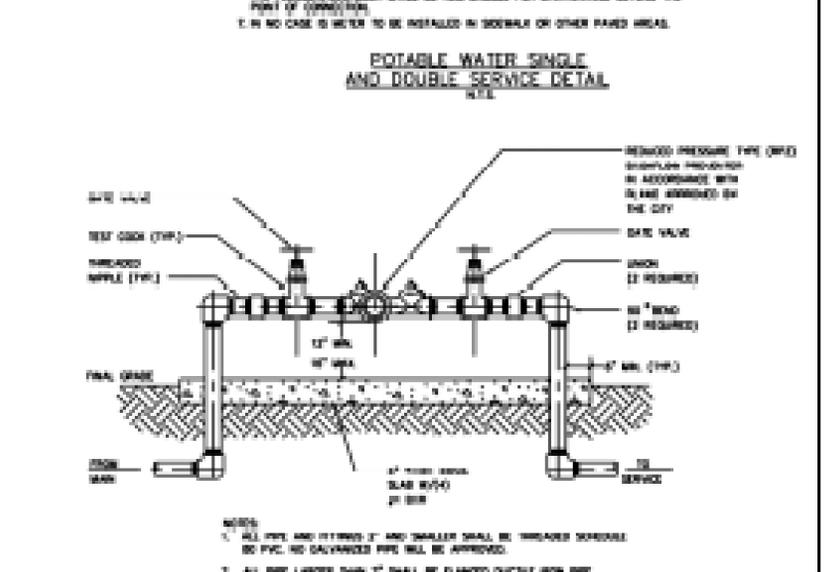
POTABLE WATER SINGLE AND DOUBLE SERVICE DETAIL
N.T.S.



DOUBLE SERVICE (TOP VIEW)
N.T.S.



SINGLE SERVICE (TOP VIEW)
N.T.S.



- NOTES**
1. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED GALVANIZED STEEL. NO GALVANIZED PIPE SHALL BE APPROVED.
 2. ALL PIPE LARGER THAN 2" SHALL BE FLANGED DUCTILE IRON PIPE.
 3. NO GALVANIZED PIPE ALLOWED.

WALKWAY PIPE VAULT DETAIL
N.T.S.

Denham Engineering, LLC
 Orlando: 407-217-2487
 Clearwater: 888-988-1918
 www.DenhamENR.com

Foundation Academy
 1894 Tilden Road
 Water Garden, FL 34787
 Tel: 407-230-6663

Foundation Academy Phase 2
 Water Garden, FL

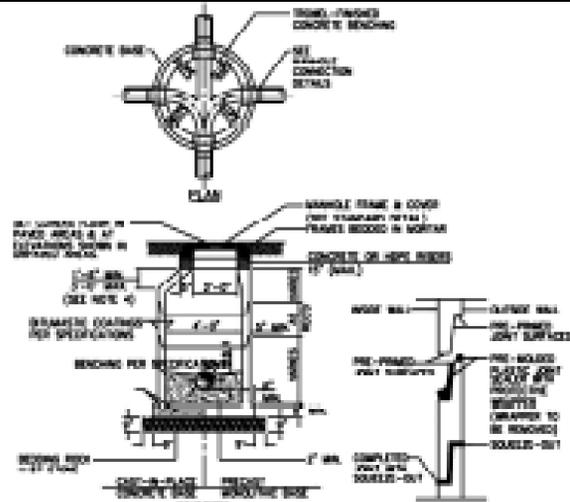
Construction Plans

Details City Water

Revision	Date	By	Checked
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

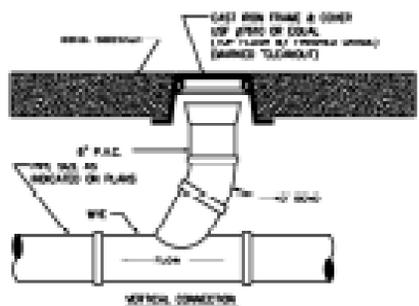
Professional Engineer Seal
 I. Johnathan, P.E.
 State: FL
 No. 12345
 City of Water Garden, FL

GRAPHIC SCALE
 Not to Scale

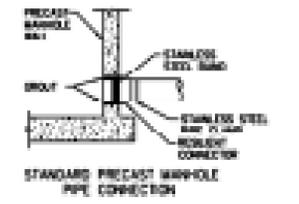
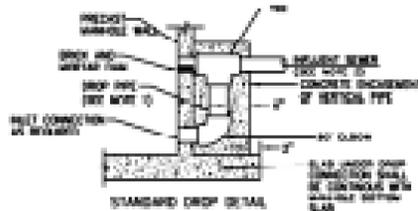


- NOTES**
1. DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS BELOW INVERT OF THE MANHOLE. ALL DROPS TO BE OUTSIDE OF THE MANHOLE.
 2. CAST IRON MANHOLES SHALL BE COATED WITH AN EPXY, RESIN-BASED COATING.
 3. GASKETS WITH NON-REINFORCING GROUT JOINTS.
 4. NO COVER OVER 4 FT. TALL.
 5. ALL PRECAST CONCRETE SHALL BE COATED INSIDE AND OUTSIDE WITH COAL TAR EPXY, RESIN-BASED COATING.

PRECAST CONCRETE SANITARY MANHOLE
N.T.S.

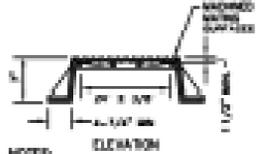
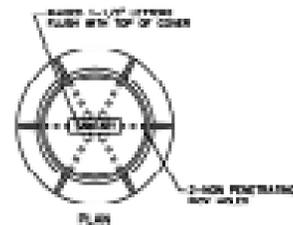


CLEAN OUT DETAIL FINISHED BUILDOUT (IN PAVED AREA)
N.T.S.

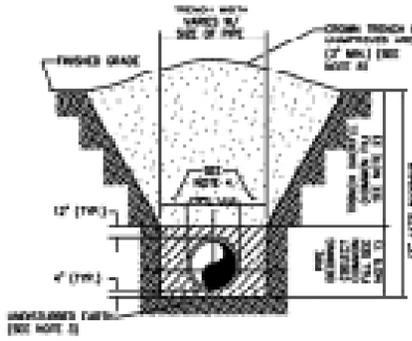


- NOTES**
1. DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
 2. AN OUTSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL PRECAST MANHOLES UNLESS THE COVER IS AT LEAST 24" ABOVE THE MANHOLE INVERT.

SANITARY MANHOLE CONNECTION DETAILS
N.T.S.

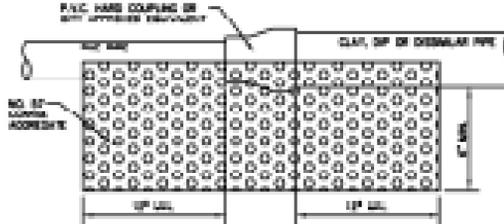


- NOTES**
1. MANHOLE FRAME & COVER SHALL BE 24" OPENING, USE 400-100 AS MANUFACTURED BY U.S. FOAMERY & MFG. CO., OR APPROVED EQUAL.
 2. RAIN STOPPER LOSS OR RAIN GUARD SHALL BE INSTALLED.
- STANDARD MANHOLE FRAME AND COVER**
N.T.S.

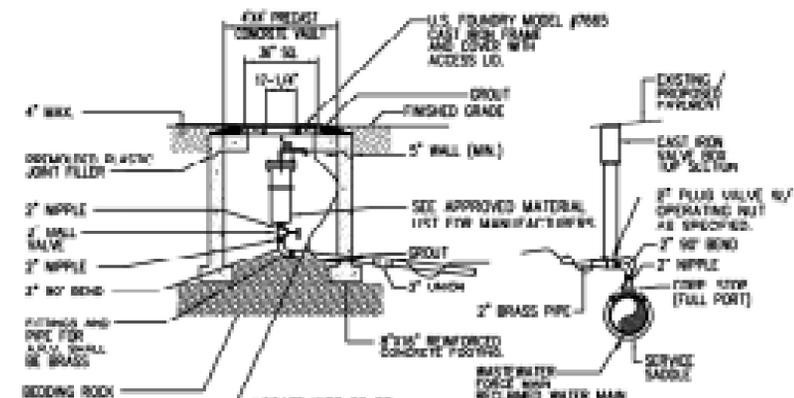


- NOTES**
1. PIPE BEDDING SELECT CORNER FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM 1557 AND CONTAINING NO MORE THAN 10% PASSING 20# SIEVE.
 2. EXISTING EXISTING CORNER FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM 1557 AND CONTAINING NO MORE THAN 10% PASSING 20# SIEVE.
 3. PIPE BEDDING EXISTING CORNER FILL OR BEDDING ROCK SHALL BE REMOVED AND REPLACED WITH CORNER FILL AS SPECIFIED BY THE CITY OF WATER GARDEN.
 4. 2" - 4" 10# SAND FOR PIPE BEDDING LESS THAN 24" AND 24" SAND FOR PIPE BEDDING 24" AND LARGER.
 5. BRASS SADDLE SHALL BE PROVIDED IN THE BRASS SADDLE CONSTRUCTION.
 6. ALL FITTINGS TO BE INSTALLED WITH WELL THROU UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. REFER TO SECTION 0510 OF THE DESIGN COUNTY MANUAL OF STANDARD AND SPECIFICATIONS FOR WATER MAIN AND WATER MAIN CONSTRUCTION FOR JOINT TAP AND BRASS TAP CONSTRUCTION.
 8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION IN NON-CITY OF WATER GARDEN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY VEGETATION RESTORATION AND ROAD CONSTRUCTION SPECIFICATIONS.

STANDARD BEDDING DETAIL
N.T.S.



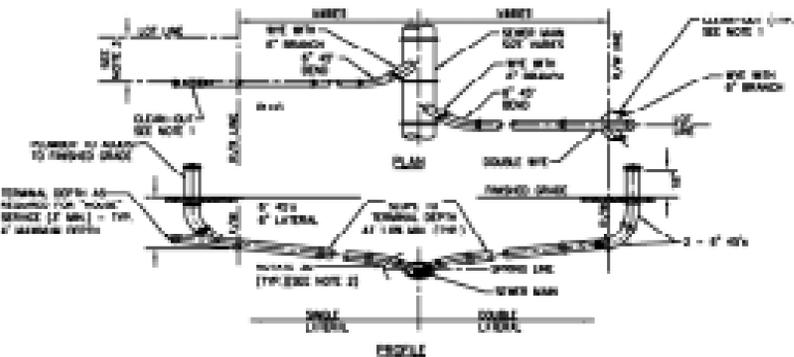
- NOTES**
1. FIBRE GLASS MANHOLES OR LINED PIPES TO SELECT PROPER CONNECTION.
 2. HARBED COUPLING OR APPROVED EQUIVALENT FOR ALL PIPE MATERIALS, UNLESS APPROVED IN WRITING BY THE CITY.
- SEWER MAIN CONNECTION DETAIL**
N.T.S.



- NOTES**
1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
 2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WDC OR WDC-100 POLY TAPE WITH STAINLESS STEEL STRAP.
 3. PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 5. CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 6. COVER SHALL READ "WATER GARDEN UTILITIES DIVISION, "SEWER" "DECLARED WATER OR POTABLE WATER".
 7. NO GALVANIZED PIPE/VALVES.
 8. LOCATE WIRE IN THE AIR VALVE SHALL BE SPliced TO THE WIRE RUNNING WITH THE WATER MAIN AND PROTECT WIRE TO BE PLACED IN AIR VALVE. THE POINT OF CONNECTION AT THE MAIN SHALL HAVE A WATER PROOF CONNECTOR.

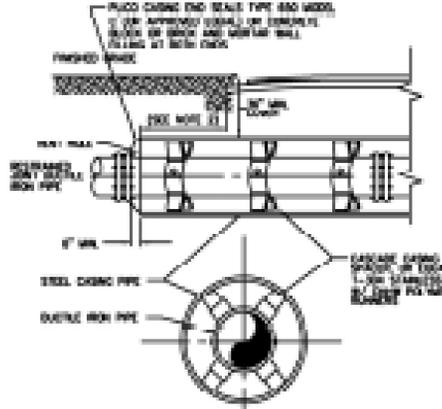
OFFSET TYPE AIR RELEASE VALVE ASSEMBLY

WATER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEER'S DOCUMENTS
THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WATER GARDEN OR CONSTRUCTION OF PUBLIC WORKS AND UTILITY PROGRAMS. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES AND SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.



- NOTES**
1. CLEAN-OUT SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 2. INVERT OF SERVICE LATERAL SHALL NOT EXCEED SEWER MAIN BELOW SPRING LINE.
 3. WPE AND 4" BONDS SHALL BE PVC (SEE 28).
 4. LATERAL SHALL BE LAYED AS CLOSE TO LOT LINE AS POSSIBLE, 20" MINIMUM.

SANITARY SEWER SERVICE LATERAL DETAIL
N.T.S.



- NOTES**
1. WHERE PRACTICAL, CURING SHALL EXTEND IF BEYOND END OF PAVEMENT AND SHALL NOT BE LESS THAN 12" BEYOND END OF PAVEMENT IN ANY CASE.
 2. CURING BEACONS AND END SEALS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 3. SPECIAL CARE TO BE TAKEN WITH PERMANENT GROUT (S) FOR CONNECTION CONTROL.

PIPE AND JACK DETAIL
N.T.S.

Phone 811-37
CIVIL ENGINEERING
Denham Engineering, LLC
Orlando: 407-817-9487
Clearwater: 888-948-1918
www.DenhamENG.com

Foundation Academy
1204 Taha Road
Water Garden, FL 34707
Tel: 407-350-0000

Foundation Academy Phase 2
Water Garden, FL

Construction Plans

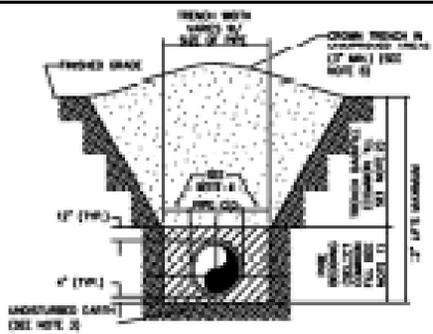
Details City Sanitary

Revisions

NO.	DATE	REVISION
1	11-11-11	ISSUE FOR PERMITS
2		
3		
4		
5		
6		
7		
8		
9		
10		

Professional Engineer Seal
T. DENHAM, P.E.
Date: 11-11-11
Project: 11-11-11

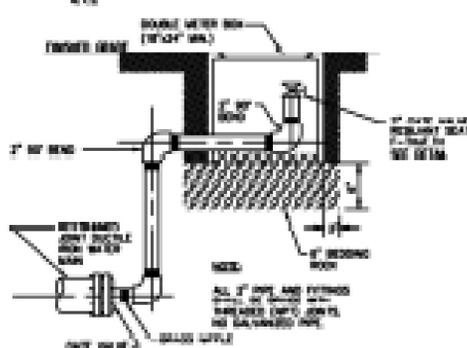
GRAPHIC SCALE
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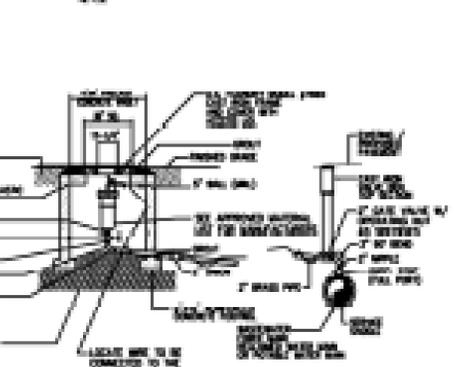
NOTES

1. PVC BEDDING SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OF THE PIPE MANUFACTURER'S SPECIFICATIONS AND CONTAINING NO MORE THAN 1% PASSING AND 5% RETAINING.
2. TRENCH SHOULD BE FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY OF THE APPROXIMATE FILL AND CONTAINING NO MORE THAN 1% PASSING AND 5% RETAINING.
3. PVC BEDDING UNLESS SELECT CORNER FILL OR BEDDING ROCK IS ACCORDING WITH THIS A BEDDING AND BEDDING MAY BE ACCORDING TO THE CITY OF WATER GARDEN.
4. 12" WALL FOR PIPE DIAMETER LESS THAN 24", AND 24" WALL FOR PIPE DIAMETER 24" AND LARGER.
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
7. REFER TO SECTION 215 OF THE WATER GARDEN MANUAL OF STANDARDS AND SPECIFICATIONS FOR UNLINED CONSTRUCTION FOR ADDITIONAL INFO PERTAINING TO CONSTRUCTION.
8. FINAL RESTORATION IN APPROVED AREAS SHALL BE IN COMPLIANCE WITH THE RESTORATION REQUIREMENTS OF APPLICABLE ORDINANCES. RESTORATION SHALL BE DONE BY THE CONTRACTOR UNDER THE SUPERVISION OF THE WATER GARDEN DIVISION AND SHALL COMPLY WITH THE CITY OF WATER GARDEN RESTORATION SPECIFICATIONS.

STANDARD BEDDING DETAIL
N.T.S.

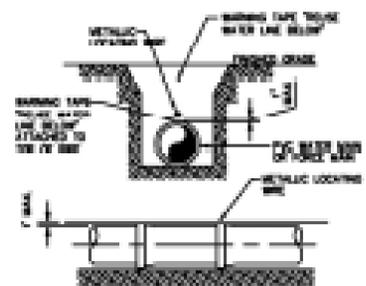


BLOWOFF VALVE DETAIL
N.T.S.



- NOTES**
1. THE APPROX DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 12 FEET.
 2. DOUBLE STRAP SANDS AND GRAP WITH TWO LAYERS OF WIRE PLACED ON POLY TYPED WITH STABILIZED EDDY STRAP.
 3. PIPE INSTALLATION SHALL BE SUCH THAT THE VALVE IS LOCATED AT THE POINTS TO BE IN THE RESTORATION ZONES.
 4. METRIC AND OTHER COMPONENTS SHOWN SHALL BE INSTALLED PER THE CITY OF WATER GARDEN SPECIFICATIONS FOR THIS VALVE.
 5. GATE WITH FRAME, COVER AND ACCESS DO SHALL BE INSTALLED TOUGH WITH FINISHED GRADE.
 6. COVER SHALL BEAD "WATER GARDEN UTILITIES DIVISION, "SMART" TOLLGARD WATER OF POLISHED METAL."
 7. ALL DIMENSIONS ARE IN FEET.
 8. LOCATE WIRE IN THE GATE VALVE SHALL BE PLACED TO THE PIPE RUNNING INTO THE METER BOX AND TRENCH WIRE TO BE PLACED IN ANY TRENCH. THE POINT OF CONNECTION TO THE GATE VALVE SHALL BE 12 FEET FROM THE END OF THE TRENCH.

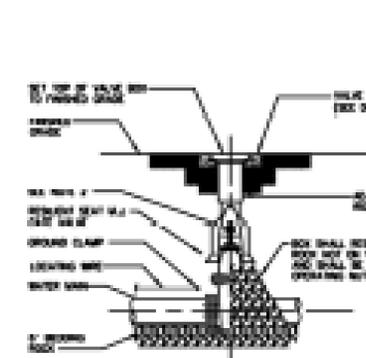
OFFSET TYPE AIR RELEASE VALVE ASSEMBLY
N.T.S.



NOTES

1. PVC PIPE SHALL BE LOCATED WITH METALLIC LOCATING WIRE (1/2\"/>
2. LOCATING WIRE SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING ABOVE TOP BOX 12" TO BE NOT TO INTERFERE WITH VALVE OPERATION.

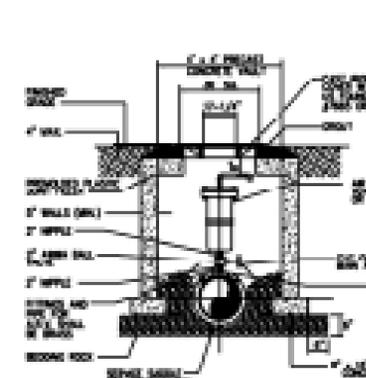
PVC PIPE LOCATING WIRE DETAIL
N.T.S.



NOTES

1. THE EXTENDING SHALL NOT BE USED ON VALVE BOX RESTORATION.
2. THE LOCATING WIRE FOR GATE VALVE SHALL BE TERMINATED IN SOME OF THE 12" FROM THE TOP OF THE FINISHED GRADE.

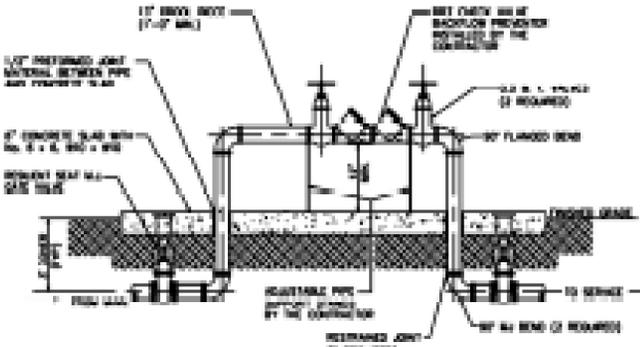
GATE VALVE AND VALVE BOX DETAIL
N.T.S.



NOTES

1. THE APPROX DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 12 FEET.
2. DOUBLE STRAP SANDS AND GRAP WITH TWO LAYERS OF WIRE PLACED ON POLY TYPED WITH STABILIZED EDDY STRAP.
3. 12" AIR RELEASE VALVE SHALL BE INSTALLED PER THE CITY OF WATER GARDEN SPECIFICATIONS FOR THIS VALVE.
4. COVER WITH FRAME, COVER AND ACCESS DO SHALL BE INSTALLED TOUGH WITH FINISHED GRADE.
5. COVER SHALL BEAD "WATER GARDEN UTILITIES DIVISION AND "TOLLGARD WATER OF POLISHED METAL."
6. ALL DIMENSIONS ARE IN FEET.
7. NO DIMENSIONS ARE IN FEET.

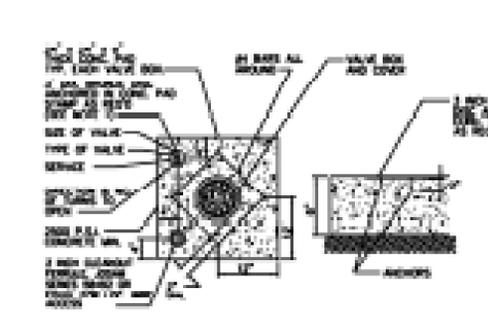
RECLAIMED WATER AIR RELEASE VALVE AND VAULT
N.T.S.



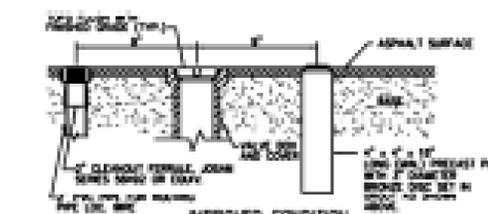
NOTES

1. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 80 PVC. NO GALVANIZED PIPE ALLOWED.
2. ALL PIPE LARGER THAN 2" SHALL BE FLANGED CAST IRON PIPE.
3. INSULATED WATER JUMPER SHALL BE 24" OR 36" DIA.

RECLAIMED WATER JUMPER CONNECTION
N.T.S.



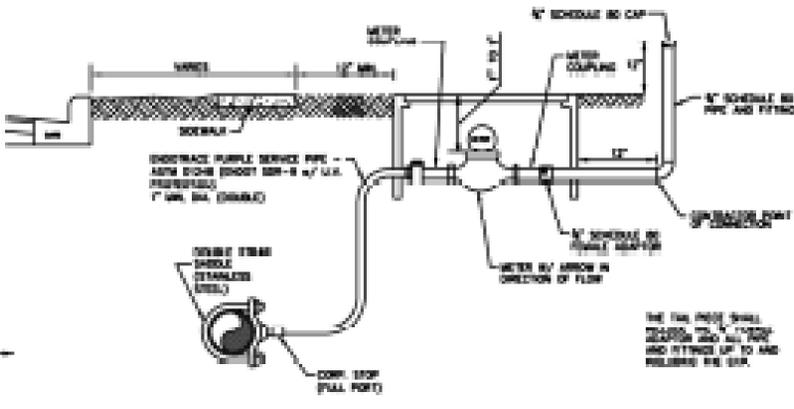
UNIMPROVED CONDITION



IMPROVED CONDITION

VALVE BOX COLLAR
N.T.S.

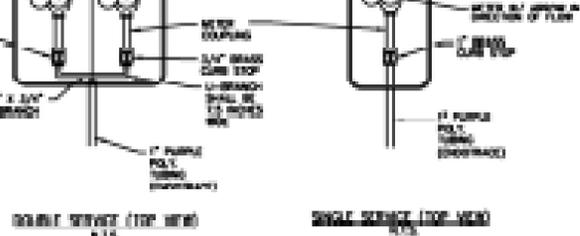
- NOTES**
1. BRONZE IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES.



NOTES

1. ONLY 1/2" VALVE SHALL BE ALLOWED FOR ALL SERVICE LINES.
2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
3. EACH SERVICE LINE SHALL TERMINATE IN A METER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE CURB EXCEPT AT THE PROPERTY LINES OF THE LOTS TO BE SERVED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTION TO THE FOLLOWING THE WATER GARDEN DIVISION. ALL DIMENSIONS SHALL BE TO THE CENTER OF THE PIPE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATER GARDEN DIVISION TO MAKE SURE AND MAKE ANY OTHER ADJUSTMENTS TO THE METER BOX IF REWORKING OCCURS.
5. ALL SERVICE LINES SHALL BE POLY ETHYLENE PIPE AND SHALL BE PURPLE IN COLOR NUMBER.
6. THE POINT OF CONNECTION TO THE SERVICE LINE SHALL BE TO THE METER BOX. ALL DIMENSIONS SHALL BE TO THE CENTER OF THE PIPE UNLESS OTHERWISE NOTED.
7. IN THE CASE IT NEED TO BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.

RECLAIMED WATER SINGLE AND DOUBLE SERVICE DETAIL
N.T.S.



NOTES

1. ONLY 1/2" VALVE SHALL BE ALLOWED FOR ALL SERVICE LINES.
2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
3. EACH SERVICE LINE SHALL TERMINATE IN A METER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE CURB EXCEPT AT THE PROPERTY LINES OF THE LOTS TO BE SERVED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTION TO THE FOLLOWING THE WATER GARDEN DIVISION. ALL DIMENSIONS SHALL BE TO THE CENTER OF THE PIPE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATER GARDEN DIVISION TO MAKE SURE AND MAKE ANY OTHER ADJUSTMENTS TO THE METER BOX IF REWORKING OCCURS.
5. ALL SERVICE LINES SHALL BE POLY ETHYLENE PIPE AND SHALL BE PURPLE IN COLOR NUMBER.
6. THE POINT OF CONNECTION TO THE SERVICE LINE SHALL BE TO THE METER BOX. ALL DIMENSIONS SHALL BE TO THE CENTER OF THE PIPE UNLESS OTHERWISE NOTED.
7. IN THE CASE IT NEED TO BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.

RECLAIMED WATER SINGLE AND DOUBLE SERVICE DETAIL
N.T.S.

Phone: 411-37

Denham Engineering, LLC
 Orlando: 407-217-2487
 Clearwater: 888-988-1918
 Orlando: 407-217-2487
 www.DenhamENGO.com

Foundation Academy
 1804 Tilden Road
 Water Garden, FL 34707
 Tel: 407-230-0883

Foundation Academy
 Phase 2
 Water Garden, FL

Construction Plans

Reuse Details

Revisions		
No.	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		

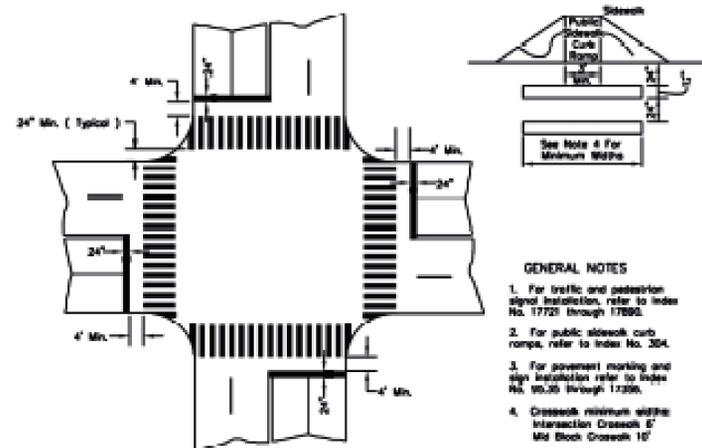
T. Williams, P.E.
 Date: 11-11-11
 Project: [illegible]
 City of Water Garden

GRAPHIC SCALE
 Not to Scale

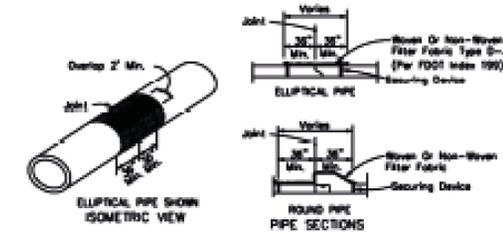
WATER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEER'S SIGNATURES
 THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHALL REPRESENT THE REVISED STANDARDS OF THE CITY OF WATER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE, BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

GENERAL NOTES:

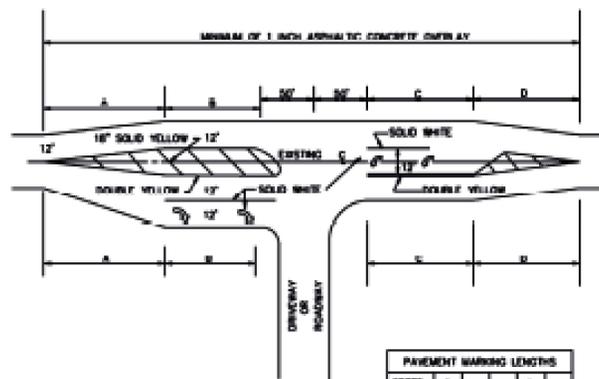
1. ALL NEW STORM AND SANITARY SEWER LINES IN THE CITY OF WINTER GARDEN SHALL BE SUBJECT TO CLOSED CIRCUIT TV INSPECTION PRIOR TO BEING ACCEPTED BY THE CITY, WHETHER PRIVATE OR CITY MAINTAINED. ALL STORM SEWER PIPE SHALL BE INSPECTED AT THE YEAR END. COST TO BE PAID BY THE OWNER.
2. PIPE MATERIAL SHALL BE AS SHOWN ON THE CONSTRUCTION PLANS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
3. CONTRACTOR AND OWNER ARE RESPONSIBLE FOR ENSURING THAT ALL CITY, COUNTY, STATE (FSOP, FOOT, CANAL, FIC), AND FEDERAL DEPARTS HAVE BEEN ISSUED FOR THE PROJECT.
4. ALL STORM SYSTEM MUST BE WATER-TIGHT WITH ALL JOINTS WRAPPED.
5. STORM SYSTEM WILL BE CLEANED PRIOR TO BEING TYPED.
6. THE OWNER SHALL KEEP A COPY OF THE WATER MANAGEMENT DISTRICT PERMITS, NPDES, NSR AND SWPP PLAN IN A CONSPICUOUS LOCATION ON THE JOB SITE AT ALL TIMES.
7. ALL STORM SEWER MANHOLES FRAME & COVER SHALL BE ASTM 225.
8. CLEAN SAND SHALL CONSIST OF MATERIAL HAVING LESS THAN 5% PASSING THE #200 SIEVE.
9. ONLY CONCRETE BRICK BLOCKS WILL BE ALLOWED TO BE IN PLACE FOR STORM MANHOLES. ALL BRICK BLOCKS SHALL BE SEALED TO THE STRUCTURE USING WRAP SEAL. NO MORE THAN 1" WILL BE ALLOWED.
10. STORM SEWER PIPES SHALL MEET ASTM C78 & ASTM C602.
11. ALL STORM SEWER STRUCTURE SECTIONS SHALL BE SEALED WITH WRAP SEAL.



SPECIAL EMPHASIS CROSSWALK SIGNALIZED OR STOP SIGN CONTROLLED INTERSECTION
N.T.S.

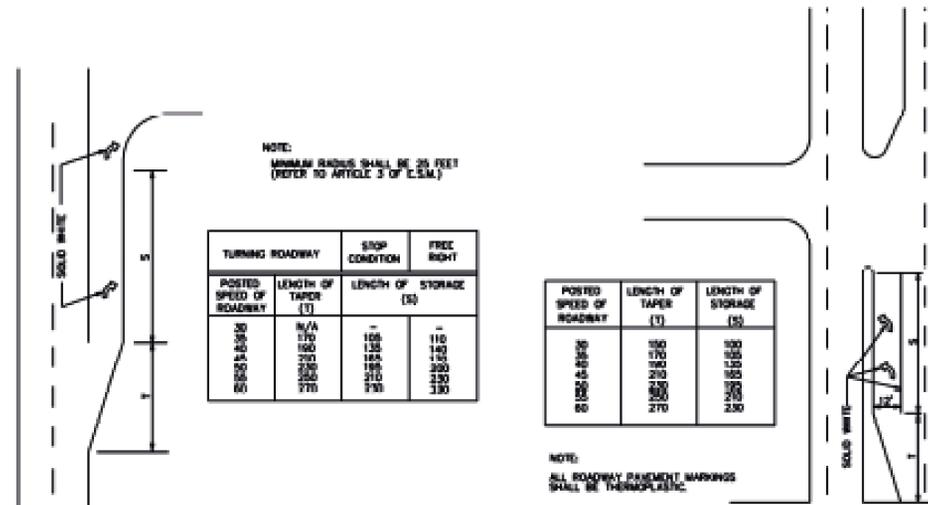


FILTER FABRIC JACKET
N.T.S.



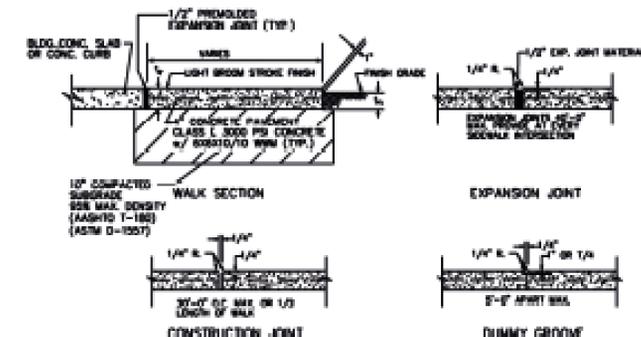
- NOTES:**
- 1) STRIPING ACCORDING TO F.O.D.T. STANDARD INDEX #173488.
 - 2) LANE WIDTHS TO MATCH EXISTING LANE WIDTHS.
 - 3) MINIMUM RADIUS SHALL BE 25 FEET (REFER TO ARTICLE 3 OF E.S.M.)
 - 4) ALL ROADWAY PAVEMENT MARKING SHALL BE THERMOPLASTIC.

TYPICAL INTERSECTION
N.T.S.

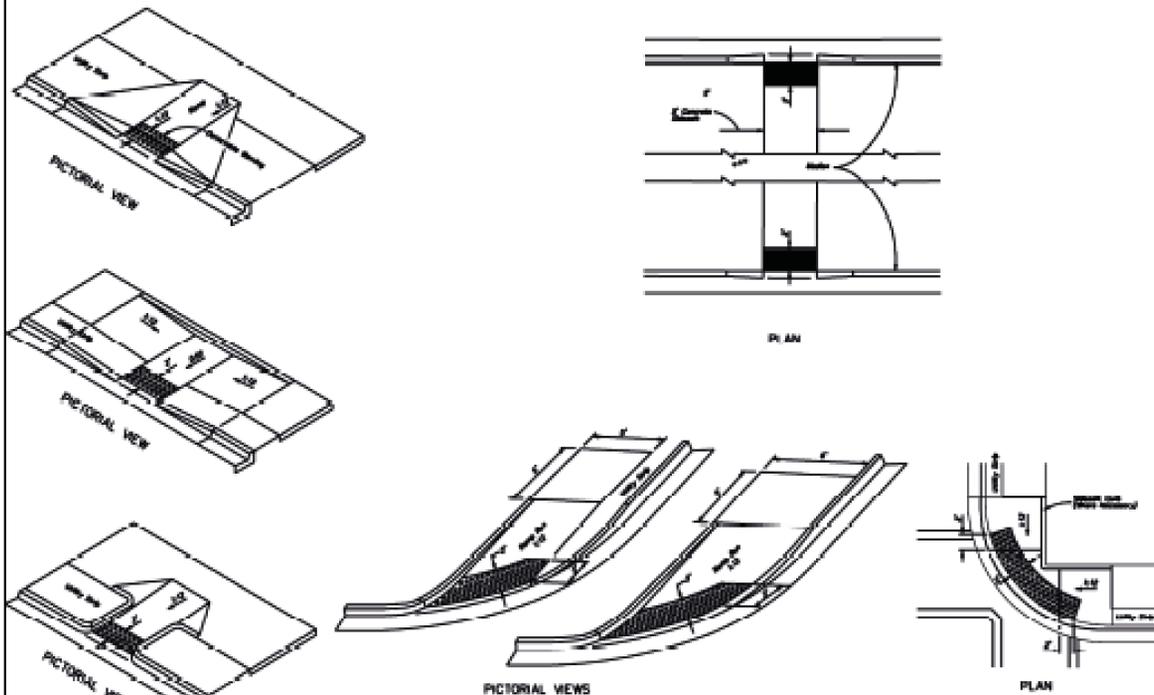


RIGHT TURN DECELERATION LANE
N.T.S.

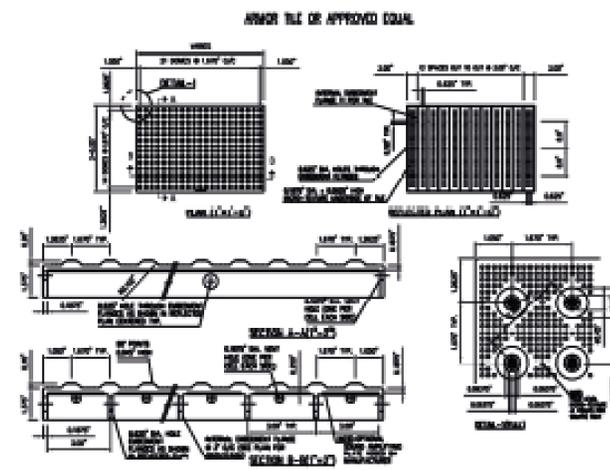
LEFT TURN STORAGE LANE (DIVIDED HIGHWAY)
N.T.S.



SIDEWALK DETAILS
N.T.S.



TYPICAL PLACEMENT OF DETECTABLE WARNING ON CURB RAMPS
N.T.S.



- NOTE:**
1. CURB RAMP DETECTABLE WARNING TILE SHALL BE ARMOR TILE OR EQUAL.

CURB RAMP DETECTABLE WARNING DETAIL
N.T.S.

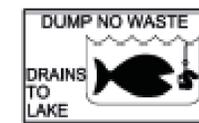


PLATE SHALL BE ADDED TO STORMWATER INLETS AS REQUIRED BY THE CITY.

CIVIL DESIGN

Denham Engineering, LLC
Orlando: 407-217-3487
Clermont: 352-969-1919
Brianna@DenhamENG.com
www.DenhamENG.com

Foundation Academy
15304 Tilden Road
Winter Garden, FL 34787
Ph: 407-230-5852

Foundation Academy Phase 2
Winter Garden, FL

Construction Plans

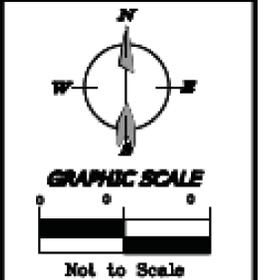
Roadway Details - 1

Revisions

NO.	DATE	DESCRIPTION
1	11-20-18	ISSUE
2		
3		
4		
5		
6		
7		
8		

Plan view with yellow signal, detail and detail below.

X. Brian Denham, P.E.
Date: 11-20-18
FL Registration Number
Certificate of Authorization 000000



CITY OF WINTER GARDEN - GENERAL NOTES

1. ALL UTILITY SYSTEMS AND IMPROVEMENTS CONSTRUCTED IN THE CITY OF WINTER GARDEN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUAL OF STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION FOR THE CITY OF WINTER GARDEN. TO BE REFERRED TO AS MSS/CNG, THE LATEST EDITION AT THE TIME PERMITS ARE APPROVED SHALL BE EFFECTIVE FOR THE DURATION OF THE SUBJECT WORK OR PROJECT DEVELOPMENT.
2. THE CITY OF WINTER GARDEN GENERAL NOTES AND DETAILS ARE PROVIDED FOR THE CONTRACTOR TO FOLLOW. THE CITY ENGINEER HAS REVIEWED THE MSS/CNG FOR THE PROJECT. THE CONTRACTOR SHALL REFER TO THE FULL TEXT OF THE MSS/CNG FOR FURTHER DETAILS AND CLARITY WHERE NECESSARY.
3. ANY REQUEST FOR VARIANCE OR NON-COMPLIANCE FROM THE MSS/CNG NOTED ABOVE MUST BE APPROVED BY THE CITY ENGINEER OR UTILITIES DIRECTOR.
4. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN CLOSE PROXIMITY TO EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR CALL "TURNS ONE CALL" 1-800-432-4770 A MINIMUM OF 72 HOURS IN ADVANCE.
5. CONTRACTOR'S DAMAGE OF WINTER GARDEN UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY NOTIFY AND REPORT DAMAGE TO THE CITY OF WINTER GARDEN UTILITY DIVISION, (NO MESSAGE) PHONE # 407-858-4100.
6. IMMEDIATE REPAIR OF DAMAGED UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGE TO THE CITY OF WINTER GARDEN UTILITY SYSTEM AS REQUIRED BY THE UTILITY OWNER AT CONTRACTOR'S COST. IN CASE OF EMERGENCY ACTION BY THE CONTRACTOR, THE CITY RESERVES THE RIGHT TO REPAIR DAMAGE. THE CONTRACTOR SHALL REIMBURSE THE CITY OF WINTER GARDEN OF ALL REPAIR COST.
7. ADVANCE NOTIFICATION OF CONSTRUCTION: THE CONTRACTOR SHALL NOTIFY CITY OF WINTER GARDEN UTILITY DIVISION, P.O. BOX 200-1100, AT LEAST SEVEN (7) CALENDAR DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
8. ADVANCE NOTIFICATION OF UTILITY CONNECTIONS: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST SEVEN CALENDAR DAYS IN ADVANCE TO SCHEDULE CONNECTIONS TO UTILITY SYSTEM.
9. UTILITY VALVE OPERATIONS: ONLY CITY OF WINTER GARDEN UTILITY PERSONNEL SHALL OPERATE VALVES AND FIRE HYDRANTS. THE CONTRACTOR, WHEN NEEDED, SHALL CALL THE CITY TO REQUEST VALVE OPERATIONS AT LEAST TWO (2) DAYS IN ADVANCE OF CONSTRUCTION WORK.
10. OPERATIONS INVOLVING WATER OR WASTEWATER FACILITIES INCLUDING PUMPING STATIONS: THE CONTRACTOR SHALL COORDINATE AT LEAST TWO (2) WEEKS IN ADVANCE, ANY CONSTRUCTION OPERATIONS THAT MAY REQUIRE THE DISCONTINUATION OF SERVICE OR OPERATION OF A FACILITY. THE CITY WILL PROVIDE PERSONNEL TO OPERATE THE CITY FACILITIES.
11. REQUIRED TESTING BY CONTRACTOR: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST TWO (2) DAYS PRIOR TO SAMPLING ACTIVITIES FOR PURPOSES OF TESTING AS REQUIRED BY THE CITY. THE CONTRACTOR SHALL NOT TEST OR SAMPLE WITHOUT OBSERVATION BY CITY INSPECTION PERSONNEL.
12. TEMPORARY OR CONSTRUCTION WATER SERVICE CONNECTIONS PROVIDED BY FIRE HYDRANT CONNECTION: THE CITY WILL PROVIDE WATER ON FIRE HYDRANT. THE CONTRACTOR SHALL PROVIDE NON-REFUNDABLE ACCOUNT RENTAL FEE, A REFUNDABLE SECURITY DEPOSIT FOR THE METER APPARATUS AND PAY ALL COST FOR WATER USED.
13. ALL AS BUILT MEASUREMENTS & ELEVATIONS ARE TO BE MADE BY A LICENSED LAND SURVEYOR.

COWG WATER SYSTEM NOTES:

1. THE CONTRACTOR SHALL PROVIDE AND INSTALL A CITY APPROVED BACKFLOW DEVICES ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
2. REPAIRS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO 10% OF THE TOTAL NUMBER OF JOINT CONNECTIONS.
3. THE CONTRACTOR SHALL HYDROSTATICALLY TEST ALL WATER MAINS AND SERVICE LATERALS AT 150 PSI FOR A TWO HOUR PERIOD. TESTS MUST BE OBSERVED BY A CITY INSPECTOR.
4. THE CONTRACTOR SHALL INSTALL WARNING TAPE OVER ALL NEW WATER MAINS. WARNING TAPE SHALL BE AS FOLLOWS: NON-DETECTABLE, SIZE 2" WITH "WATER LINE BELOW", MUST BE PLACED 8" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADER TEES. NUMBER TO GRADE TRACER WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH DUCT TAPE, AT LEAST FIVE TIMES PER JOINT. THE TRACER WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATOR CAN BE CONNECTED TO IT.
5. THE CONTRACTOR SHALL INSTALL WATER MAINS PER MSS/CNG SPECIFICATIONS. SOLVENT CEMENTED JOINTS AND THRUST BLOCKS ON PIPING SYSTEMS SHALL NOT BE ALLOWED.
6. THE CONTRACTOR SHALL INSTALL ALL WATER MAINS TO A MINIMUM DEPTH OF 36 INCHES AND A MAXIMUM DEPTH OF 42 INCHES BELOW FINAL GRADE.
7. THE CONTRACTOR SHALL INSTALL ALL SERVICE LATERALS A UNIFORM DISTANCE APART, LOCATED ON PROPERTY LOT LINE AT 90° FROM THE WATER MAIN. SERVICE LATERALS SHALL BE SEPARATELY CONNECTED TO THE WATER MAIN, NOT SPliced TOGETHER.
8. THE CONTRACTOR SHALL CUT A "X" INTO CONCRETE CURB, LOCATED INSIDE OF A PAINTED 16" SQUARE, LOCATED DIRECTLY IN FRONT OF EACH SERVICE LATERAL.
9. THE CONTRACTOR SHALL INSTALL CURB STOP, IN METER BOX. CURB STOP SHALL BE SET 6" BELOW FINISHED GRADE.
10. THE CONTRACTOR SHALL PROVIDE AND INSTALL IN-LINE VALVES ON WATER MAINS AT 1,000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED ON ALL TEES AND CROSSSES. WATER MAINS SHALL BE PLACED UNDER SIDEWALKS WHERE POSSIBLE.
11. ALL WATERMANS SHALL BE CLEANED BY PIGGING THE LINE WITH A FOAM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PIGGING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PIGGING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
12. THE CONTRACTOR SHALL DEMONSTRATE THAT LOCATION WERE INSTALLED OVER ALL WATER MAINS IS IN ACCORDANCE WITH THE CITY OF WINTER GARDEN, FL.
13. ALL NEW SUBSTATION CONSTRUCTION SHALL INSTALL DOUBLE POTABLE WATER SERVICES AT THE PROPERTY LINES.

COWG - WASTEWATER SYSTEM NOTES:

1. SANITARY SEWER MAINS AND SERVICES SHALL BE PVC SDR-35 (MANHOLE), FITTINGS SHALL BE SDR-35. DUCTILE IRON IS NOT APPROVED FOR SANITARY SEWERS.
2. ALL SERVICES SHALL BE 6" (MINIMUM) DIAMETER AND TERMINATE AT THE PROPERTY LINE WITH 6" CLEAN OUT, (30" TO 40" DEEP AT LOT LINE).
3. MAGNETIC TAPE MUST BE PLACED 2" ABOVE THE TOP OF PIPE FOR THE ENTIRE LENGTH OF ALL MAINS AND SERVICES.
4. ALL SANITARY MANHOLES SHALL BE PAINTED INSIDE AND OUT WITH "POLYMASTIC SUPER SERVICE BLACK", BY KOPFORS OR APPROVED EQUAL. MANHOLES RECEIVING FLOW FROM FORCE MAINS SHALL BE LINED WITH FIBERGLASS OR HOPE AT THE PRECASTERS FACILITY.
5. ALL PIPE CONNECTIONS TO PRE-CAST MANHOLES SHALL BE MADE USING A FIBERGLASS CORN RUBBER DUCT AND STAINLESS STEEL STRAP OR CAST IN BOOT BY 3-LINK, 2-LINK OR EQUAL.
6. CONNECTIONS MADE TO EXISTING MANHOLES SHALL BE CORE BORED WITH A MINIMUM 6" BORE AND CONNECTION SEALED WITH FIBERGLASS BOOT AND STAINLESS STEEL CLAMP.
7. DEAD END MANHOLES SHALL HAVE A MINIMUM OF 5 FEET OF COVER FROM FINISHED GRADE TO OUTLET PIPE INLET.
8. ALL PRECAST SEWER MANHOLES SHALL HAVE A 4 FOOT MINIMUM HIGH BARREL CONE SECTIONS SHALL BE 3 FOOT MAXIMUM. CONCRETE JOINTS FOR EXTENDING ARE ACCEPTABLE TO RISE MANHOLES UP TO 1 FOOT MAXIMUM.
9. THE CONTRACTOR SHALL PROVIDE AND INSTALL SANITARY SEWER VALVES IN STREET MAINS AT 1000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED AT ALL TEES AND CROSSSES.
10. THE CONTRACTOR SHALL CUT A "X" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED GREEN SQUARE BOX, IN FRONT OF EACH SERVICE LOCATION.
11. THE CONTRACTOR SHALL PROVIDE TV INSPECTION OF ALL SANITARY SEWER MAINS AFTER EVERYTHING IS COMPLETED, THOROUGHLY CLEANED, GRAINED AND FULLY VISIBLE. TV INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATIONS. FAILURE INSPECTION DUE TO POOR CONDITIONS WILL REQUIRE REINSPECTION BY CONTRACTOR.
12. THE CONTRACTOR SHALL PROVIDE A (WARRANTY) TV INSPECTION AT THE TWO YEAR IN SERVICE MAINTENANCE FOR EACH SYSTEM.
13. THE CONTRACTOR SHALL PROVIDE SANITARY SEWER TESTING, EXFILTRATION OR AIR, AS REQUIRED BY DESIGN ENGINEER AND SUBMIT CERTIFIED RESULTS TO THE CITY ENGINEER.
14. GRAVITY SEWERS DEPTHS SHALL NOT EXCEED 18 FEET.
15. THE DESIGN ENGINEER SHALL PROVIDE A MINIMUM OF ONE FOOT OF FREEBOARD BETWEEN THE LOWEST FINISHED FLOOR ELEVATION AND THE TOP ELEVATION OF THE NET HULL.
16. ALL PENETRATIONS INTO CONCRETE STRUCTURES SHALL BE PRE-CAST OR CORE-DRILLED.
17. WARRANTY - ALL MATERIALS & EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS FROM THE DATE OF FINAL ACCEPTANCE THEREOF AGAINST DEFECTIVE MATERIALS, DESIGN AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE CITY OF FAILURE OF ANY PART OF THE WARRANTED EQUIPMENT OR MATERIALS DURING THE WARRANTY PERIOD, THE AFFECTED PART, PARTS, OR MATERIALS SHALL BE PROMPTLY REPLACED BY THE CONTRACTOR WITH NEW PARTS OR MATERIALS AT NO CHARGE TO THE CITY. IN THE EVENT THE CONTRACTOR FAILS TO MAKE THE NECESSARY REPLACEMENT OR REPAIRS IMMEDIATELY AFTER NOTIFICATION, THE CITY MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.

CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION OF SEWER LINES

GENERAL:

1. ALL NEW SANITARY SEWER LINES, PRIVATE OR CITY MAINTAINED, IN THE CITY OF WINTER GARDEN'S SERVICE AREA SHALL BE INSPECTED BY CLOSED CIRCUIT TV INSPECTION BY THE CONTRACTOR WITH A CITY INSPECTOR PRESENT PRIOR TO BEING ACCEPTED BY THE CITY.

REQUIREMENTS PRIOR TO INSPECTION RELEASE:

1. ALL ELEMENTS OF THE SEWER SYSTEM MUST BE INSTALLED AND BE COMPLETELY FINISHED, INCLUDING MAIN SEWER LINES, LATERALS, CLEAN OUTS, AND MANHOLES PRIOR TO CCTV INSPECTION.
2. ALL SEWER LINES SHALL BE COMPLETELY CLEANED OF ALL DEBRIS, SAND, WATER, ETC. PRIOR TO THE CCTV INSPECTION. ANY GROUND OR WATER THAT PREVENTS CCTV INSPECTION FROM VIEWING CONDITION OF PIPELINE IS CONSIDERED AN OBSTRUCTION REQUIRING ADDITIONAL CLEANING. WHEN CCTV VIEW IS OBSTRUCTED, INSPECTION SHALL BE TERMINATED. THE CONTRACTOR SHALL CLEAN THE SEWER SYSTEM COMPLETELY AND RESCHEDULE CCTV RE-INSPECTION WITH THE CITY.
3. A HYDRAULIC SEWER CLEANER SHALL NOT BE USED DURING THE CCTV INSPECTION. IF LINES ARE FOUND TO BE OBSTRUCTED BY WATER OR DEBRIS DURING THE CCTV INSPECTION, THE INSPECTION SHALL BE TERMINATED AND RESCHEDULED TO A TIME WHEN SUFFICIENT CLEANING IS COMPLETE.
4. WHEN A SEWER LINE IS UNDER A PAVED AREA, THE AREA SHALL BE COMPACTED AND PRIMED BEFORE THE SYSTEM SHALL BE RELEASED FOR TV INSPECTION.

TELEVISION EQUIPMENT MINIMUM REQUIREMENTS:

1. THE CLOSED CIRCUIT TV CAMERA SHALL PRODUCE A CLEAR COLOR PICTURE ON THE MONITOR AND ON THE DVD RECORDING. THE CAMERA SHALL BE ABLE TO SHOW 360° TO THE POINT THAT ALL JOINTS AND ANY DEFECTS WILL BE REASONLY SEEN AT THE TIME OF THE INSPECTION. THE CAMERA SHALL STOP AND PAN AT EACH JOINT FOR COMPLETE 360 DEGREE INSPECTION.
2. REFER TO APPENDIX B OF THE REFERENCED STANDARDS FOR SPECIFICATION OF CLOSED CIRCUIT TELEVISION INSPECTION EQUIPMENT.
3. THE VIDEO RECORDER SHALL PRODUCE A NO NOISE STILL PICTURE, AND PROVIDE BOTH AUDIO AND VIDEO DURING THE INSPECTION.
4. A MEASUREMENT DEVICE APPROVED BY THE CITY, TO CHECK THE GRADE OF THE PIPE DURING THE INSPECTION, SHALL BE REQUIRED. GAUGE DEPTH, 0" TO 2" MIN WITH 1/2" MARKINGS.
5. AUDIO OF THE INSPECTION SHALL BE IMMEDIATELY RECORDED ON DVD DISC. THE AUDIO SHALL CONSIST OF ORDINARY DESCRIPTION AND COMMENTARY. A TAPE WILL BE GIVEN TO THE INSPECTOR ON SITE AT THE END OF THE DAY.

PROCEDURE FOR TELEVISION:

1. THE CITY'S ENGINEERING INSPECTION DIVISION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS NOTICE PRIOR TO THE TIME PLANNED FOR THE TV INSPECTION TO COMMENCE. A DEFINITE TIME AND DATE WILL BE AGREED UPON BY THE CONTRACTOR AND INSPECTOR AT THAT TIME.
2. NO INSPECTION SHALL COMMENCE WITHOUT THE PRESENCE OF THE INSPECTOR, EXCEPT WHEN PRIOR ARRANGEMENTS HAVE BEEN MADE BETWEEN THE CONTRACTOR, INSPECTOR, AND THE CITY. TV INSPECTION SHALL BE PERFORMED BY THE CONTRACTOR AT THE EXPENSE OF THE CONTRACTOR.
3. ALL CCTV INSPECTIONS SHALL COMMENCE UP STREAM OF THE SYSTEM TO PREVENT FOREIGN SUBSTANCES FROM ENTERING A SECTION PREVIOUSLY TELEVIEWED. THE CAMERA SHALL BE STARTED FROM THE DOWNSTREAM MANHOLE AND PROCEED UPSTREAM IN DIRECTION OPPOSING THE NORMAL FLOW IN THE LINE. THIS PROCEDURE WILL ALLOW FOR THE VIEWING OF THE SERVICE LATERALS.
4. BEFORE THE CAMERA IS PLACED IN THE SEWER LINE, WATER WITH YELLOW OR ORANGE DYE SHALL BE PUT INTO THE UPSTREAM MANHOLE OF THE SECTION BEING TELEVIEWED. CAMERA WILL HAVE A GAUGE SHOWING 1/2" MARKS FROM 1/2" TO 2-1/2". THIS WILL ENABLE THE CAMERA TO DETECT ANY CHANGES IN GRADE THAT MAY BE PRESENT IN THE SYSTEM.
5. THE CCTV AND DVD RECORDER SHALL BE TURNED ON BEFORE THE CAMERA IS PLACED IN THE MANHOLE FOR INSPECTION AND SHALL NOT BE TURNED OFF UNTIL THE CAMERA IS REMOVED FROM THE MANHOLE. THE CAMERA SHALL BE MOVED THROUGH THE LINE UNDER THE CONTROL OF THE CCTV CAMERA OPERATOR. THE CAMERA SHALL BE DRAWN THROUGH THE LINE AT A RATE NOT TO EXCEED THIRTY (30) FEET PER MINUTE AND SHALL STOP AT ALL SERVICE CONNECTIONS AND PIPE JOINTS IN THE PIPELINE.
6. A DVD RECORDING SHALL BE MADE OF THE ENTIRE SYSTEM BEING TELEVIEWED. THIS SHALL BECOME THE PROPERTY OF THE CITY UPON COMPLETION OF THE TV INSPECTION (NOT A COPY OF THE TAPE(S)) SHALL BE LABELED IN SUCH A MANNER THAT STATES THE PROJECT NAME, DATE OF INSPECTION AND THE SECTION ACCORDING TO CONSTRUCTION PLANS CONTAINED ON EACH TAPE. A WRITTEN REPORT SHALL ACCOMPANY THE DVD DISC.

COWG RECLAIMED WATER SYSTEM GENERAL NOTES:

1. ALL PRIVATE RECLAIMED WATER SYSTEMS SHALL HAVE A CITY APPROVED BACKFLOW DEVICES ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
2. REPAIRS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO 10% OF THE TOTAL NUMBER OF JOINT CONNECTIONS.
3. ALL MAINS AND SERVICE LATERALS SHALL BE HYDROSTATICALLY TESTED AT 150 PSI FOR A TWO HOUR PERIOD.
4. WARNING TAPE, NON-DETECTABLE, SIZE 2" WITH "REUSE WATER LINE BELOW", MUST BE PLACED 8" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADER TEES. NUMBER TO GRADE TRACER WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH DUCT TAPE, AT LEAST FIVE TIMES PER JOINT. THE TRACER WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATOR CAN BE CONNECTED TO IT. THE CONTRACTOR SHALL DEMONSTRATE THE LOCATE WIRE TO BE IN WORKING CONDITION AT PROJECT COMPLETION.
5. THE CONTRACTOR SHALL INSTALL RECLAIMED WATER MAINS PER MSS/CNG. SOLVENT CEMENTED JOINTS AND THRUST BLOCKS SHALL NOT BE ALLOWED.
6. REUSE WATER MAIN SHALL BE BURIED TO A MINIMUM DEPTH OF 36" AND A MAXIMUM DEPTH 42" BELOW FINAL GRADE.
7. SERVICE LATERALS MUST BE LOCATED A UNIFORM DISTANCE APART AND ALIGNED TO PROPERTY LOT LINE AT 90° FROM THE RECLAIMED WATERMAIN.
8. CUSTOMER SERVICE LATERALS SHALL NOT BE SPliced TOGETHER BETWEEN THE WATER MAIN AND CURB STOP.
9. THE CONTRACTOR SHALL CUT CURB A "X" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED SQUARE (PURPLE), DIRECTLY IN FRONT OF EACH SERVICE LATERAL AND VALVE.
10. THE CONTRACTOR SHALL SET DEPTH OF CURB STOP, IN METER BOX, 6" BELOW FINISHED GRADE.
11. THE CONTRACTOR SHALL INSTALL VALVES IN MAIN, NO MORE THAN 1,000 FEET APART IN BETWEEN TEES AND CROSSSES. VALVES SHALL BE PROVIDED AT EACH TEE OR CROSS LOCATED IN MAIN LINE.
12. RECLAIMED WATER MAINS MAY BE LOCATED UNDER SIDEWALKS. RECLAIMED MAINS LOCATED UNDER PAVEMENT SHOULD BE MINIMIZED.
13. ALL WATERMANS SHALL BE CLEANED BY PIGGING THE LINE WITH A FOAM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PIGGING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PIGGING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
14. RECLAIMED WATERMAIN MAINS SHALL BE 8 INCH DIAMETER MINIMUM. 4 INCH IS ALLOWED ON DEAD END MAINS SERVING LESS THAN 20 HOUSES. THE DESIGN ENGINEER SHALL SUBMIT HYDRAULIC CALCULATIONS THAT DEMONSTRATE THE PROPOSED SYSTEM WILL PROVIDE REQUIRED FLOWS AND MAINTAIN MINIMUM PRESSURE. PEAK IRRIGATION RATE SHALL BE SIX(6) TIMES GREATER THAN THE AVERAGE IRRIGATION RATE OF FLOW.
15. RECLAIMED WATER SYSTEM COMPONENTS INCLUDING PIPE, VALVE BOX TOPS AND METER BOX TOPS SHALL BE RECLAIMED PURPLE IN COLOR.

COWG - THRUST RESTRAINT TABLE

RESTRAINED FORCE MAIN PIPE TABLE										
MINIMUM LENGTH(S) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)	PIPE SIZE									
	6"	8"	10"	12"	16"	20"	24"	30"	36"	
90° BEND	18	25	30	34	44	52	63	70	80	
45° BEND	8	10	12	14	18	21	25	30	34	
22-1/2° BEND	4	5	6	7	9	10	12	14	16	
11-1/4° BEND	2	3	4	5	6	7	8	9	10	
PLUG, DEAD END OR BRANCH OF TEE	10	12	15	18	22	27	33	38	44	
VALVE	20	25	32	36	47	56	70	78	88	

RESTRAINED WATER AND RECLAIMED PIPE TABLE										
MINIMUM LENGTH(S) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)	PIPE SIZE									
	6"	8"	10"	12"	16"	20"	24"	30"	36"	
90° BEND	29	37	44	51	65	77	89	100	120	
45° BEND	13	16	18	21	27	33	37	44	50	
22-1/2° BEND	6	7	9	10	13	15	18	21	24	
11-1/4° BEND	3	4	5	6	7	8	9	10	12	
PLUG, DEAD END OR BRANCH OF TEE	10	12	15	18	22	27	33	38	44	
VALVE	20	25	32	36	47	56	70	78	88	

COWG THRUST RESTRAINT NOTES:

1. THE TABLES INDICATE MINIMUM LENGTHS OF RESTRAINED JOINTS ON EACH SIDE OF FITTINGS AND CHANGES IN DIRECTION. WHERE PRACTICAL, FULL LENGTHS OF RESTRAINED PIPE SHALL BE LAID TO ACHIEVE THE REQUIRED MINIMUM RESTRAINT.
2. WHERE COMBINATIONS OF FITTINGS ARE USED, THE PIPING BETWEEN THE FITTINGS SHALL BE REDUCED TO THE MINIMUM RESTRAINED LENGTH OF PIPE. REDUCED UPSTREAM AND DOWNSTREAM OF THE COMBINATION OF FITTINGS SHALL BE DETERMINED ON THE BASIS OF ONE FOOT PER FITTING (I.E., 2x45 DEGREE BENDS WILL BE CONSIDERED AS ONE 90° BEND WERE LOCATED MIDWAY BETWEEN THE TWO 45° BENDS).
3. FOR PIPE THAT IS COVERED BY POLYETHYLENE, RESTRAINED JOINTS MINIMUM LENGTHS SHALL BE INCREASED BY 50 PERCENT.
4. FOR FITTINGS OTHER THAN THOSE PRESENTED IN THE ABOVE TABLES, RESTRAINED JOINT LENGTHS SHALL BE DETERMINED IN ACCORDANCE WITH "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" BY THE "DUCTILE IRON PIPE RESEARCH ASSOCIATION. RESTRAINT JOINT LENGTHS FOR A GIVEN PRESSURE RANGE SHALL BE BASED ON THE MAXIMUM PRESSURE FOR THE TEST PRESSURE RANGE, 54 (SAND SALT) SOIL, 3-FEET DEPTH, LATEST EDITION, FIG. 3 AND FACTOR OF SAFETY OF 1.5.
5. IN-LINE VALVES: PROVIDE MECHANICAL RESTRAINT ON EACH SIDE OF THE VALVE.
6. ALL RECLAIMED WATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 150 PSI. ALL WASTEWATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 100 PSI.

PROPOSED UTILITY	HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS										ACCEPTABLE VARIANCES
	POTABLE WATER		RECLAIMED WATER		SANITARY SEWER (GRAVITY)		SANITARY SEWER (FORCEMAIN)		STORM WATER		
	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	
POTABLE WATER	-	-	3'	12"	6'	12"	6'	12"	3'	12"	6" A 12" B
RECLAIMED WATER	3'	12"	-	-	3'	12"	3'	12"	-	-	SEE GENERAL NOTES NO. 4 & 5
SANITARY SEWER (GRAVITY)	6'	12"	3'	12"	6" A 12" B	-	-	-	-	-	
SANITARY SEWER (FORCEMAIN)	6'	12"	3'	12"	-	-	-	-	-	-	

- GENERAL NOTES:**
1. THE TABLE REPRESENTS THE MINIMUM SEPARATION REQUIREMENTS AS DESCRIBED IN F.O.E.P. RULES OF THE FLORIDA ADMINISTRATION CODE (F.A.C.). THESE SEPARATION REQUIREMENTS SHALL APPLY BETWEEN NEWLY PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES.
 2. IF FOR THE PURPOSE OF THIS TABLE, RECLAIMED WATER SHALL WEAR UNRESTRICTED PUBLIC ACCESS ROUSE WATER AS DEFINED BY F.A.C. 62B-010, CHAPTER 11, OTHER TYPES OF RECLAIMED WATER ARE CONSIDERED RAW WASTE AND SEPARATIONS LIMITS FOR SANITARY SEWER SHALL APPLY.
 3. ALL SEPARATION DISTANCES ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE UNLESS OTHERWISE SPECIFIED. CRITERION PRODUCING GREATER CLEARANCE SHALL BE USED.
 - A - DENOTES POTABLE WATER ABOVE RECLAIMED WATER, SANITARY SEWER OR STORM WATER, OR RECLAIMED WATER ABOVE SANITARY SEWER.
 - B - DENOTES POTABLE WATER BELOW RECLAIMED WATER, SANITARY SEWER OR STORM WATER, OR RECLAIMED WATER BELOW SANITARY SEWER.
 4. UTILITY SEPARATION - VERTICAL CLEARANCE MITIGATION
 - A. WHERE WATER AND GRAVITY SANITARY SEWER MAINS CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE OF THE SEWER MAIN IS ABOVE THE WATER MAIN, THE SANITARY SEWER WILL BE 20 FEET OF COVER.
 1. DUCTILE IRON PIPE, COVERED ON THE POINT OF CROSSING, OR;
 2. CONCRETE UNGRADED WRITING CLAY, OR;
 3. PVC PIPE UPGRADED TO WATER MAIN STANDARDS AND PRESSURE TESTED.
 - B. WHERE WATER MAINS AND STORM SEWER PIPES CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE, THE WATER MAIN SHALL BE 20 FEET OF DUCTILE IRON PIPE COVERED ON THE POINT OF CROSSING.
 - C. SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE DEPARTMENT.
 5. UTILITY SEPARATION - HORIZONTAL SEPARATION MITIGATION
 - A. WHEN A WATER MAIN PARALLELS A GRAVITY SANITARY SEWER MAIN, A SEPARATION (MEASURED EDGE TO EDGE) OF AT LEAST SIX FEET SHOULD BE MAINTAINED. WHERE THIS SEPARATION IS NOT MET, ONE OF THE FOLLOWING MUST OCCUR.
 1. THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER, OR;
 2. IF BOTH SANITARY SEWER AND POTABLE WATER MAINS ARE PROPOSED AND THE ABOVE (1.) IS NOT MET, THE SANITARY SEWER PIPES SHALL BE UPGRADED TO THE EQUIVALENT PIPE MATERIAL AS THE WATER MAIN AND DEEPER TRENCH.
 3. IF THE SANITARY SEWER IS EXISTING AND THE POTABLE WATER MAIN IS PROPOSED, THE WATER MAIN SHALL, AT A MINIMUM, BE UPGRADED TO DUCTILE IRON PIPE, CONSTRUCTED IN SEPARATE TRENCHES, LAID AT A HIGHER ELEVATION THAN THE SANITARY SEWER, AND UTILIZE STAGGERED JOINTS.
 - B. SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE DEPARTMENT.
 - C. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY OR STORM WATER MANHOLE OR STRUCTURE.



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 15304 Tilden Road
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 Ph: 407-230-5852

Foundation Academy
 Phase 2
 Winter Garden, FL

Construction Plans

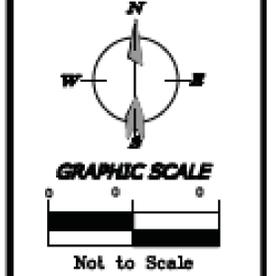
Details Notes 1 City

Revisions		
No.	Date	Description
1	11-20-08	Initial Issue
2		
3		
4		
5		
6		
7		
8		
9		

Please see valid values Signat, Detail and Detail below.

J. Brian Denham, P.E.

Date: 11-20-08
 H. Engineering INC
 Certificate of Authorization #000000



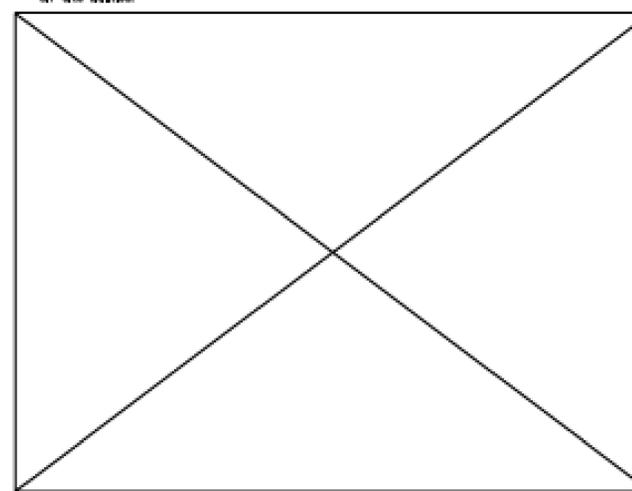
WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:

THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

General Notes

- Contractor shall immediately notify the owner's representative of any discrepancies found between these plans, municipality specifications, the architectural plans, and/or field conditions prior to construction.
- All work shall be accomplished in accordance with the plans and specifications contained herein as well as separate municipality specifications book and/or otherwise required by applicable federal, state and local codes, ordinances, and regulations. It is the contractor's responsibility to obtain a copy of the municipality specifications book prior to any bidding, material orders or construction. In the event of a conflict between the requirements, the most stringent shall apply as determined by the owner's representative.
- Topographic information, boundary information and vertical control provided within these construction plans is taken from a survey by surveyor listed on the plans and can be obtained from the owner.
- Geotechnical investigation report can be obtained from the owner and/or geotechnical engineer as listed on the plans.
- Contractor shall comply with all permit conditions during construction. Dimensions shown are measured to/from the face of curb, property line, property corner, or face of building.
- Contractor shall stake all improvements using the dimension baseline and offsets provided on this sheet. It is the contractor's sole responsibility to completely stake and check all improvements to insure adequate positioning both horizontal and vertical, including minimum building setbacks, prior to the initiation of any improvements.
- Locations of the proposed building shown on this plan are meant as a reference for constructing site improvements, the actual locations and dimensions of proposed building improvements shall be determined from the architectural plans and field located by a surveyor retained by the contractor.
- All parking striping & traffic arrows to be painted, unless in ROW, which will be thermoplastic. Cross walk to be of a material that contrasts the asphalt pavement such as stamped, painted asphalt or concrete. Stop bars to be thermoplastic. Material certification shall be required for all paint and thermoplastic staining said materials do not contain lead.
- Baseline through parking areas to be established beginning at the BENCHMARK set by surveyor.
- All pavement markings to comply with the FDOT 2015 roadway and 2016 traffic design standards, 2009 manual of uniform control devices (MUTCD) and the municipality land development code.
- All disturbed areas within ROW shall be sodded to match existing. Coordinate with Landscape Plan.
- All areas disturbed during construction shall be stabilized with ground cover.
- The contractor shall be responsible for the restoration of any traffic equipment including but not limited to fiber, loop sensors, pul boxes, conduit, traffic signals, and cabinets. Any items damaged by the contractor will be restored to their original conditions unless otherwise agreed upon by the municipality engineer.
- Site lighting to be provided for by contractor per owner's and utility company's specifications as well as any applicable architectural drawings.
- Contractor to install the minimum requirements for vertical separation where ever existing or proposed utilities are to cross existing or proposed water mains.
- The contractor shall notify the city & county office 48 hours prior to any work within their respective ROW's.
- M.O.T. setup shall be supervised by a certified M.O.T. individual.
- All light poles and structures to be located in field by surveyor retained by contractor.
- Shop drawings to be provided by contractor to respective governing agencies and civil engineer for review prior to purchases and field installation.
- As-built to be provided by contractor in outcrop & PDF format on disc as well as on full size plans to respective governing agencies and Denham Engineering, LLC for review.
- Contractor to construct sidewalks along each lot in accordance with municipality standards. Location of sidewalk will vary as required by builder to maintain protection of existing trees.
- Sidewalk to be constructed by contractor in front of all tracts and at ADA ramp locations; by home builder in front of all homes at the time of individual lot development.
- The AHJ (Agency Having Jurisdiction) Standard Construction Details shall supercede in the event of conflicts with notes & details in these plans.
- Refer to the City Engineering Standards Manual, Land Development Code, and City Details. Note that the most stringent standards between the City standards and the standards set forth in the General Notes (as determined by the engineer of record or the City) should be followed.
- As-Built record drawings shall comply with City requirements available online. As-Built to be submitted to the City signed and sealed in accordance with Section 3.01.05 of the Engineering Standards Manual in the following formats:
 - Hard Copy
 - PDF Copy
 - CAD Copy drawn in State Plane Coordinates

- Any screen and retaining walls will need a separate permit from the Building Department.
- All work shall conform to the City of Winter Garden standards and specifications.
- Fencing shall meet all City requirements for height, type, etc. Chain link fencing, if used, shall be vinyl coated per Code.
- The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Contractor to have Denham Engineering and the geotechnical engineer inspect and assure that the privately owned & maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.



Erosion Control Notes:

- Erosion control measures are to be taken to ensure protection of surrounding properties, roads, wetlands and any other objects that are not under control of the owner as well as existing developments & wetlands under control of owner.
- The contractor shall protect all existing & proposed stormwater collection systems from damage by sediment or other construction related causes.
- Size, location and invert elevations of existing pipes to be verified by the contractor prior to construction. Existing underground utilities have been shown based on the best information available. The contractor is responsible for verifying location of all utilities prior to beginning any excavation.
- Silt fence shall be in-place (around the entire perimeter of the site or as shown on the drawing) prior to construction. Detached measures are minimum required. Additional controls are to be utilized as needed, dependent upon actual site conditions and construction operations. See detail sheets and specifications for additional information on erosion control.
- Erosion control shall be maintained within construction areas by quickly stabilizing disturbed areas to prevent the release of sediment. This shall be accomplished using sod, turbidity fences, (NOT hay bales), and other means acceptable to local municipality, water management district, DEP, owner, engineer and other regulatory agencies.
- This Storm Water Pollution Prevention Plan (SWPPP) is for permitting only. Contractor to submit a separate SWPPP & Notice of Intent (NOI), signed by the owner, to the Florida Department of Environmental Protection (FDEP) consistent with the contractor's anticipated means and methods of construction prior to commencement of construction.
- De-watering and erosion control during construction shall be implemented in accordance with the technical specification and the NPDES permit. Contractor to prepare a site specific Storm Water Pollution Prevention Plan (SWPPP) specific to his proposed means & methods and obtain NPDES NOI and de-watering permit from regulatory agencies. Contractor to have project monitored and maintained by certified inspection company for compliance with NPDES permit & DEP regulations.
- Excess excavated material shall be disposed of off-site by the contractor. Excess material is not to be placed in pond unless specifically authorized by geotechnical engineer. Sediment buildup in sediment traps/sumps is not to be placed in ponds. Contractor to obtain a permit to move fill or excess material off-site if necessary.
- Stormwater infrastructure (e.g. inlets, storm pipes, MES's, ponds & outfall structures) to be in place and operating prior to construction of impervious areas (e.g. roadway base, building pads, etc.)
- Provide socks (NOT hay bales) in front of all drainage curb inlets and provide filter fabric under the grate of all ditch bottom inlets after initial completion of the drainage structures to protect all storm drainage inlets and pipes from silt, sand and debris during construction. Any accumulation within the storm drainage pipe system shall be removed without pumping or flushing into the ponds or wetlands. Pond bottoms, and sides as necessary, shall be scraped & scuffed to remove any buildup of silt, clay or other sediment that may prevent percolation of water into the soils as determined by Denham Engineering, LLC. Maintain these measures daily.
- All storm drainage inlets and pipes shall be protected from silt, sand and debris during construction. Any accumulation within the storm drainage system shall be removed without pumping or flushing into ponds.
- Sediment buildup in pipes and at pond bottoms to be removed prior to final grading, stabilization and sodding of pond.
- Sediment buildup at all barriers to be removed on a consistent basis, determined by contractor, to avoid potential barrier failure. Repairs to barriers to be repaired promptly.
- Contractor must implement additional best management practices as necessary, in accordance with the specification in Section 6 of the Florida Land Development Manual: A Guide to Land and Water Management (Florida Department of Environmental Regulation, latest edition).
- For permanent erosion control, slopes greater than 6:1 shall be sodded. Slopes of 6:1 or less may be seeded & mulched. All pond slopes to be sodded. Contractor to confirm acceptability of seed material type with local municipality.
- Contractor to sweep all finished paved streets and existing paved streets adjacent to the construction site entrances as necessary to prevent excess mud, dirt or rock from leaving the construction site. All construction vehicles (e.g. dump trucks) hauling material to and from the construction site will be covered with a tarp. Temporary stabilized or rock construction entrances as well as wheel wash areas, may be required to remove excess dirt and mud from tires before construction vehicles enter adjacent paved streets.
- Erosion control to be maintained by contractor until accepted by owner.
- The City has specific requirements for demolition activities through the Building permit process. Section 2501018 of the City's Land Development Code outlines these requirements and will be provided to help facilitate this action. Coordinate with Waste Pro regarding removal of demolition materials.
- The Code also requires commercial entities to use one of the licensed recovered materials haulers. Recovered materials are defined as metal, paper, plastic, glass, textiles and rubber. The business must select a hauler from the approved list. This list can be found at the City of Osceola website.

Grading Notes:

- The contractor is responsible for meeting all provisions of the ADA and Florida Accessibility Code.

Dimension Notes:

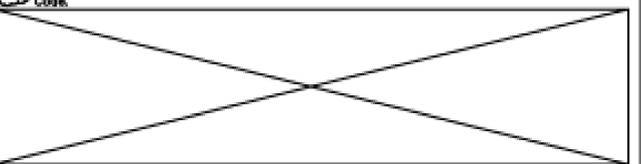
- Contractor shall immediately notify the owner's representative of any discrepancies found between these plans, municipality specifications, the architectural plans and/or field conditions prior to construction.
- All work shall be accomplished in accordance with the plans and specifications contained herein as well as separate municipality specifications book and/or otherwise required by applicable federal, state and local codes, ordinances, and regulations. It is the contractor's responsibility to obtain a copy of the municipality specifications book prior to any bidding, material orders or construction. In the event of a conflict between the requirements, the most stringent shall apply as determined by the owner's representative.
- Topographic information, boundary information and vertical control provided within these construction plans is taken from a survey by surveyor listed on the plans and can be obtained from the owner.
- Geotechnical investigation report can be obtained from the owner and/or geotechnical engineer as listed on the plans.
- Contractor shall comply with all permit conditions during construction. Dimensions shown are measured to/from the face of curb, property line, property corner, or face of building.
- Contractor shall stake all improvements using the dimension baseline and offsets provided on this sheet. It is the contractor's sole responsibility to completely stake and check all improvements to insure adequate positioning both horizontal and vertical, including minimum building setbacks, prior to the installation of any improvements.
- Locations of the proposed building shown on this plan are meant as a reference for constructing site improvements, the actual locations and dimensions of proposed building improvements shall be determined from the architectural plans and field located by a surveyor retained by the contractor.
- All parking striping, traffic arrows, cross walk and stop bars to be thermoplastic. Material certification shall be required for all paint and thermoplastic staining said materials do not contain lead.
- Baseline through parking areas to be established beginning at the southeast property corner.
- All pavement markings to comply with the FDOT roadway and traffic design standards, manual of uniform control devices and the municipality land development code.
- All disturbed areas within ROW shall be sodded to match existing.
- All areas disturbed during construction shall be stabilized with ground cover.
- The contractor shall be responsible for the restoration of any traffic equipment including but not limited to fiber, loop sensors, pul boxes, conduit, traffic signals, and cabinets. Any items damaged by the contractor will be restored to their original conditions unless otherwise agreed upon by the municipality engineer.
- Site lighting to be provided for by contractor per owner's and utility company's specifications as well as any applicable architectural drawings.
- Contractor to install the minimum requirements for vertical separation wherever proposed sewer mains and force main are to cross under proposed water mains.
- The contractor shall notify the city, county or FDOT office 48 hours prior to any work within their respective ROW's.
- Refer to FDOT roadway and traffic design standards index no. 602 for Maintenance of traffic (M.O.T.).
- M.O.T. setup shall be supervised by a certified M.O.T. individual.
- All light poles and structures to be located in field by surveyor retained by contractor.
- Shop drawings to be provided by contractor to respective governing agencies and civil engineer for review prior to purchases and field installation.
- As-built to be provided by contractor in outcrop format on disc as well as on full size plans to respective governing agencies and civil engineer for review.
- Contractor to construct sidewalks along each lot in accordance with municipality standards. Location of sidewalk will vary as required by builder to maintain protection of existing trees.
- 4' sidewalk to be constructed by contractor in front of all tracts and at ADA ramp locations; by home builder in front of all homes at the time of individual lot development.

FDOT General Notes:

- All Striping in the FOOT right-of-way shall be Thermoplastic per 2016 FOOT Design Standards 17346 and Section 711 of the 2015 Standards Specification for Road and Bridge Construction.
- All work performed within the FOOT right-of-way shall be in accordance with the 2016 edition of the FOOT Design Standards, 2015 Specifications for Road and Bridge Construction, and the 2010 Utility Accommodation Manual.
- FDOT project description: proposed work within FDOT ROW includes modification of an existing driveway and sidewalk ramps, shifting the existing directional left turn lanes, and connection to existing City of Melbourne water main.
- All pavement markings to comply with the FDOT 2015 Roadway and 2016 traffic design standards, 2009 manual of uniform control devices (MUTCD) and the municipality land development code.
- All areas disturbed by construction within the FDOT Right-of-Way (ROW) shall be sodded with Common Bermuda. Coordinate with Landscape Plan.
- The contractor shall be responsible for the restoration of any traffic equipment including but not limited to fiber, loop sensors, pul boxes, conduit, traffic signals, and cabinets. Any items damaged by the contractor will be restored to their original conditions unless otherwise agreed upon by the municipality engineer.
- The contractor shall notify the FDOT office 48 hours prior to any work within their respective ROW's.
- Maintenance of Traffic Control (MOT) within the FDOT Right-of-Way shall be per FDOT 2016 Design Standard, Index No.612 and 613
- M.O.T. setup shall be supervised by a certified M.O.T. individual.
- The FDOT Standard Construction Details shall supercede in the event of conflicts with notes & details in these plans.
- Sidewalk Maintenance of Traffic Control within the FDOT Right-of-Way shall be per FDOT 2016 Design Standard, Index No.660.
- All Raised Pavement Markers (RPW's) installed within the FOOT Right-of-Way and on Proposed Driveway Connection shall be in accordance with the 2016 FOOT Design Standards, Index No. 17352 and 2015 FOOT Standard Specification for Road and Bridge Construction Section 706.5. Raised Pavement Markers shall be placed at 20 feet on Center on both sides of the Double 6" Yellow Lines.
- All Excavations within ten (10) feet of the Travel lanes and Greater than three (3) inches deep must be filled in or have a Shoulder Treatment placed at the Drop-off per Index No. 600 of FDOT 2016 Design Standards at the end of the Work Day.

Drainage Notes

- Contractor shall verify all existing grades on site before beginning work. Size, location and invert elevations of existing pipe to be verified by the contractor prior to construction. The owner's representative shall be notified immediately of any major differences between contractor's data and drawings.
- Existing ground and Import fill to be compacted per the most stringent of the plans and geotechnical report. For use on site soils refer to geotechnical report provided by geotechnical engineer indicated on cover sheet.
- All structures, pipes and other construction in the right of way shall be performed according to the applicable roadway design standards of the governing local or state agency or the Florida Department of Transportation roadway design standards and specifications, whichever is more stringent.
- All structures and grates shown within paved areas shall be traffic rated to support H-20 loads. All structures and grates subject to delivery truck traffic to be H-25 rated. All structures subject to pedestrian traffic to have steel grates.
- Grading shown on these plans is provided to the contractor to express the general grading intent of the project. The contractor shall be expected to grade the entire site to provide positive drainage in all areas throughout the site. Smooth transitions shall be provided between contours or spot elevations as shown on the plans. All slopes shall be stabilized immediately after final grading has been completed. Contractor shall notify owner and engineer prior to demobilization of grading equipment to determine that the grading intent has been achieved.
- Spot elevations are shown at the edge of pavement except when called out as top of curb (TC), or when the spot grade is placed on the top of the sidewalk. Typically a 6" raised curb or sidewalk is used, and the proposed spot grade shown is the edge of pavement 6" below the top of curb or sidewalk. Contractor to notify engineer of any discrepancies or for any clarification needed.
- Contractor to construct pavement to the spot grades shown. In addition, all grade lines, high point (H.P.) and low point (L.P.) lines shall be constructed as shown on the plan. Final elevations must fall within 0.25" of the proposed spot grades and lines. All pavement shall be constructed in accordance with FDOT specifications.
- Contractor to saw out the existing asphalt paving where proposed parking islands are located and at parking area perimeters. Parking areas and travel ways shall be overlaid with a surface course. For positive drainage additional asphalt may be required.
- At all building entrances or drive-thru's match existing elevations with the surface course.
- Fences or guard rails shall be provided along the boundary of terraces & retaining walls to secure public safety and welfare. Fall protection to be provided at all retaining walls that are 4' or above 30" high. Per latest FDOT requirements, hand rails shall be placed along sidewalks where grades drop off quickly. Per latest federal ADA requirements, hand rails shall be placed along sidewalks that exceed allowable slopes and/or are determined to be ramps.
- Tack coats shall be applied between all layers of asphaltic concrete courses.
- Contractor responsible for removing of existing pavement markings which are in conflict with this proposed plan.
- All turn arrows shall be spaced at 100' spacing unless otherwise noted.
- Contractor to refer to latest architectural plans issued by architect for building specific information (e.g. layout, roof downspout locations, utility service locations, etc.)
- Contractor to provide structural design for retaining walls and screen walls, provide shop drawings & permit through the building department.
- Trees to be planted at time of construction of common areas prior to Certificate of Completion (C.C.) and at individual parcel development for non-common areas.
- All disturbed areas to be sodded. Dry pond bottoms to be seeded & mulched. All pond side slopes to be sodded. Wet pond side slopes to be sodded to 2' below the Mean Invert elevation. No rock to be added.
- ~~Sidewalk to be constructed by contractor in front of all tracts and at ADA ramp locations; by home builder in front of all homes at the time of individual lot development.~~
- Slopes and transitions of concrete sidewalk, ramp tapers and vehicular use areas shall not be any steeper than 20:1 (5%) unless otherwise noted on plans. ADA areas to be 2% max.
- Shop drawings to be provided by contractor to respective governing agencies and Denham Engineering, LLC for review prior to purchases and field installation.
- As-built to be provided by contractor to respective governing agencies and Denham Engineering, LLC for review.
- Slopes and transitions of concrete sidewalk and ramp tapers, shall not be steeper than 12:1 unless otherwise noted on plans.
- Finish floor elevations (FF) are minimums. Contractor to grade lot per specific floor plan requirements with minimum 1% positive slope away from building. Actual finish floor elevations may be higher if necessary, but only as reviewed & approved in writing by both Denham Engineering, LLC and the local AHJ.
- All station and offsets refer to centerline road construction unless otherwise noted in the plans.
- The contractor is responsible for obtaining all necessary permits prior to commencement of construction.
- All site work shall be coordinated through FDOT project engineer and City/County inspector at least 48 hours before beginning construction.
- Retention areas to be undercut by 1.5' as required to remove unsuitable material, which is to be replaced by suitable material (e.g. clean sand that is free of organic matter and deleterious materials) as recommended by geotechnical engineer.
- The AHJ's Standard Construction Details shall supercede in the event of conflicts with notes & details in these plans.
- HOPE pipe shall meet all City material and installation requirements as specified in the City's Standards and Specifications including Class 1 bedding, HP polypropylene pipe (NOT HOPE N-12), laser profiling, installation per ASTM D2321, etc. (see under on-line forms on City website). The City does not approve ADS N-12 pipe, only HP polypropylene thermoplastic pipe is approved.
- Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater.
- Contractor is responsible for meeting all provisions of the ADA and Florida Accessibility Code.



Updated 4-11-17



Denham Engineering, LLC
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 Clermont: 352-989-1915
 Brian@DenhamENG.com
 www.DenhamENG.com

Foundation Academy
 15304 Tilden Road
 Winter Garden, FL 34787
 Ph: 407-230-5052

Foundation Academy
 Phase 2
 Winter Garden, FL

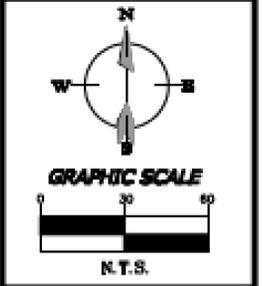
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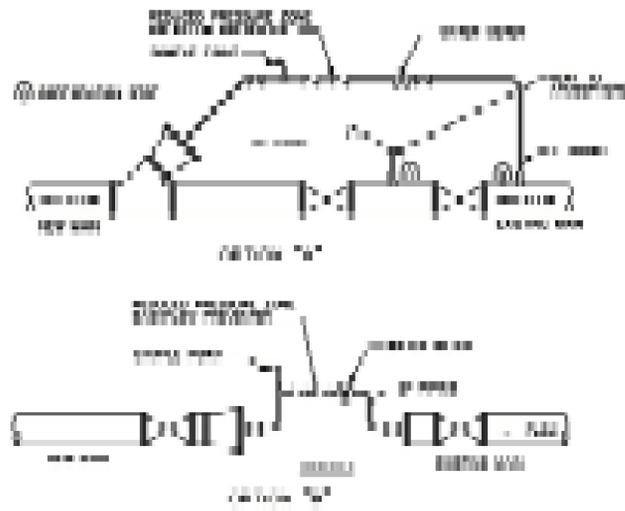
Details Notes
 2

Revisions		
NO.	DATE	DESCRIPTION
1	10-27-16	Initial Issue
2	11-24-16	Initial Issue
3	02-17-17	Per Winter Garden & 2016MUTCD
4	11-24-16	Per Winter Garden
5	02-17-17	Per Winter Garden
6		
7		
8		
9		

Plans not valid unless signed, sealed and dated below.

J. Brian Denham, P.E.
 Date: 02-17-17
 FL Registration #00000
 Certificate of Authorization #20000

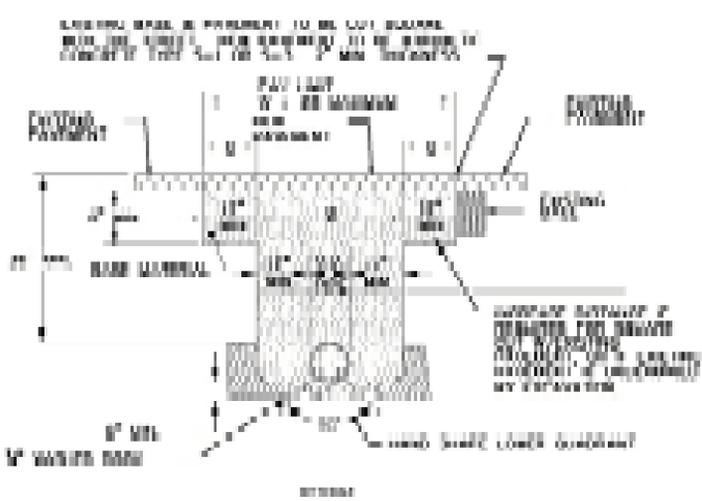




VERIFY ALL PROPOSED BEDDING DETAIL SPECIFICATIONS, AND MATERIALS, SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. ALL BEDDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE SUBJECT TO INSPECTION AND TESTING BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.

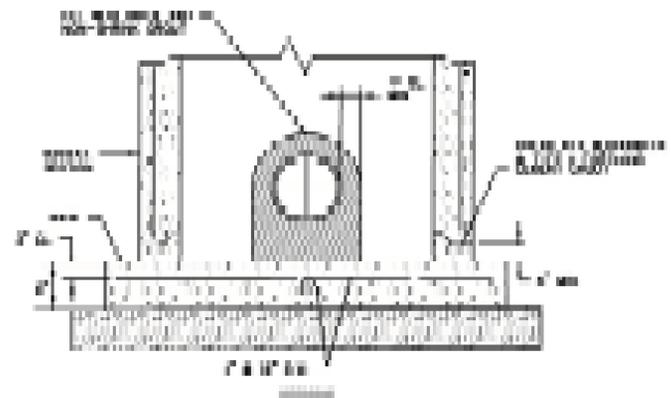
- REVISIONS:
1. REVISION TO BE MADE FOR THE PURPOSE OF LAYOUT.
 2. TO BE MADE FOR THE PURPOSE OF THE USE OF MATERIALS.
 3. TO BE MADE FOR THE PURPOSE OF THE CONSTRUCTION OF THE PROJECT.
 4. TO BE MADE FOR THE PURPOSE OF THE CONSTRUCTION OF THE PROJECT.
 5. TO BE MADE FOR THE PURPOSE OF THE CONSTRUCTION OF THE PROJECT.
 6. TO BE MADE FOR THE PURPOSE OF THE CONSTRUCTION OF THE PROJECT.
 7. TO BE MADE FOR THE PURPOSE OF THE CONSTRUCTION OF THE PROJECT.

PIPE BEDDING DETAIL



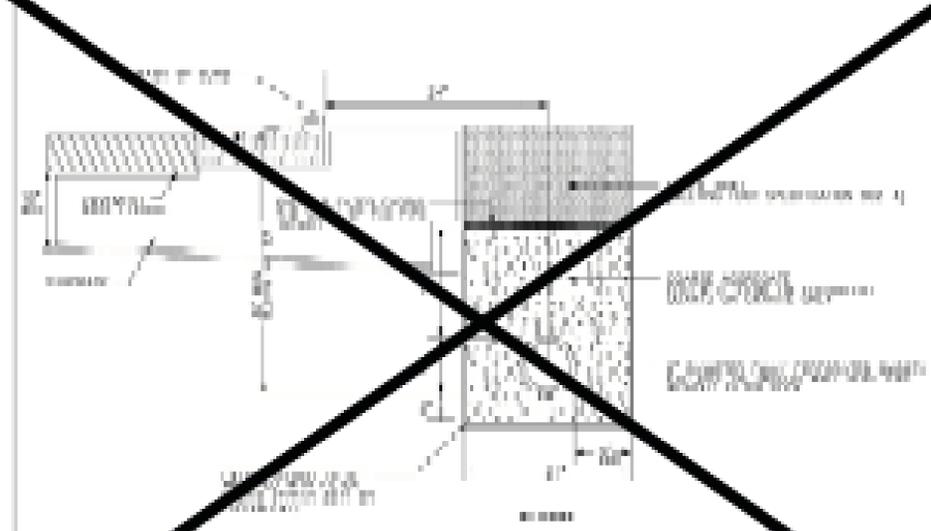
ALL PAVEMENT RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE SUBJECT TO INSPECTION AND TESTING BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.

PAVEMENT RESTORATION DETAIL

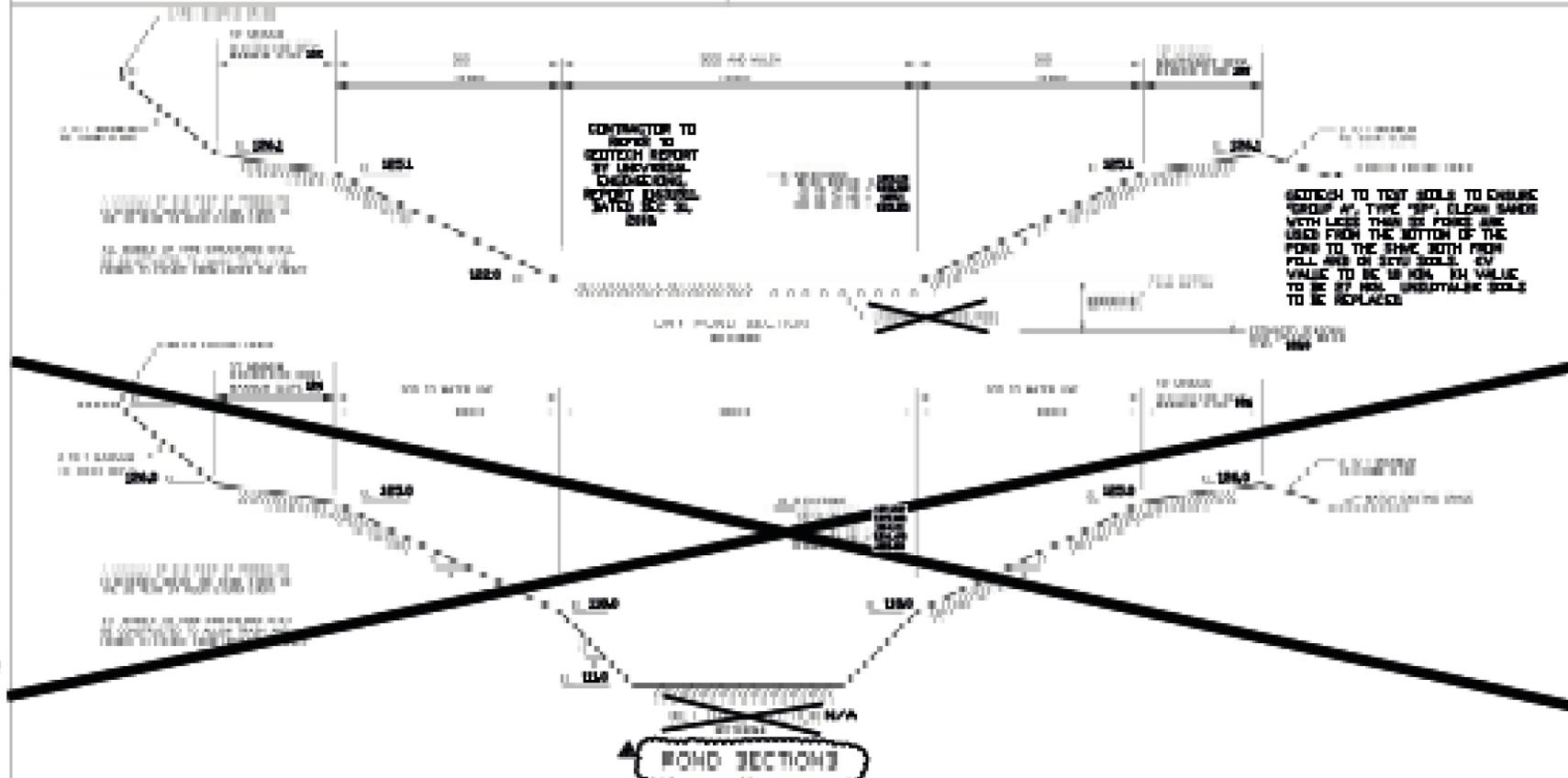


1. TO BE MADE FOR THE PURPOSE OF THE CONSTRUCTION OF THE PROJECT.
2. TO BE MADE FOR THE PURPOSE OF THE CONSTRUCTION OF THE PROJECT.
3. TO BE MADE FOR THE PURPOSE OF THE CONSTRUCTION OF THE PROJECT.

MANHOLE CURB DETAIL



UNDERDRAIN DETAIL



125 MAIN ST

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 Orlando: 407-217-9487
 Clearwater: 888-988-1918
 www.DenhamENG.com

Foundation Academy
 1224 Thimble Bend
 Water Garden, FL 34707
 Tel: 407-210-0800

Foundation Academy
 Phase 2
 Water Garden, FL

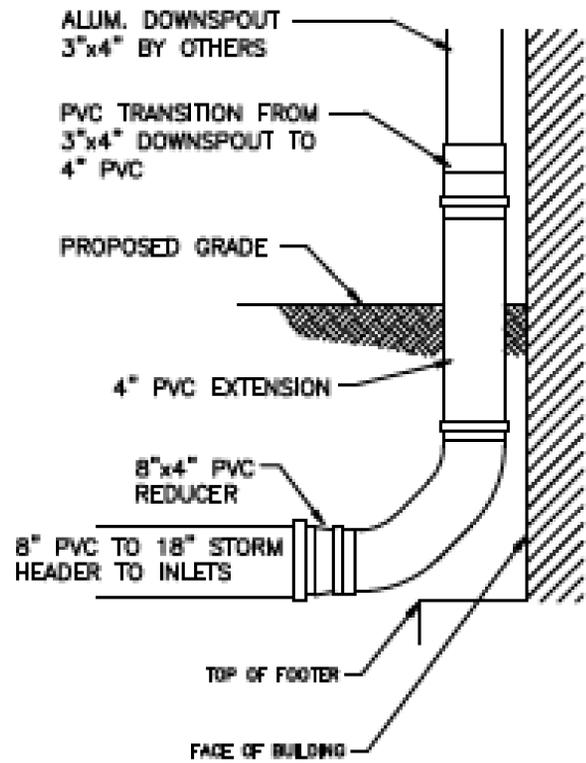
Construction Plans

Details Miscellaneous City

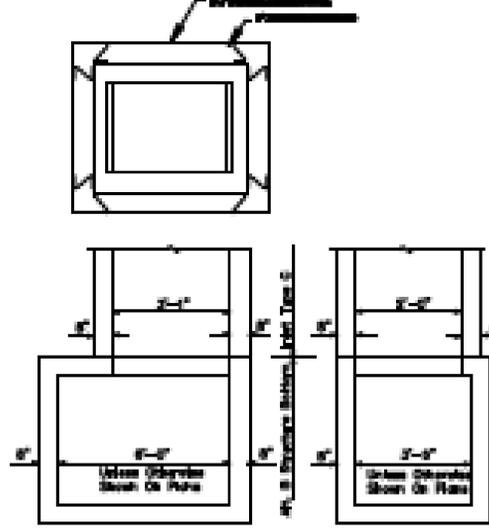
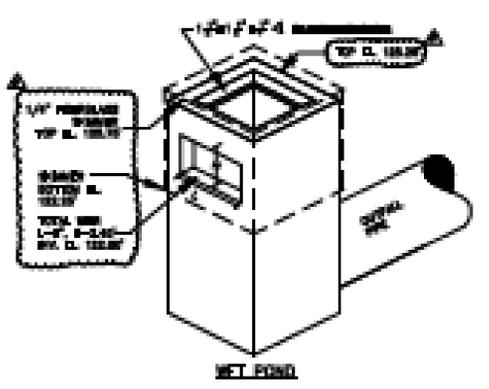
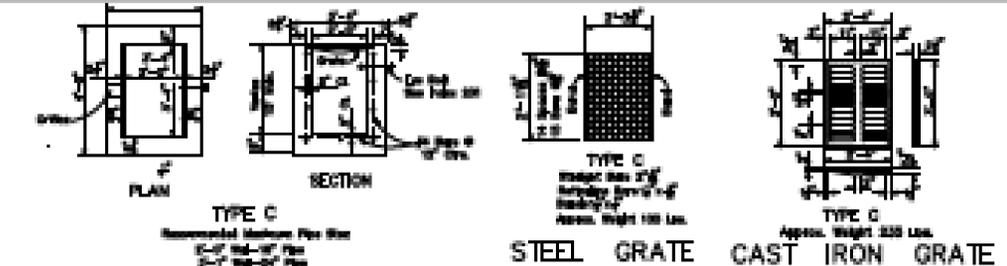
NO.	DATE	REVISION
1		
2		
3		
4		
5		
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9		
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Water Garden, FL
 1224 Thimble Bend
 Water Garden, FL 34707
 Tel: 407-210-0800

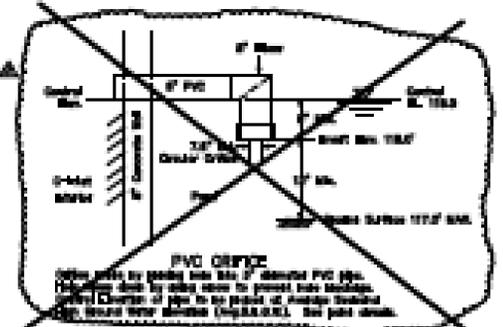
GRAPHIC SCALE
 Not to Scale



NOTE: ALL CONNECTIONS TO BE WATER TIGHT
DOWN SPOUT CONNECTION
 N.T.S.



STRUCTURE BOTTOM FOR INLETS TYPE C



- GENERAL NOTES**
1. These details are suitable for typical and standard areas and are to be used in detail sections and other areas subject to inspection with the exception of the notes in detail subject to dry body sheet metal.
 2. Inlets subject to exterior details should be constructed without detail. These details in a problem areas should be constructed with detail. Detail shall include a detail showing clearances and in areas susceptible to pedestrian and lawn trammable detail. The responsible architect shall provide a plan showing in detail (see N). This may be required in order to both sides of detail on detail.
 3. Steel grates are to be used on all areas where detail walls is anticipated. Steel grates are to be used on all detail with trammable detail. Other non-ferrous or steel grates may be used on detail without detail where detail walls is not anticipated. Other non-ferrous or steel grates may be used on all detail with non-trammable detail. Support to be suitable standard detail, also suitable if grates is provided in the plan, other to steel grates, but should published other fabrication, or the steel grates may be used, subject to plan indicate the particular type.
 4. Recommended minimum pipe size shown are for concrete pipe. Pipe size larger than those recommended must be checked for fit.
 5. All exposed corners and edges of concrete are to be chamfered 1/4".
 6. Footings to be used on detail without detail and detail with non-trammable detail only when called for in the plan. Footing required on all trammable detail inlets. Footing to be located in contact with pipe for detail. Footing shall also be indicated on plan.
 7. Manufacture detail construction in existing detail shall be paid for on detail parties, and shall include the cost for site opening, paving and any required replacement grates.
 8. Detailing to be used on all detail not listed in plan areas and paid for under contract with price for footing fit.
 9. For supplementary details see detail No. 101.

232CE WET POND OUTFALL STRUCTURE
 MODIFIED TYPE "C" INLET

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Foundation Academy
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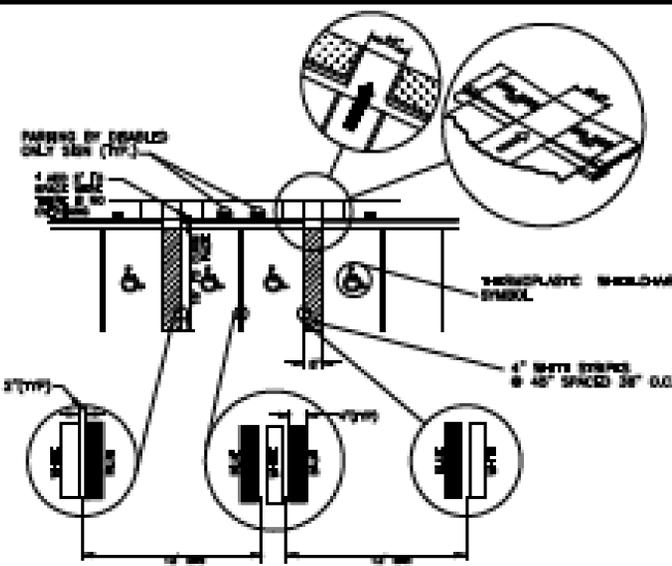
Construction Plans

Details Drainage 1

NO.	REV.	DESCRIPTION
1	01	FOR OTHER SHEET OF 232CE
2	01	FOR 232CE
3	01	FOR 232CE
4	01	FOR 232CE
5	01	FOR 232CE
6	01	FOR 232CE
7	01	FOR 232CE
8	01	FOR 232CE
9	01	FOR 232CE
10	01	FOR 232CE

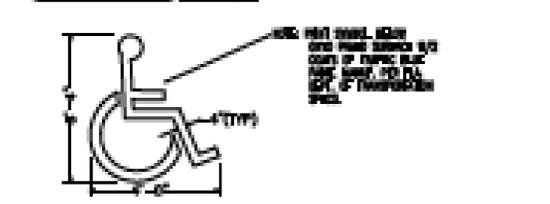
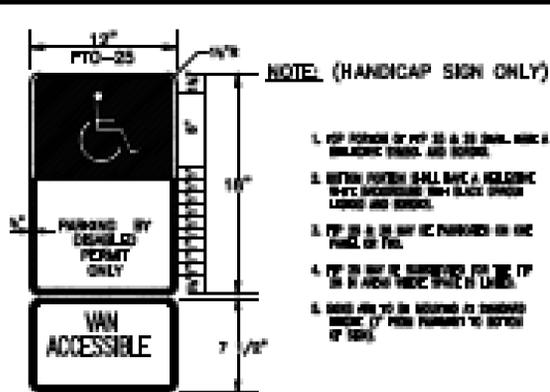
Denham Engineering, LLC
 13004 Tilden Road
 Water Garden, FL 34707
 Tel: 407-320-0902
 www.DenhamENR.com

GRAPHIC SCALE
 Not to Scale

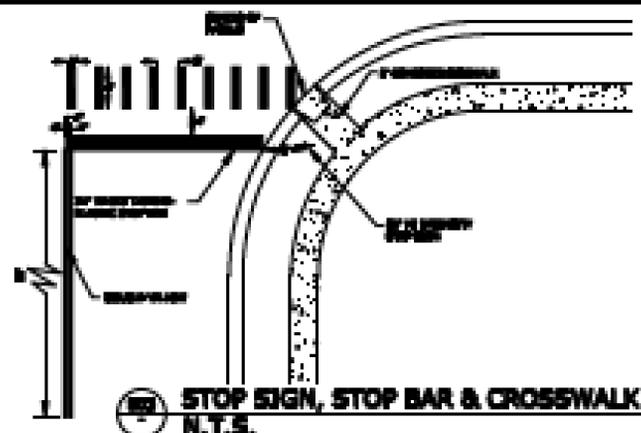


NOTES:
 1. THIS SIGN PARKING SPACE SHALL BE COMPROMISELY INTERFERED BY IN-LINE PARKING AND SHALL BE POSTED AND MARKED WITH A FORWARD, ARROW SPACE SIGN INDICATING THE DIRECTIONAL SYMBOL OF ACCESSIBILITY, OR THE CAPTION 'PARKING BY DISABLED ONLY' OR 'PARKING BY DISABLED PERMIT ONLY' AND CURBING. SUCH SIGN SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED PARKING SPACES MUST BE MARKED AND HANDED IN ACCORDANCE WITH THE STANDARDS SET BY THE DEPARTMENT OF TRANSPORTATION.
 2. ALL SIGN REQUIREMENTS INCLUDING PARKING SPACE WITH FISH LINES TO CORNER (SEE SIGN BLUE AND PINK SYMBOLS).

HANDICAP PARKING DETAILS
 N.T.S.



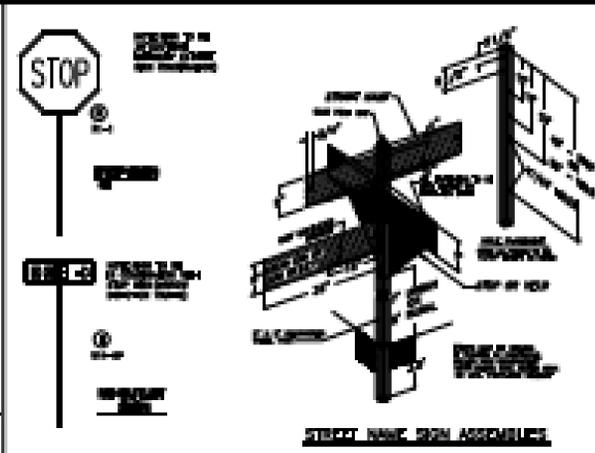
HANDICAP SIGN DETAILS
 N.T.S.



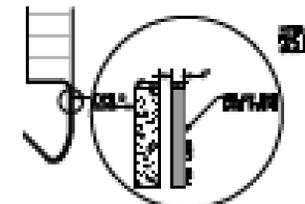
STOP SIGN, STOP BAR & CROSSWALK
 N.T.S.



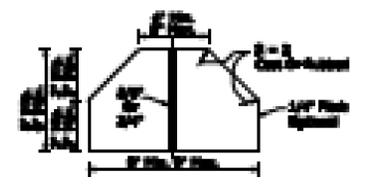
CONC WALK & CURB
 N.T.S.



STREET NAME SIGN ASSEMBLY
 N.T.S.



FIRE LANE STRIPING DETAIL
 N.T.S.



CONCRETE BUMPER GUARD
 N.T.S.

Telephone 811-37

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 Clearwater: 888-988-1918
 denham@denhameng.com
 www.DenhamENG.com

Foundation Academy
 18204 US19, Water Garden, FL 34717
 Tel: 407-230-0803

Foundation Academy
 Phase 2
 Water Garden, FL

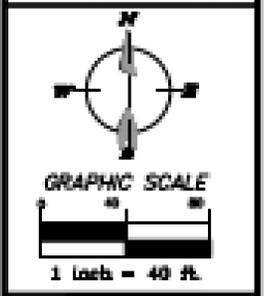
Construction Plans

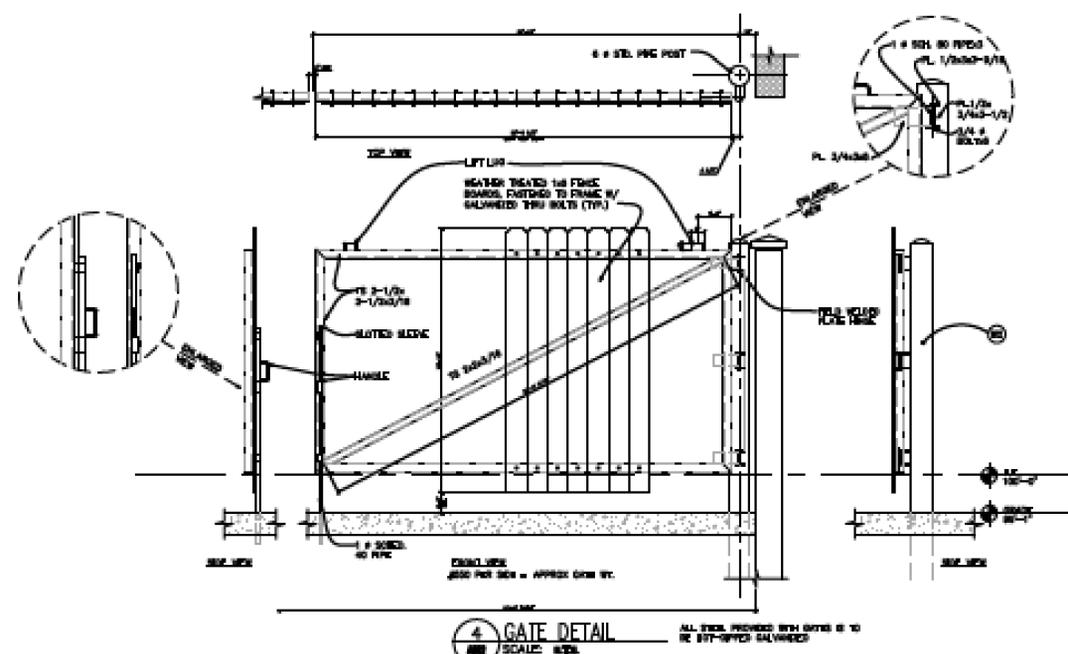
Details Site 1

Revisions		
No.	Date	Revised

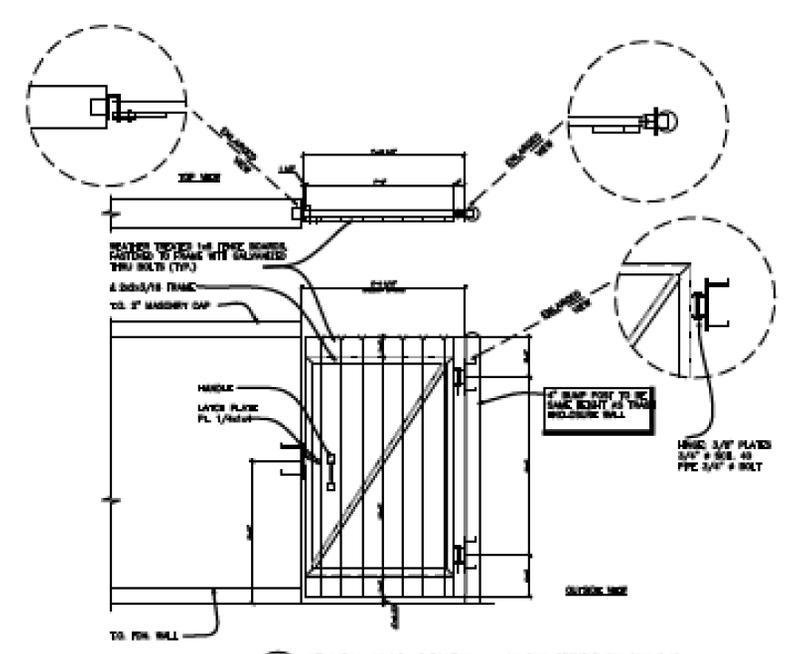
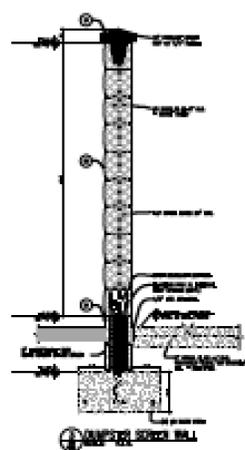
Prepared and issued by: [Name]
 Drawn and checked by: [Name]

J. [Name], P.E.
 Date: [Date]
 [Title]

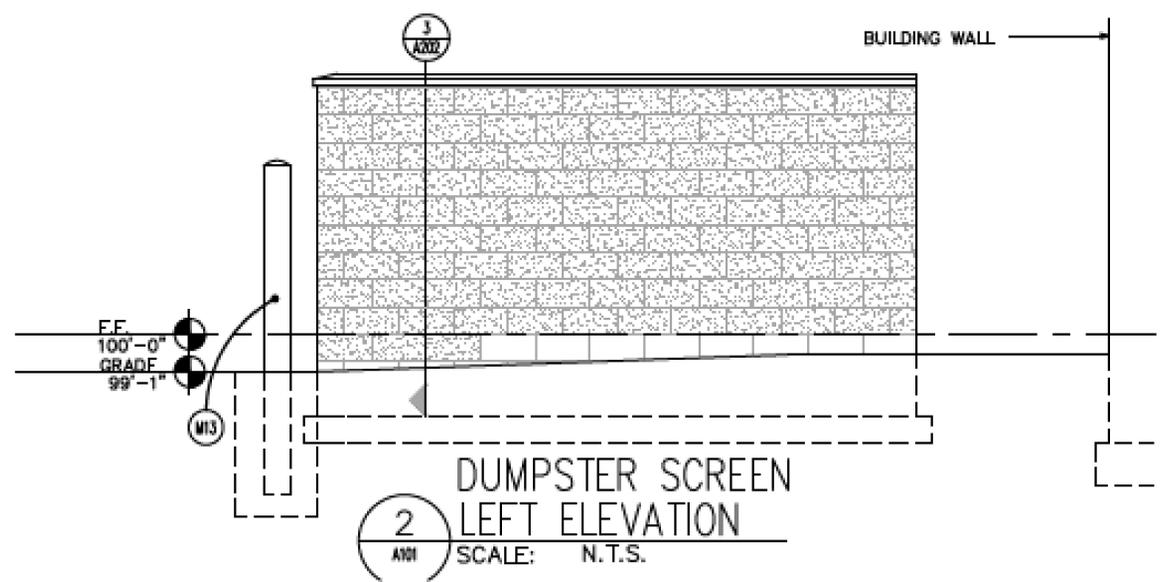




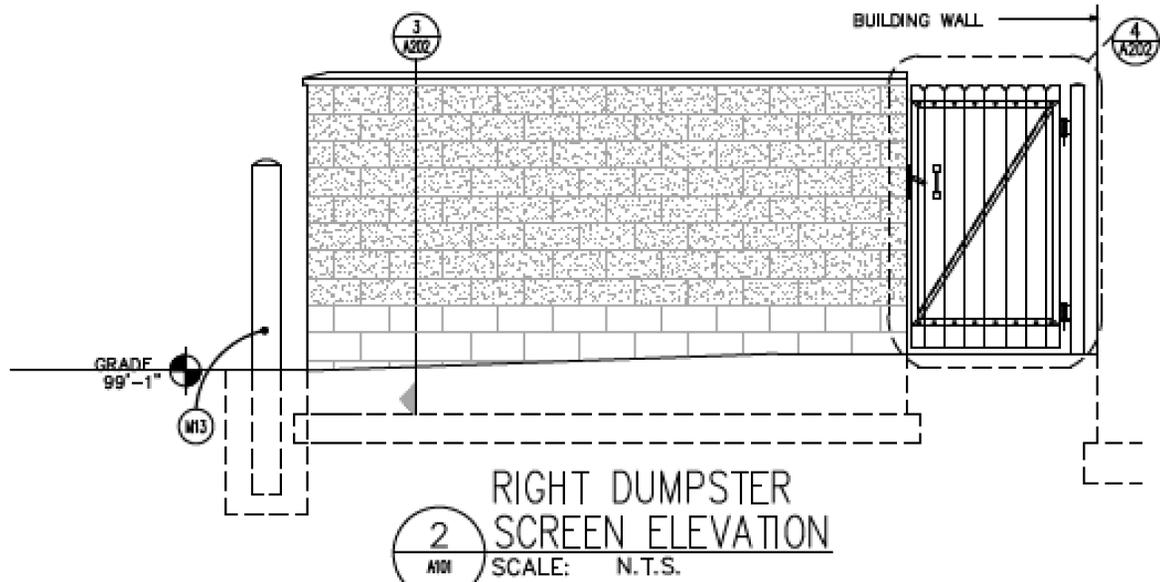
4 GATE DETAIL
SCALE: 1/8\"/>



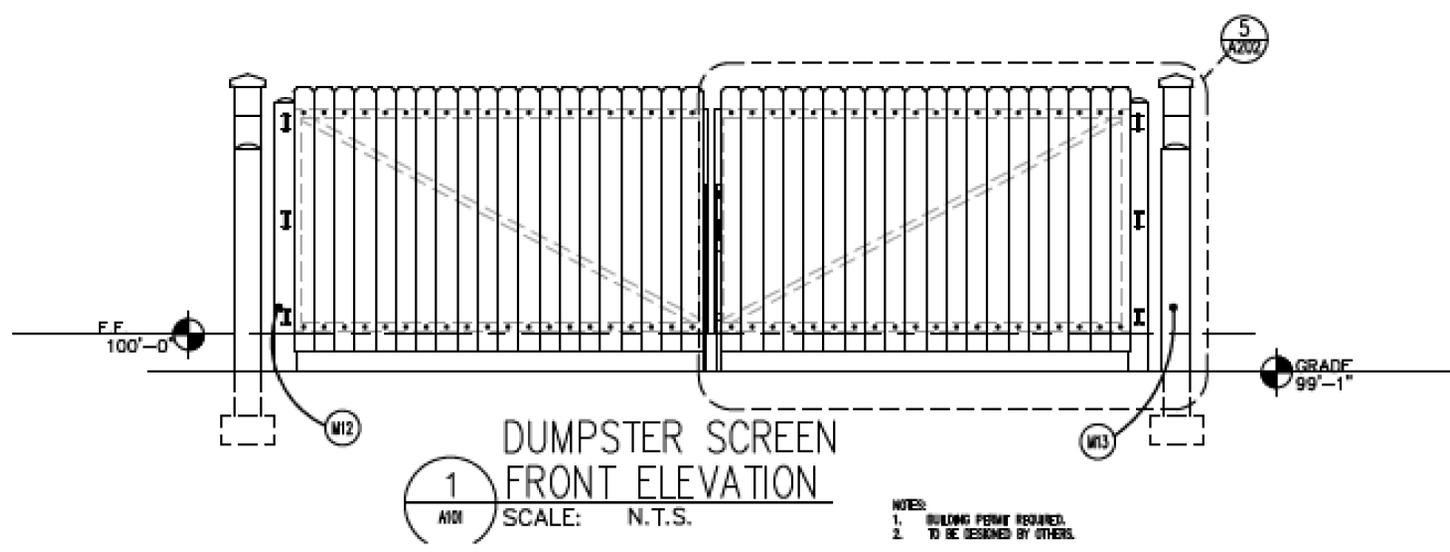
4 TRASH ENCLOSURE
SCALE: 1/8\"/>



2 DUMPSTER SCREEN LEFT ELEVATION
SCALE: N.T.S.

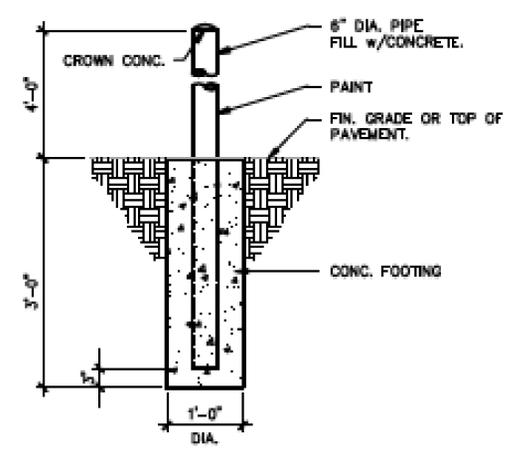


2 RIGHT DUMPSTER SCREEN ELEVATION
SCALE: N.T.S.



1 DUMPSTER SCREEN FRONT ELEVATION
SCALE: N.T.S.

NOTES:
1. BUILDING PERMIT REQUIRED.
2. TO BE DESIGNED BY OTHERS.



BOLLARD DETAIL
NTS

Phone: 411-17

Denham
Engineering, LLC
Orlando: 407-217-8487
Clermont: 352-989-1915
Brien@DenhamENG.com
www.DenhamENG.com

Foundation Academy
15304 Tilden Road
Winter Garden, FL 34787
Ph: 407-230-5052

Foundation Academy
Phase 2
Winter Garden, FL

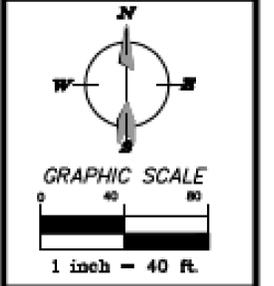
Construction Plans

Details Site 2

Revisions		
NO.	DATE	REVISION
1	08-09-14	Initial Issue

Plans not valid unless signed, dated and sealed below.

J. Brian Denham, P.E.
Date: 08-09-14
FL Registration 000006
Certificate of Authorization 000000



Sheet Number
16C of 61



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Brien@DenhamENG.com
www.DenhamENG.com

Foundation Academy
15304 Tilden Road
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Ph: 407-230-5052

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Phase 2
Winter Garden, FL

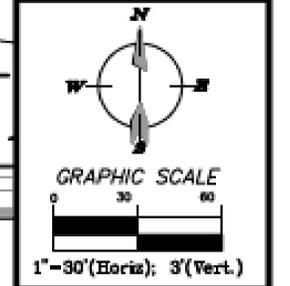
Construction Plans

Plan & Profile

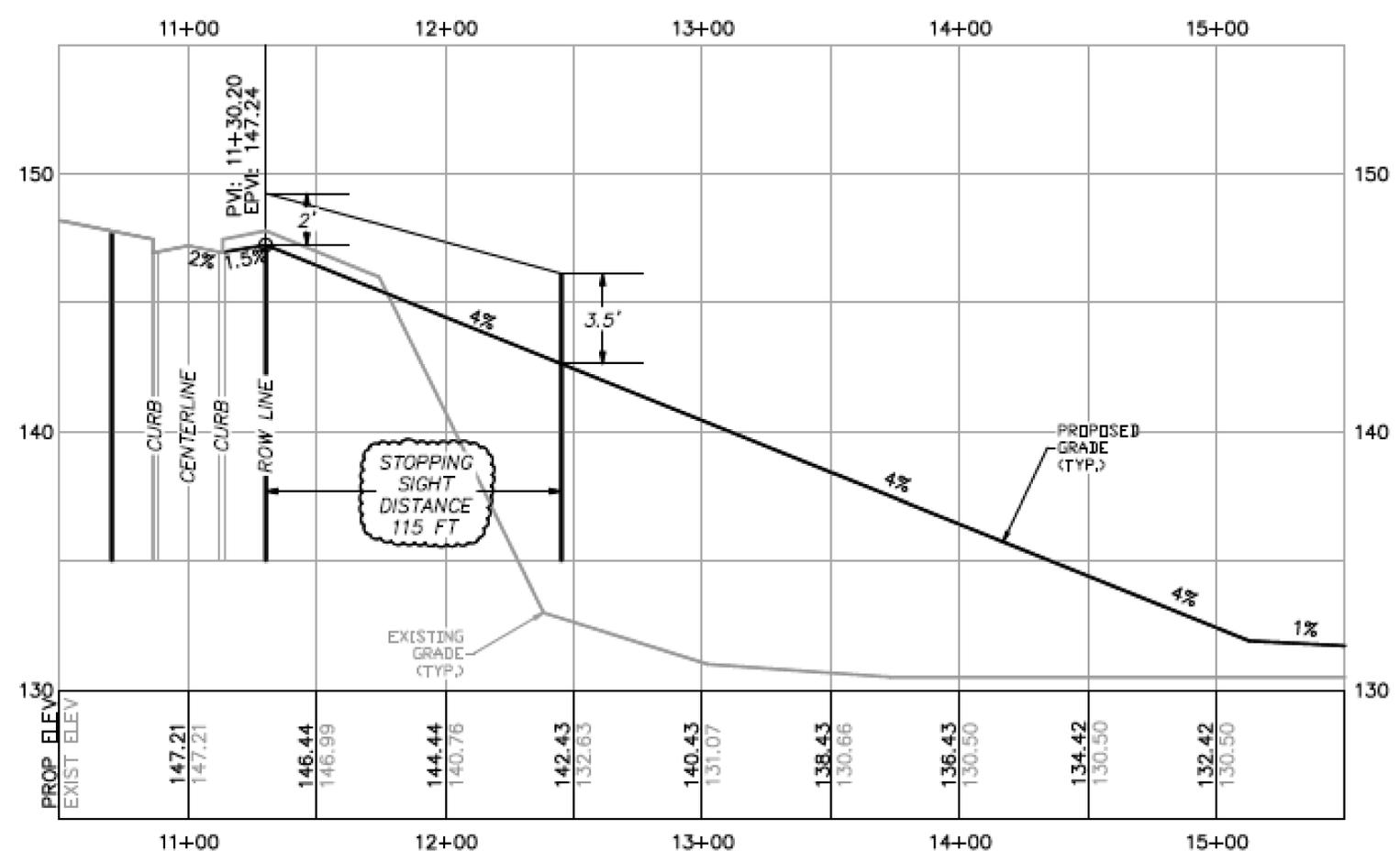
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2	11-24-09	Per Motor Grades
3	08-17-09	Per Motor Grades
4		
5		
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Plans not valid unless signed, dated and sealed below.

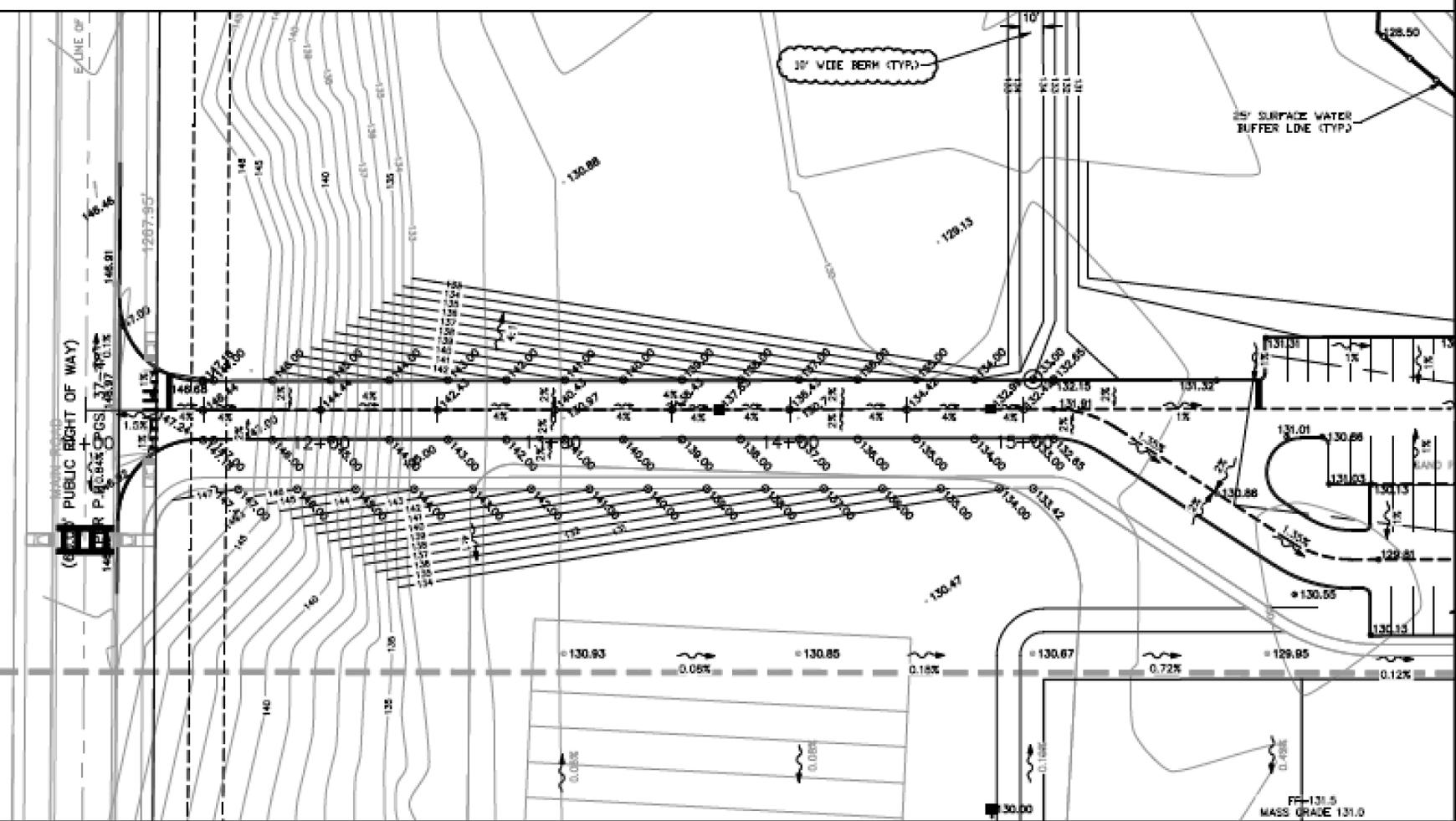
J. Brian Denham, P.E.
Date: 08-17-09
FL Registration 000028
Certificate of Authorization 000000

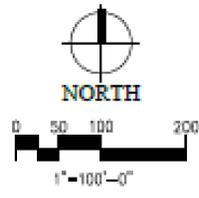
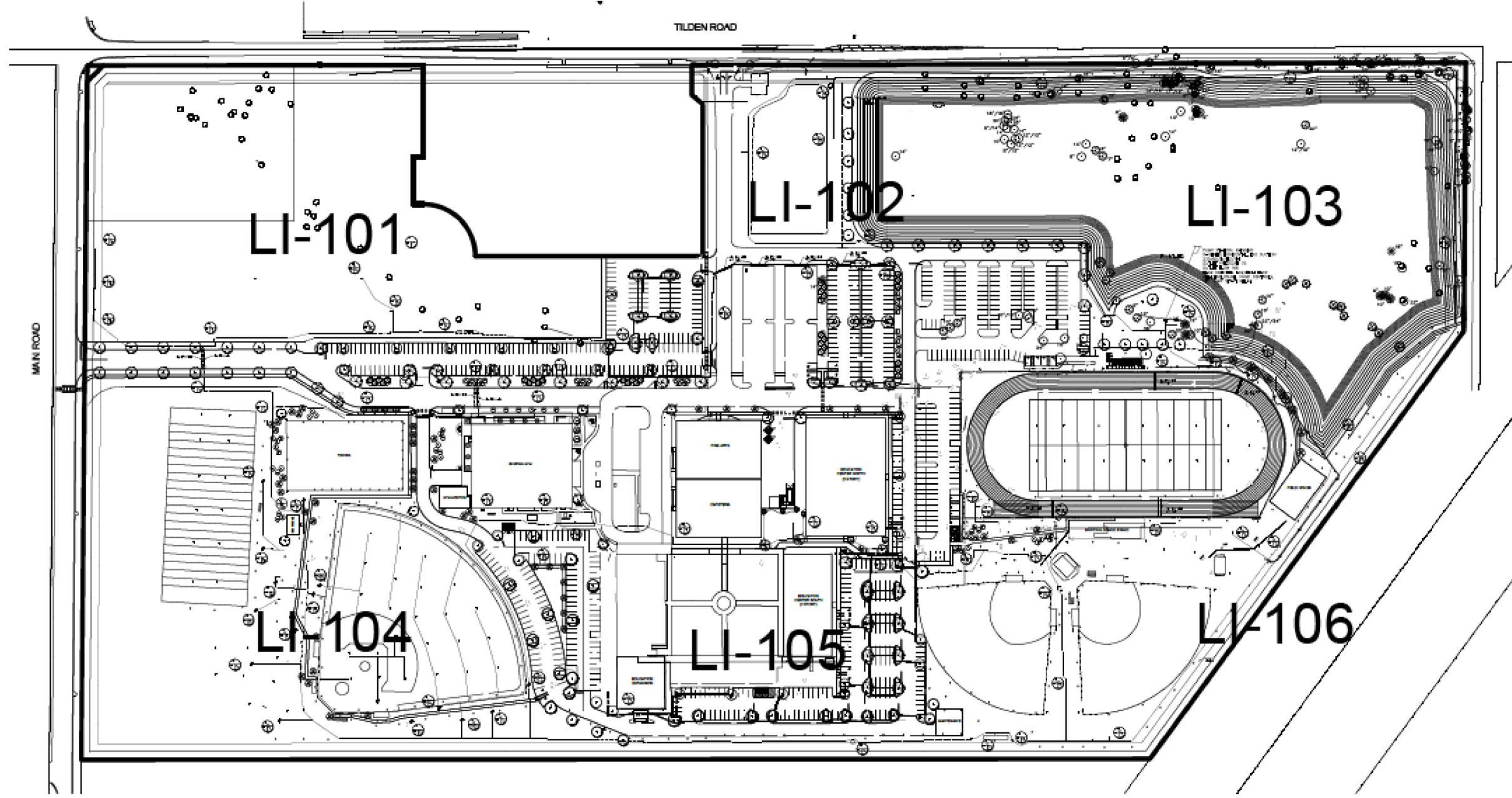


Sheet Number
17 of 61



ALEXANDER RIDGE
CITY OF WINTER GARDEN
ZONED PUD





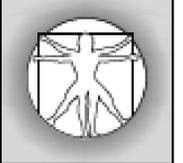
DALE & COMPANY
 651 North Mills Avenue Orlando, Florida 32803 telephone 407.894.1317
 Landscape Architecture • Analysis • Planning

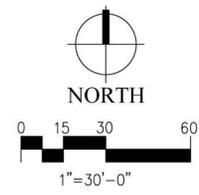
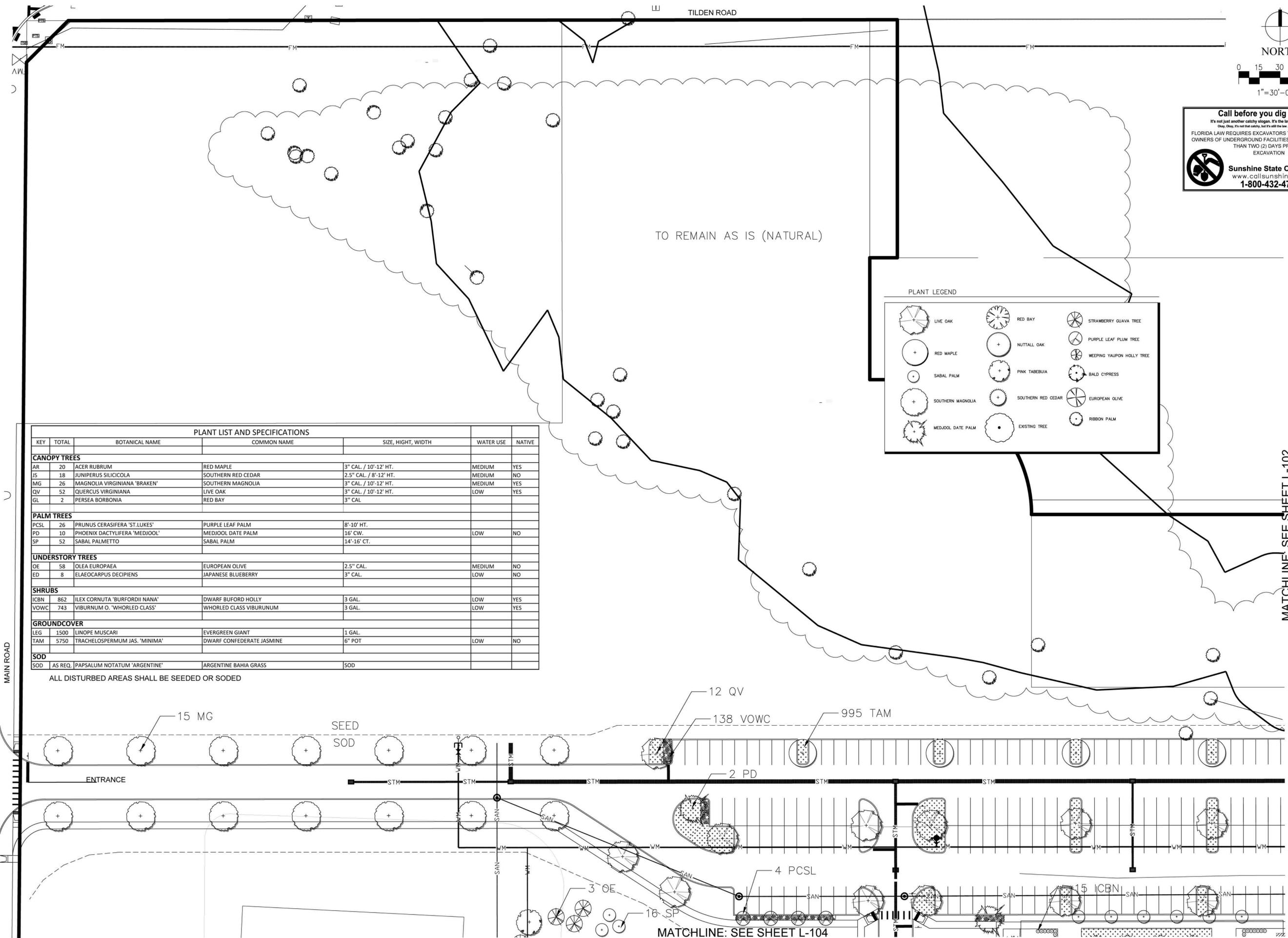
KEY SHEET
 FOR
FOUNDATION ACADEMY
 15304 Tilden Rd. Winter Garden, Florida

Designed by	RJS
Drawn by	SH
Checked by	RJS
Date	02/14/10

Revisions	Date

L002 OF 16





Call before you dig
 It's not just another catchy slogan. It's the law.
 Dig, Stop, It's not that calling, but it's still the law.
 FLORIDA LAW REQUIRES EXCAVATORS TO NOTIFY OWNERS OF UNDERGROUND FACILITIES NO LESS THAN TWO (2) DAYS PRIOR TO EXCAVATION
Sunshine State One Call
 www.callsunshine.com
 1-800-432-4770

PLANT LEGEND

	LIVE OAK		RED BAY		STRAWBERRY GUAVA TREE
	RED MAPLE		NUTTALL OAK		PURPLE LEAF PLUM TREE
	SABAL PALM		PINK TABEBUIA		WEeping YAUPON HOLLY TREE
	SOUTHERN MAGNOLIA		SOUTHERN RED CEDAR		BALD CYPRESS
	MEDJOOl DATE PALM		EXISTING TREE		EUROPEAN OLIVE
					RIBBON PALM

PLANT LIST AND SPECIFICATIONS

KEY	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE, HEIGHT, WIDTH	WATER USE	NATIVE
CANOPY TREES						
AR	20	ACER RUBRUM	RED MAPLE	3" CAL. / 10'-12' HT.	MEDIUM	YES
JS	18	LIJUNIPERUS SILICICOLA	SOUTHERN RED CEDAR	2.5" CAL. / 8'-12' HT.	MEDIUM	NO
MG	26	MAGNOLIA VIRGINIANA 'BRAKEN'	SOUTHERN MAGNOLIA	3" CAL. / 10'-12' HT.	MEDIUM	YES
QV	52	QUERCUS VIRGINIANA	LIVE OAK	3" CAL. / 10'-12' HT.	LOW	YES
GL	2	PERSEA BORBONIA	RED BAY	3" CAL.		
PALM TREES						
PCSL	26	PRUNUS CERASIFERA 'ST.LUKES'	PURPLE LEAF PALM	8'-10' HT.		
PD	10	PHOENIX DACTYLIFERA 'MEDJOOl'	MEDJOOl DATE PALM	16' CW.	LOW	NO
SP	52	SABAL PALMETTO	SABAL PALM	14'-16' CT.		
UNDERSTORY TREES						
OE	58	OLEA EUROPAEA	EUROPEAN OLIVE	2.5" CAL.	MEDIUM	NO
ED	8	ELAEOCARPUS DECIPENS	JAPANESE BLUEBERRY	3" CAL.	LOW	NO
SHRUBS						
ICBN	862	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	3 GAL.	LOW	YES
VOWC	743	VIBURNUM O. 'WHORLED CLASS'	WHORLED CLASS VIBURNUM	3 GAL.	LOW	YES
GROUND COVER						
LEG	1500	LINOPE MUSCARI	EVERGREEN GIANT	1 GAL.		
TAM	5750	TRACHELOSPERMUM JAS. 'MINIMA'	DWARF CONFEDERATE JASMINE	6" POT	LOW	NO
SOD						
SOD	AS REQ.	PAPSALUM NOTATUM 'ARGENTINE'	ARGENTINE BAHIA GRASS	SOD		

ALL DISTURBED AREAS SHALL BE SEEDDED OR SODED

MATCHLINE: SEE SHEET L-102

MATCHLINE: SEE SHEET L-104



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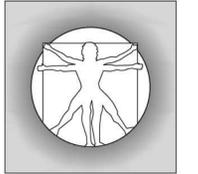


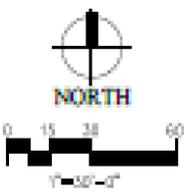
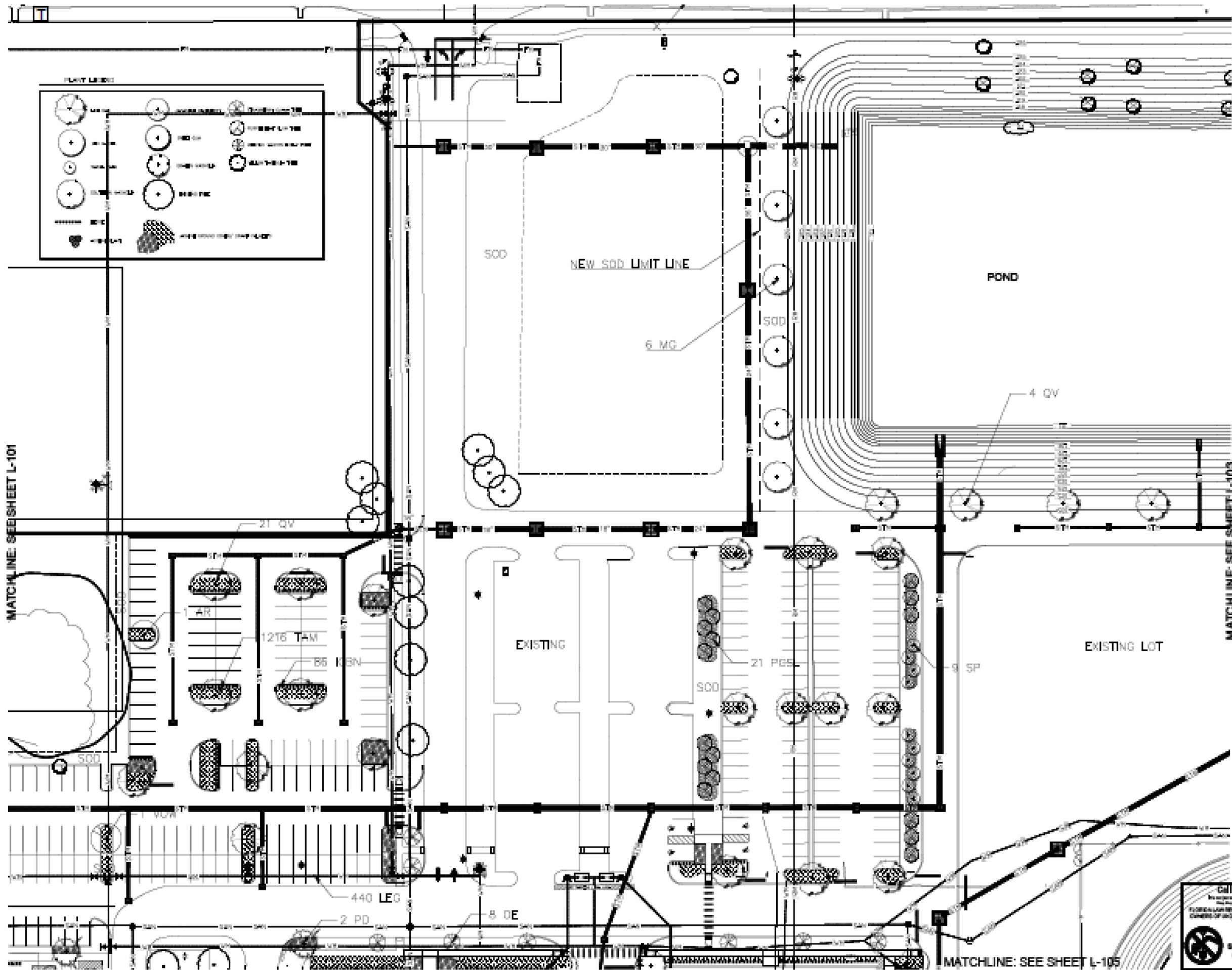
LANDSCAPE SITE PLAN
 FOR
FOUNDATION ACADEMY
 15304 Tilden Rd. Winter Garden, Florida

Designed by:	RCD
Drawn by:	DHS
Checked by:	RCD
Date:	07/11/19

Revision:	Date:

L-101 OF 16





DAHLIG & COMPANY
 651 North Mills Avenue Orlando, Florida 32805 telephone 407.894.1337
 Landscape Architecture • Analysis • Planning

MATCHLINE: SEE SHEET L-101

MATCHLINE: SEE SHEET L-103

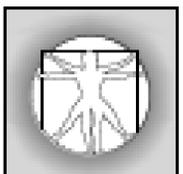
LANDSCAPE SITE PLAN
 FOR
FOUNDATION ACADEMY
 15304 Tilden Rd. Winter Garden, Florida

Designed by	BSJ
Drawn by	BSJ
Checked by	BSJ
Date	07/22/08

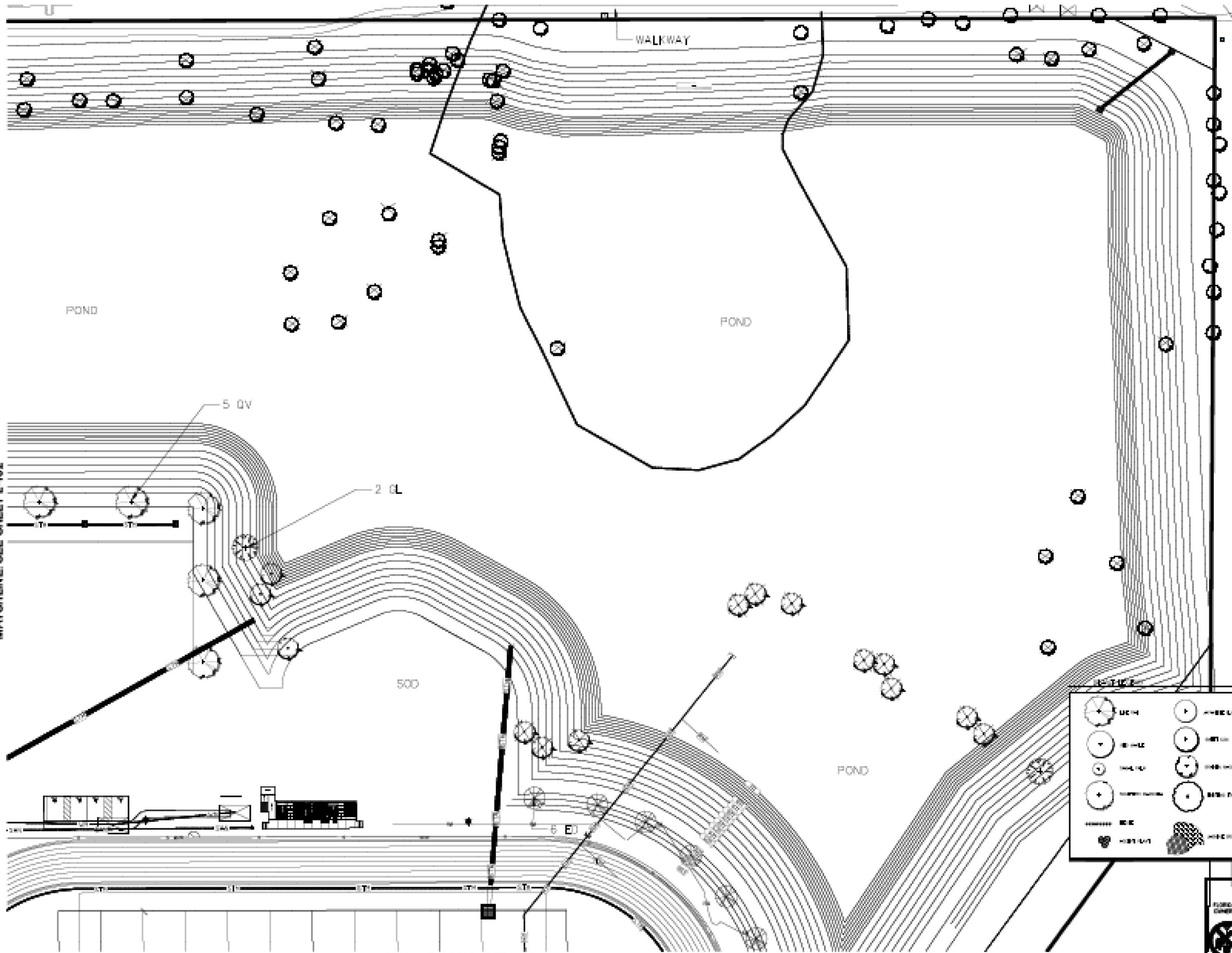
Revisions	Drawn

L-102 of 16

Call before you dig
 To determine any applicable laws, regulations, or restrictions, contact your local utility companies.
 FLORIDA LAW REQUIRES YOU TO NOTIFY OWNERS OF UNDERGROUND FACILITIES NO LESS THAN TWO (2) BUSINESS DAYS BEFORE YOU DIG.
 Sunshine State One Call
 www.sunshinestateonecall.com
 1-800-482-4770



MATCHLINE: SEE SHEET L-105



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MATCHLINE: SEE SHEET L-102

MATCHLINE: SEE SHEET L-106

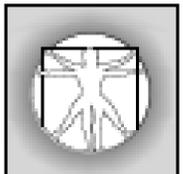
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	W-10C		W-10C		W-10C LEDY
	W-10C		W-10C		W-10C LEDY
	W-10C		W-10C		W-10C LEDY
	W-10C		W-10C		W-10C LEDY
	W-10C		W-10C		W-10C LEDY
	W-10C		W-10C		W-10C LEDY
	W-10C		W-10C		W-10C LEDY

LANDSCAPE SITE PLAN FOR
FOUNDATION ACADEMY
 15304 Tilden Rd. Winter Garden, Florida

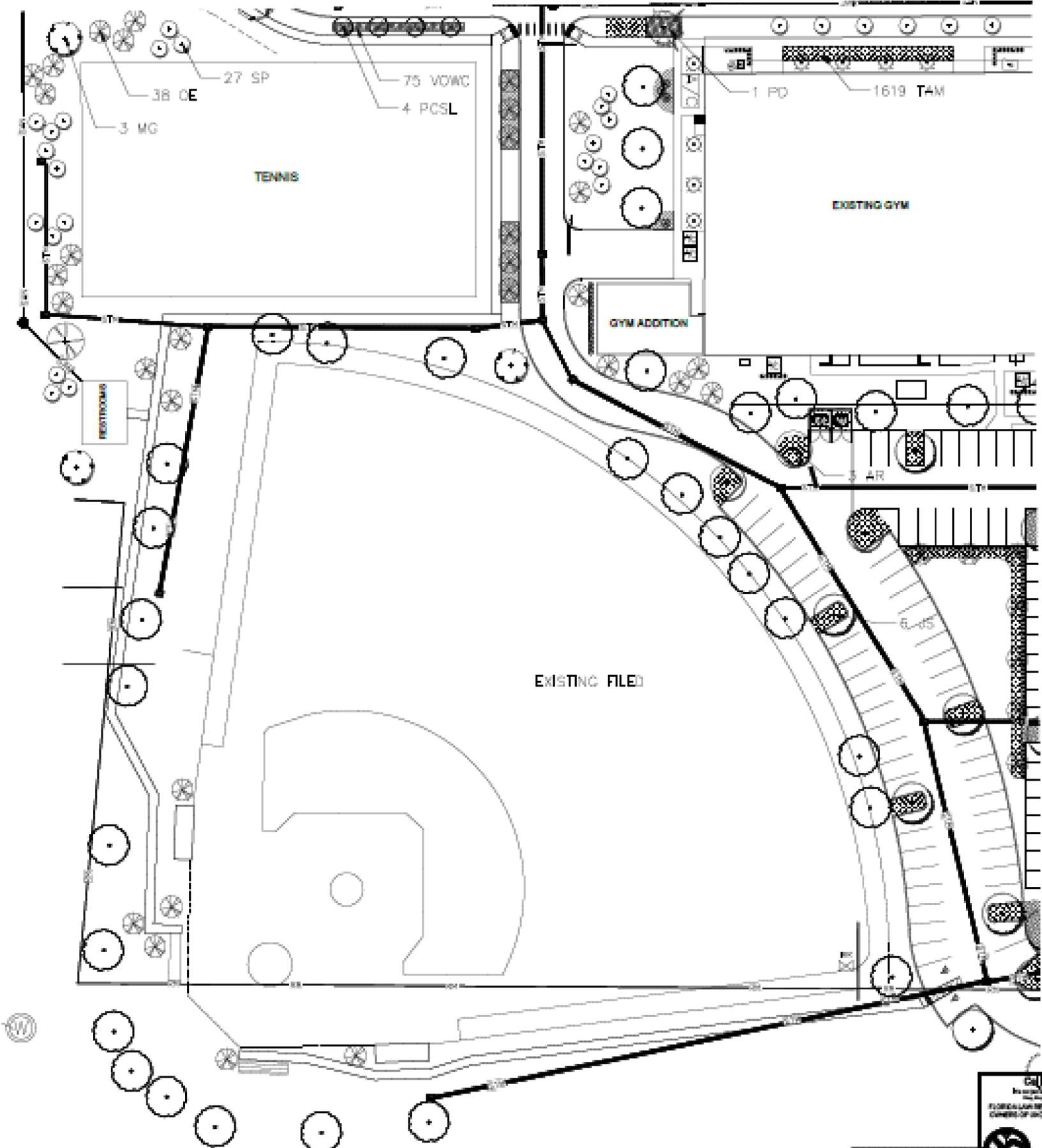
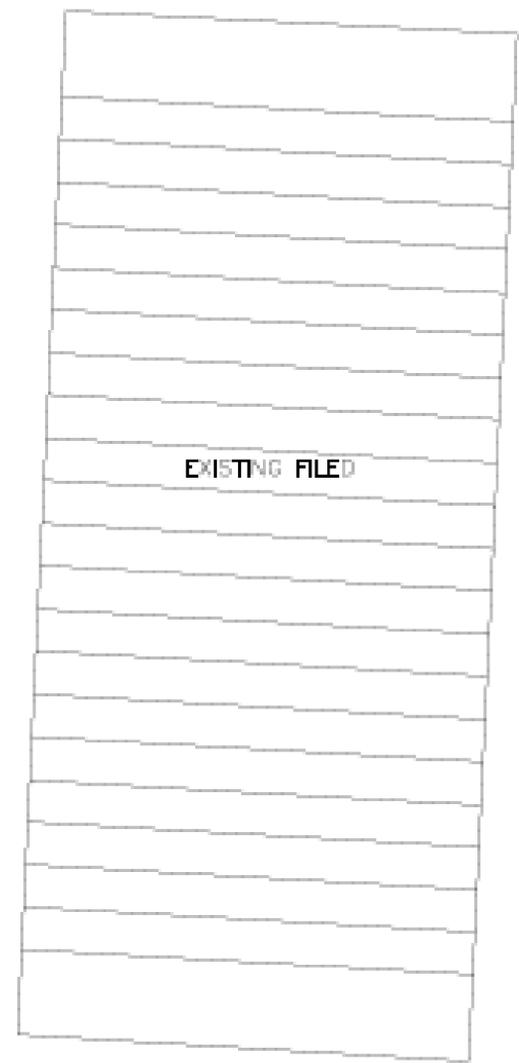
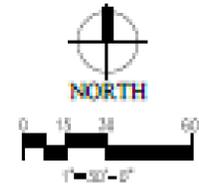
Regularity	80%
Density	80%
Created by	80%
Date	8/15/20
Revisions	None

L-103 of 16

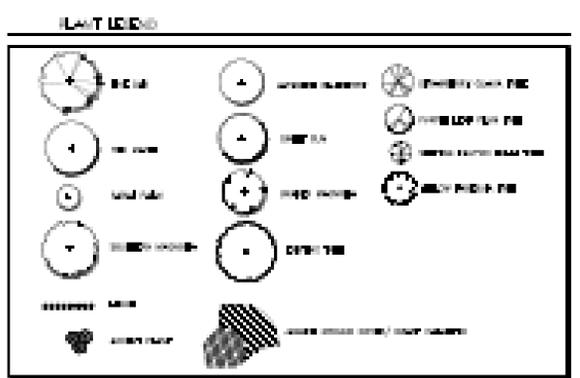
Call before you dig
 It's the law in Florida!
 Florida law requires excavators to notify owners of underground facilities 48 hours before they dig.
 Sunshine State One Call
 www.sunshinestateonecall.com
 1-800-432-4378

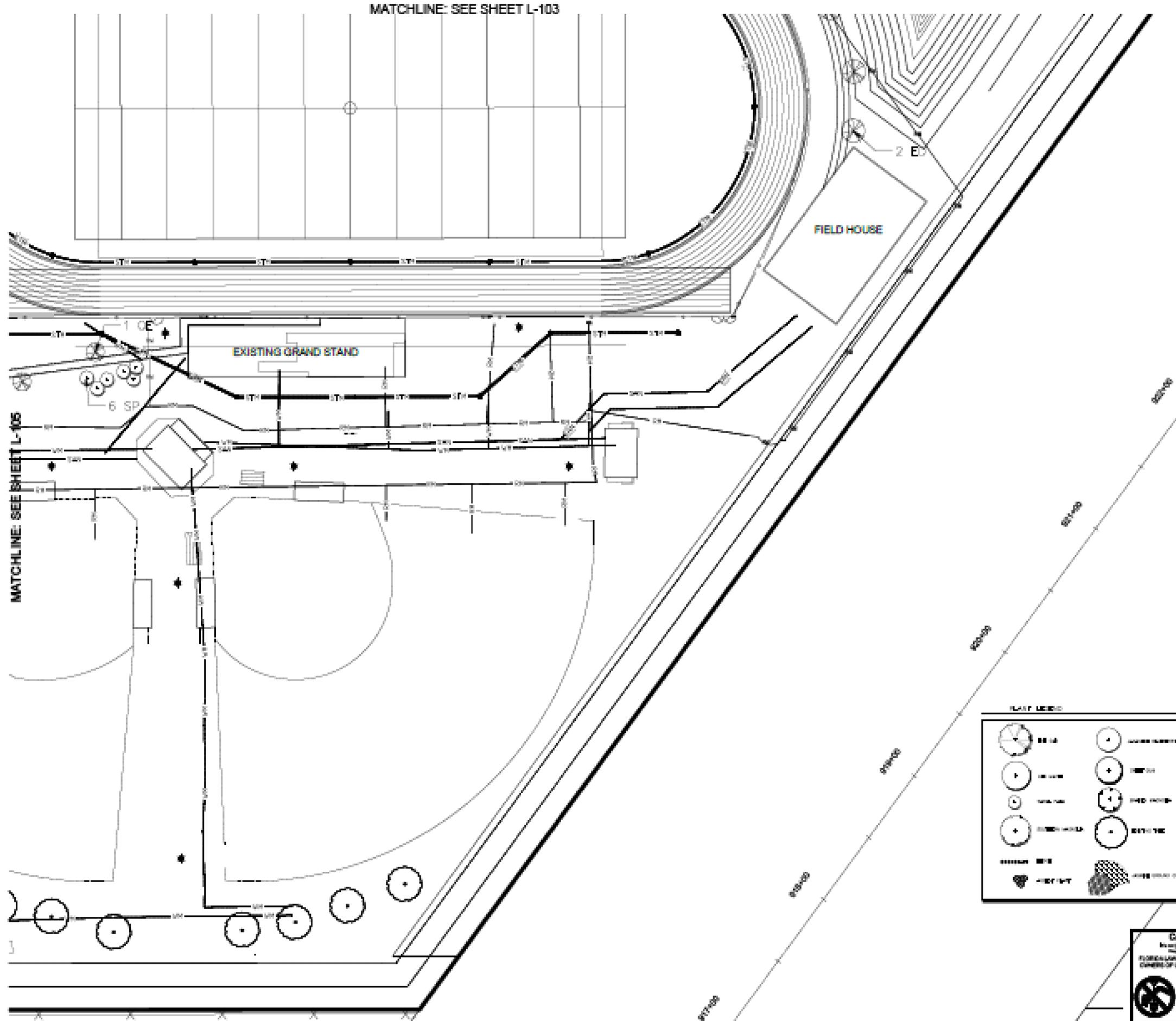


MATCHLINE: SEE SHEET L-101



MATCHLINE: SEE SHEET L-105





PLANT LEGEND

	20' DB PLANT		12' DB PLANT		6' DB PLANT
	18' DB PLANT		10' DB PLANT		4' DB PLANT
	16' DB PLANT		8' DB PLANT		3' DB PLANT
	14' DB PLANT		6' DB PLANT		2' DB PLANT
	12' DB PLANT		4' DB PLANT		1' DB PLANT
	10' DB PLANT		2' DB PLANT		1' DB PLANT
	8' DB PLANT		1' DB PLANT		1' DB PLANT
	6' DB PLANT		1' DB PLANT		1' DB PLANT
	4' DB PLANT		1' DB PLANT		1' DB PLANT
	2' DB PLANT		1' DB PLANT		1' DB PLANT
	1' DB PLANT		1' DB PLANT		1' DB PLANT

Call before you dig
 An important step in planning for any excavation project is to call before you dig. Florida law requires excavators to notify owners of underground facilities at least 48 hours prior to excavation.
Sunshine State One Call
 www.call411.com
 1-800-432-4370

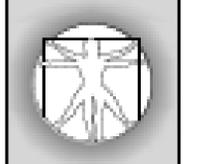


DAIG & COMPANY
 651 North Mills Avenue Ocala, Florida 32805 telephone 407.894.1337
 Landscape Architecture • Analysis • Planning

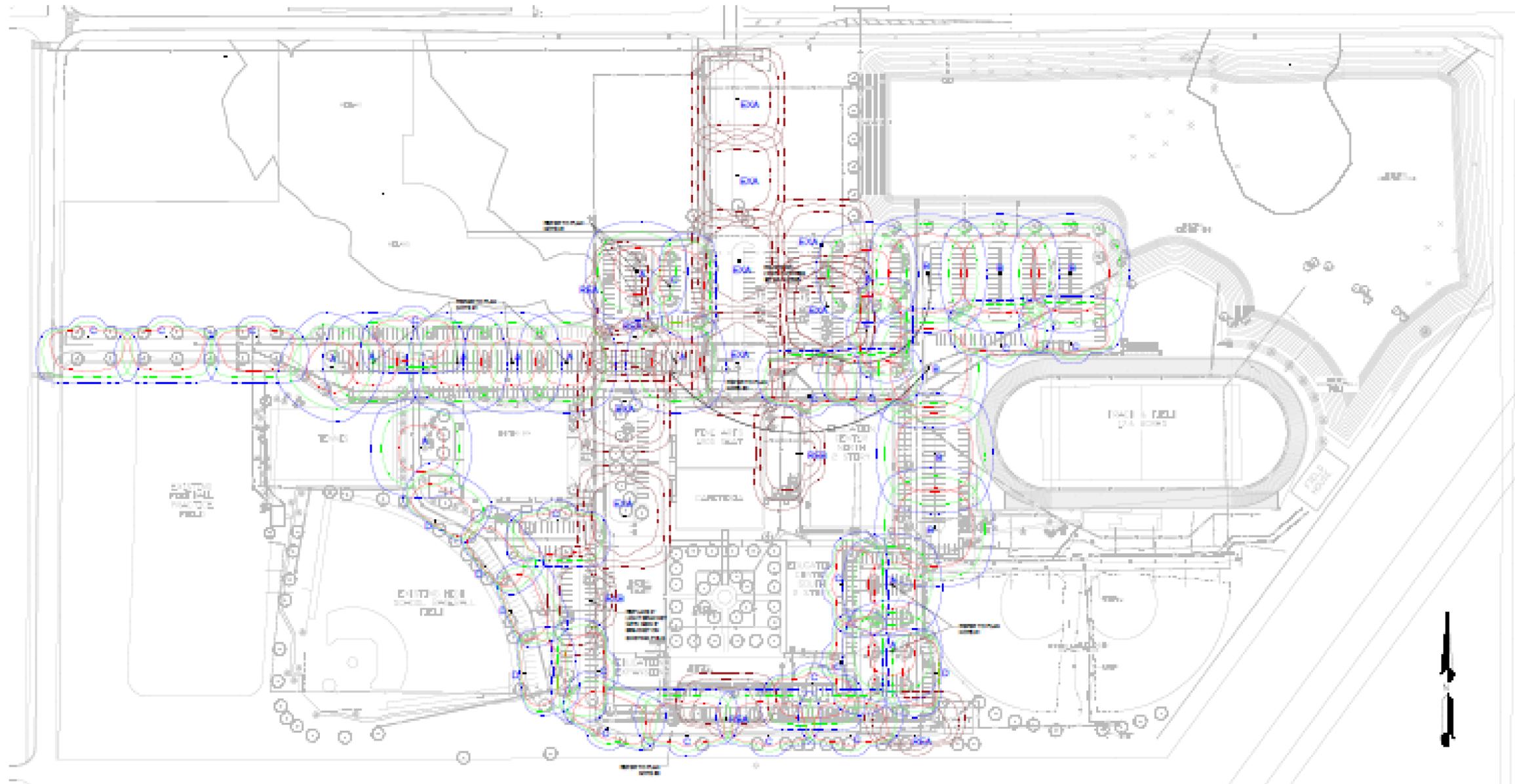
LANDSCAPE SITE PLAN FOR FOUNDATION ACADEMY
 15304 Tilden Rd. Winter Garden, Florida

Designed by	SKS
Drawn by	SKS
Checked by	SKS
Date	07/24/08
Revisions	None

L106 of 16



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Photometric Template Coverage and Notes
Scale: 1" = 100'

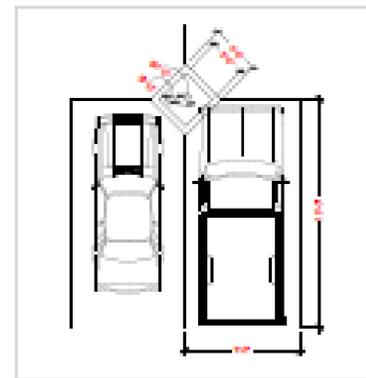
Symbol	Label	Qty	Description	LFP	Mount	Fixture Number	Fixture	Mounting Height (AFG)	Fixture Color	Fixture Size
⊕	A	11	20W TYPE IV LED SHOEBOX	0.000	213	0AN-AP-04LED-U-BWC	LED LIGHT ENGINE	30'	BLACK	NEW TENON TOP, GRAY
⊕	B	8	20W TYPE IV LED SHOEBOX (QTY. 2)	0.000	428	0AN-AP-04LED-U-BWC	LED LIGHT ENGINE	30'	BLACK	NEW TENON TOP UNLAKED NOTED OTHERWISE, GRAY
⊕	C	18	20W TYPE IV LED SHOEBOX	0.000	213	0AN-AP-04LED-U-TBW	LED LIGHT ENGINE	30'	BLACK	NEW TENON TOP, GRAY
⊕	D	5	20W TYPE IV LED SHOEBOX WITH HOUSER SIDE SHIELD	0.000	213	0AN-AP-04LED-U-SL-HSH	LED LIGHT ENGINE	30'	BLACK	NEW TENON TOP, GRAY
⊕	REA	4	EXISTING 20W TYPE IV LED SHOEBOX (QTY. 2)	0.000	428	0AN-AP-04LED-U-TBW	LED LIGHT ENGINE	30'	BLACK	EXISTING TENON TOP, GRAY
—	REB	1	EXISTING 20W TYPE II LED ROADWAY	0.000	215	AT-12-04-LED-0211-XXXX-RO-BWC	LED LIGHT ENGINE	30'	GRAY	EXISTING STATIC CAST, GRAY
⊕	REA	4	RELOCATED 20W TYPE IV LED SHOEBOX	0.000	213	0AN-AP-04LED-U-TBW	LED LIGHT ENGINE	30'	BLACK	NEW TENON TOP, GRAY
—	REB	1	RELOCATED 20W TYPE II LED ROADWAY	0.000	215	AT-12-04-LED-0211-XXXX-RO-BWC	LED LIGHT ENGINE	30'	GRAY	EXISTING STATIC CAST, GRAY

General Notes:

1. Site lighting is engineered, installed, and connected per NESC for Utility work and is owned and maintained by Duke Energy under a FPSC regulated leased lighting program.
2. Lighting is fed directly from Utility secondary distribution system via closest transformer and is not connected to any metered building or service point. All conductors are direct buried at 36" BFG minimum per NESC for Utility work.
3. All new Poles are Concrete 35' OAL and direct buried concrete tenon top with a mounting height of 30' AFG.
4. Existing poles are Concrete 35' OAL, direct buried concrete tenon top and static cast with a mounting height of 30' AFG. Refer to luminaire schedule and lighting plans for more information.

Plan Notes:

1. **Diamond Shaped Parking Stop:** Coordinate diamond shaped parking stop and it's specifications / requirements with civil engineer. Refer to "Typical Diamond Shaped Parking Stop Detail" on this sheet for reference only. Outermost front of curbing should be no less than 4'-0" on any side. Curbing by others.
2. Relocate existing light pole and shoebox bracket to the light location labeled "B" as shown on this sheet's lighting plan. Relocate existing Type IV LED Shoebox light fixtures to light locations labeled "REA" on this sheet's lighting plan.
3. Relocate existing light pole, bracket and fixture to light location labeled "REB" on this sheet's lighting plan.



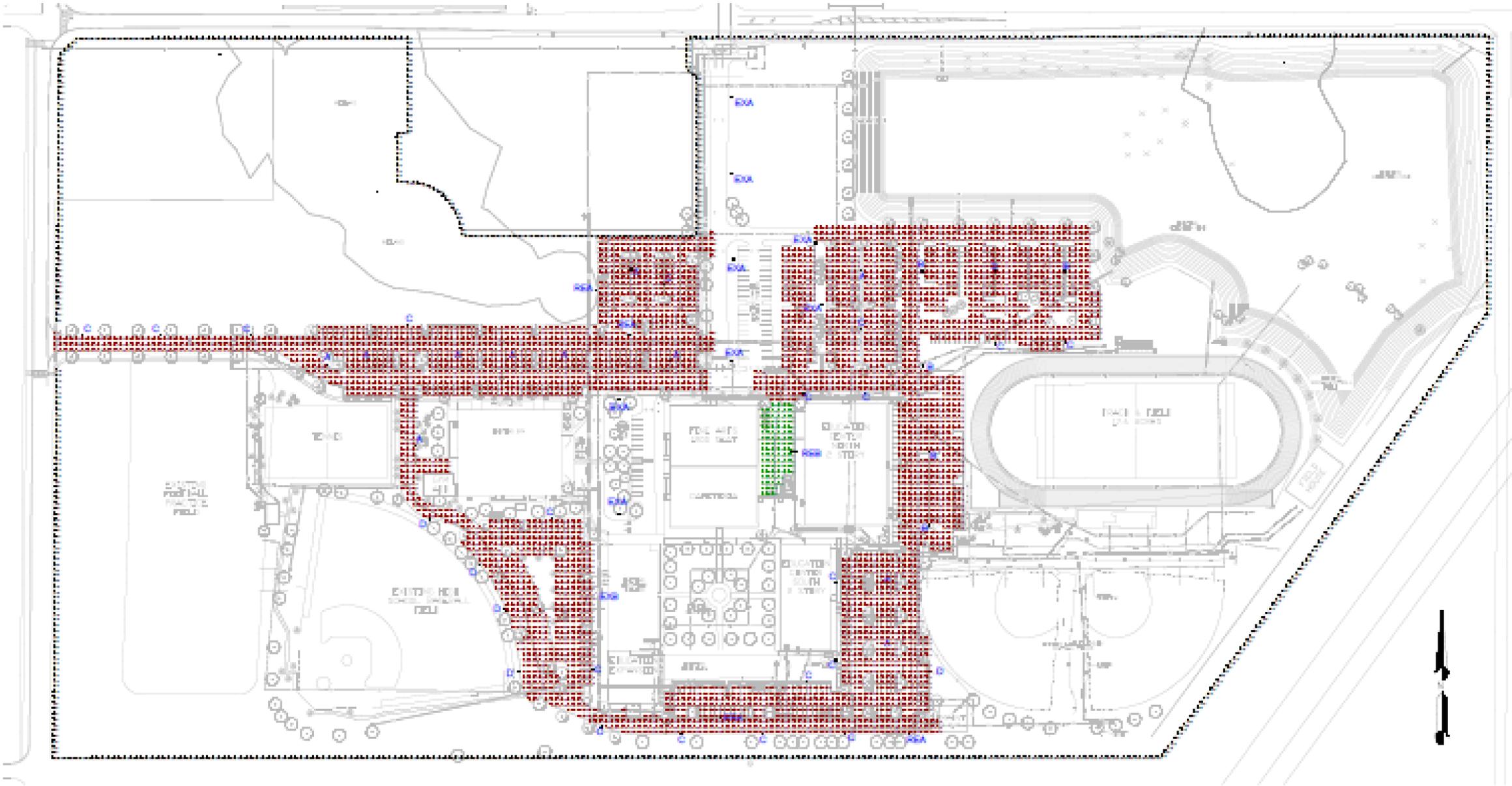
Typical Diamond Shaped Parking Stop Detail
Scale: N.T.S.



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Foundation Academy - Site Lighting Plan
 City of Winter Garden, Florida

Design:
 Designer: Carol
 Date:
 September 24, 2020
 Title:
 1" = 100'
 Drawing No:
 SLC-02



Overall Site Photometry
 Scale: 1" = 100'

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Foot/Min
Parking and Other	+	0.0%	0.0%	0.0%	0.00	0.00
Canopied / Canopied Area	+	0.0%	0.4%	0.0%	100%	0.40
Property Line	+	0.0%	0.0%	0.0%	N/A	N/A

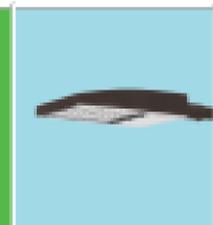
General Notes:

- The footcandle values shown in this photometric study consider both existing and proposed Duke Energy light fixtures. Photometric footcandle values and site calculations shown represent footcandle values where new work is being proposed.



Outdoor Lighting
Shoobox LED

Technology efficient Shoobox LED is a great solution and provides environmental savings. LED, made of long-lasting and durable providing a "lifetime" life will enhance the appearance of your site. The Shoobox LED allows light to be directed, while increasing visibility and reducing light trespassing. Available in four color options. Selected to be an alternative to the traditional light fixture. The fixture provides white light source that will enhance safety, visibility and energy efficiency.



LED	Light Emitting Diode	20.0 42.0 watts
Mounting height		20' - 30'
Color	Dark bronze Black	
Poles	Tower Decorative concrete	

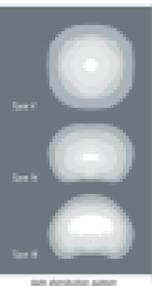
For additional information, visit our new energy solutions page: www.dukeenergy.com

Outdoor Lighting
Shoobox LED

Light source: LED (white)
Voltage: 120 V | 42.0 W

Light options:
LED 20.0 W | 42.0 W | 84.0 Watts (standard)
LED 20.0 W | 42.0 W | 84.0 Watts (standard)
LED 20.0 W | 42.0 Watts (standard)

Warranty: 5-year limited warranty
Color temperature: 4,000K
Warm-up and maintenance: Instant on, no warm-up or maintenance



Poles available	Mounting height	Color
Tower top concrete	20' - 30'	Gray
Decorative concrete	20' - 30'	Black

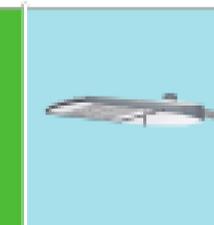
Features	Benefits
LED or low-voltage option	Energy efficient for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Warranty included	Low replacement than traditional services
Warranty included	Warranty-free
One free monthly visit as your needs change	Convenience and savings for you
Troubleshooting	Provides hands-on installation and service
Backed by over 40 years of experience	A name you can trust today... and tomorrow

*If used for additional applications when required.

New and Existing Light Fixture Information

Outdoor Lighting
Roadway LED

Technology efficient Roadway LED is a great solution and provides environmental savings. Long maintenance and durability. The Roadway LED allows light where it's needed while increasing visibility and reducing light trespassing. Selected to be an alternative to the LED in 20-watt applications. Available in four color options. Selected to be an alternative to the traditional light fixture. The fixture provides white light source that will enhance safety, visibility and energy efficiency.



LED	Light Emitting Diode	40.0 80.0 120.0 160.0 200.0 280.0 watts
Mounting height		20' - 30'
Color	Black White	
Poles	Decorative concrete POB	
Applications	Highways Roadways Shopping centers	

For additional information, visit our new energy solutions page: www.dukeenergy.com

Outdoor Lighting
Roadway LED

Light source: LED (white)
Voltage: 120 V | 80.0 W | 120.0 W | 160.0 W | 200.0 W

Light options: 20-watt applications
Warranty: 5-year limited warranty
Warm-up and maintenance: Instant on, no warm-up or maintenance



Poles available	Mounting height	Color
Decorative concrete	20' - 30'	White
POB	20' - 30'	Black

Features	Benefits
LED or low-voltage option	Energy efficient for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Warranty included	Low replacement than traditional services
Warranty included	Warranty-free
One free monthly visit as your needs change	Convenience and savings for you
Troubleshooting	Provides hands-on installation and service
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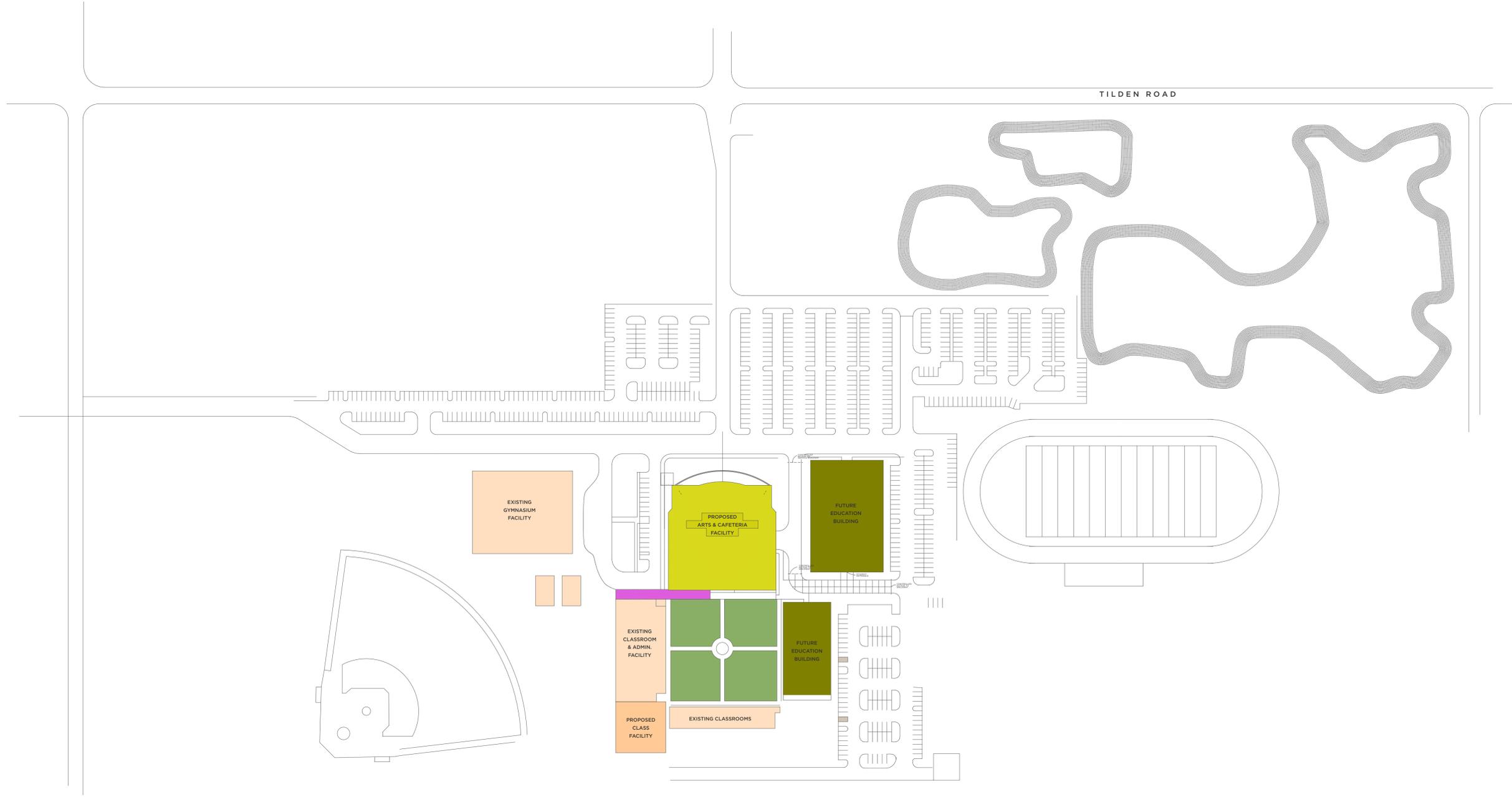
Existing Light Fixture Information

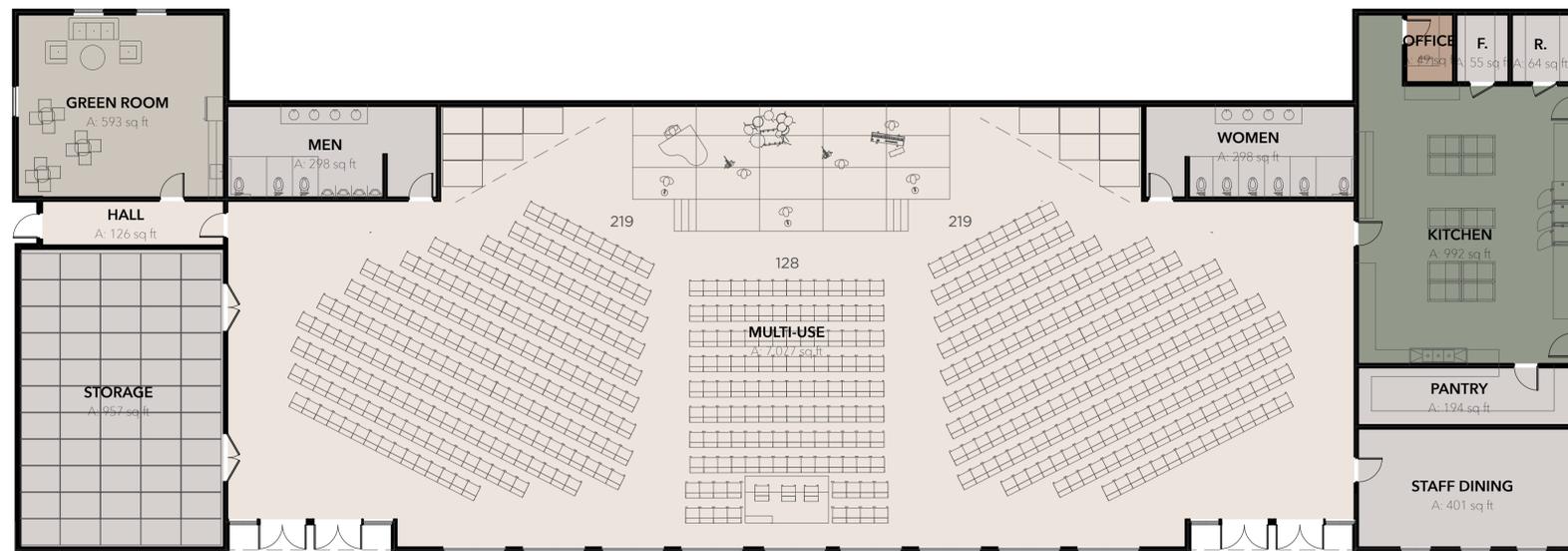
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FLOOR PLAN - PHASE 2	3
3D RENDERING	4
EXTERIOR VIEWS - PHASE 1	5
EXTERIOR VIEWS - PHASE 2	6
ELEVATIONS - PHASE 1	7
ELEVATIONS - PHASE 2	8





PHASE 1 - FIRST FLOOR PLAN: 11,799 sq ft



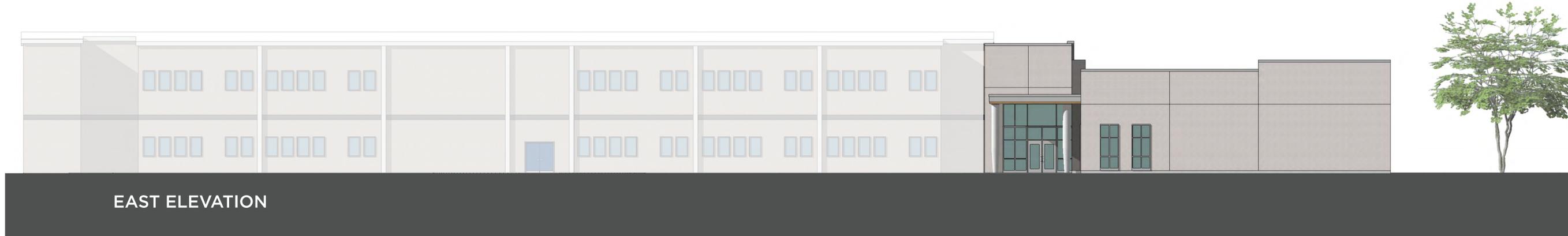








NORTH ELEVATION



EAST ELEVATION





NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION

CITY OF WINTER GARDEN

DEVELOPMENT REVIEW COMMITTEE

300 West Plant Street - Winter Garden, Florida 34787-3011

(407) 656-4111

MEMORANDUM

TO: STEVE PASH, COMMUNITY DEVELOPMENT DIRECTOR
FROM: DEVELOPMENT REVIEW COMMITTEE
DATE: October 16, 2020
SUBJECT: 15304 Tilden Road (Foundation Academy Phase 2)
SITE PLAN REVIEW – 4th Review

Pursuant to your request, we have reviewed the revised site plan last dated 9/28/20 for compliance with the City's storm water and site requirements. This plan proposes 5 new buildings, athletic track, additions to existing buildings, additional paved and grass parking, and stormwater and utility improvements. This was submitted in response to our comments of 8/15/20 and DRC meeting of 8/19/20 where it was referred to staff review only.

ENGINEERING COMMENTS

We recommend approval subject to approval by all other departments, and the following conditions and comments (any underlined comments shall be addressed prior to pre-con):

1. **The County project is not anticipated to begin construction until 2022-23.** Previous reviews of this site indicated it was in a closed basin and required total retention of the 100 year, 24 hour storm event. Orange County approval will be required for any work, including drainage connection, in the Tilden Road Right-of-way.

Based on the response, Orange County has approved the discharge into their (future) system and will make that connection.

2. Storm pipe type material is not specified. If Thermoplastic pipe is used, the Engineer shall provide the City with a signed/sealed letter stating that he consents to this substitution and has made the necessary adjustments to the plans and specs to accommodate Thermoplastic pipe (including bedding details, etc.). If Thermoplastic pipe is being specified it shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe (**not HDPE; N-12**), laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website). The City does not approve ADS N-12 pipe, only HP polypropylene thermoplastic pipe is approved.
3. Design Engineer has certified that the stopping sight distance requirements at the Mann Road intersection are being met per FDOT & Florida Greenbook.
4. Sheet 9B (utility plan) shows removal of the existing 8" water main currently shown on the City's future pond property and replacing it with a 10" water main along the east side of the City's property. Will this require a permanent utility easement or temporary construction easement as it's very close to the property line and sidewalk? Other than the removal of the 8" water main, no other work is shown on the City's property and no other work is authorized.

Per the response, the temporary construction easement (TCE) has been provided for City review and approval. This shall be approved by the City and recorded prior to final plan stamping and pre-construction meeting.

5. General Requirements (all as noted):
 - a. All gravity sanitary pipe and fittings shall be SDR 26.
 - b. All compaction shall be 98% of the modified proctor maximum density (AASHTO T-180).
 - c. As-built record drawings shall comply with City of Winter Garden requirements available on-line (note on plan).
 - d. All Storm ($\geq 12''$) and Sanitary lines ($\geq 6''$) shall be inspected by CCTV prior to completion.
6. Any signs, screen and retaining walls will need a separate permit from Building Department.
7. All on-site utilities shall be privately owned and maintained. 100% of all required water and sewer impact fees shall be paid prior to City execution of FDEP permits or issuance of site or building permits. Meter sizes shall be provided for review by the Utilities Department for verification of impact fees at time of Building Permit application. Final plans will not be approved for construction until utility impact fees have been paid and FDEP permits or exemptions have been issued. Response states that no new meters are proposed.
8. All irrigation on the site shall be designed to be supplied by reclaimed water when available and shall be served by a jumper to potable water until that time. Any irrigation lines within City R/W shall be purple in color. All points of connection to reclaimed water mains shall have appropriate meters, backflow preventers, etc. All irrigation mains within the City's R/W under the pavement shall be encased within a sleeve.
9. Streetlighting, both internally and on all street frontages (Tilden Road), is required pursuant to City Code – dark skies lighting is required. A revised photometric plan, showing Duke Energy's streetlight plan, has been submitted for review by the Planning Department.
10. Permits or exemptions shall be provided from SJRWMD for storm water, Orange County (Tilden Road), and FDEP for water, wastewater and NPDES NOI.

PUBLIC SERVICES COMMENTS

11. Please have the applicant provide a dumpster enclosure detail to ensure that: All single dumpster enclosures shall be enclosed and shall provide a 12' minimum inside clearance (each way inclusive of the bollards), and all double dumpster enclosures shall be enclosed and provide a 24' width x 12' deep inside clearance (each way inclusive of bollards).

STANDARD GENERAL CONDITIONS

12. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
13. All work shall conform to City of Winter Garden standards and specifications.
14. Fencing, shall meet all City requirements for height, type, etc. Chain link fencing, if used, shall be vinyl coated per Code.
15. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.

16. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
17. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
18. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

Additional comments may be generated at subsequent reviews

Please review this information and contact our office if you have any questions. Thank you.

END OF MEMORANDUM

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: October 15, 2020 **Meeting Date:** October 22, 2020

Subject: 15304 Tilden Road
Foundation Academy Ph 2 - Temporary Construction License Agreement
PARCEL ID# 09-23-27-0000-00-009

Issue: Approval of a Temporary Construction License Agreement with The Foundation Academy.

Discussion:

The Foundation Academy, which has a proposed Site Plan Approval for the Phase 2 of the Foundation Academy campus project, requires a temporary construction access on City property in order to remove and replace a water main that services the property.

Recommended Action:

Staff recommends approval of the proposed Temporary Construction License Agreement with The Foundation Academy.

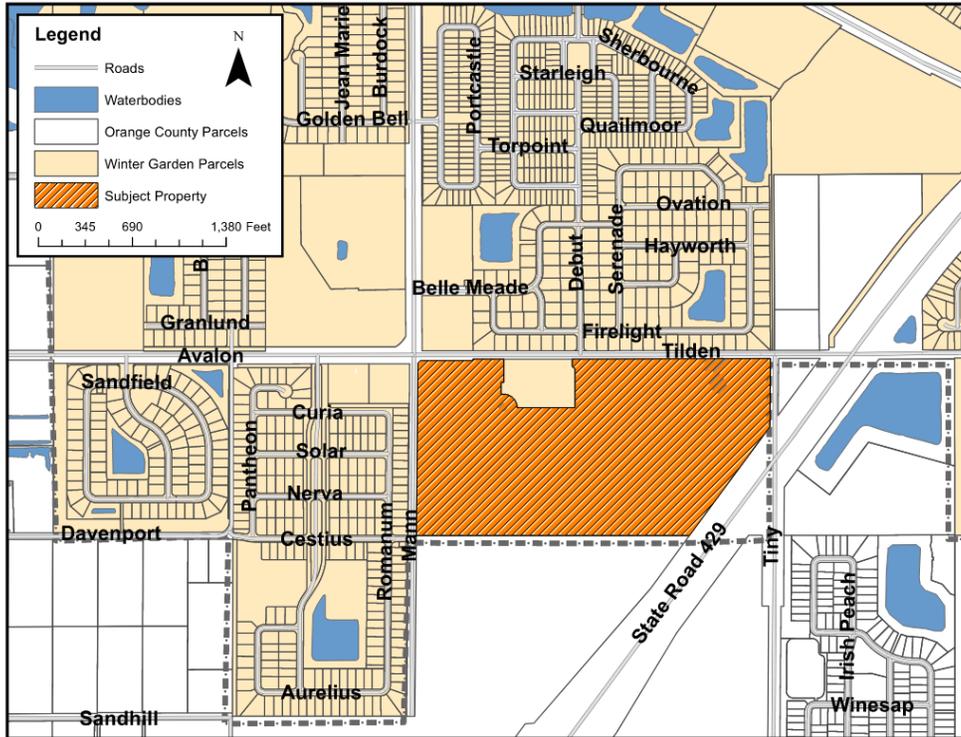
Attachment(s)/References:

Location Map
Temporary Construction License Agreement

Location Map

Foundation Academy

15304 Tilden Road



TEMPORARY CONSTRUCTION LICENSE AGREEMENT

This Temporary Construction License Agreement (“Agreement”) is made and entered into this ____ day of _____, 2020, by and between **Foundation Academy of Winter Garden, Inc.**, whose address is 15304 Tilden Road, Winter Garden, FL 34787 (hereinafter referred to as “Licensee”), and **City of Winter Garden**, a Florida municipal corporation, whose address is Attn: City Manager, 300 West Plant Street, Winter Garden, Florida 34787 (hereinafter referred to as “City”).

RECITALS:

WHEREAS, City owns that certain approximately 4.14 +/- acre real property located on Tilden Road in City of Winter Garden, County of Orange, State of Florida, having Orange County Tax Parcel Identification Number 09-23-27-0000-00-022 (the “City Property”); and

WHEREAS, Licensee is the owner and developer of that certain property located on Tilden Road adjacent to the City Property, in Winter Garden, Florida, having Orange County Tax Identification Number 09-23-27-0000-00-009 (“FA Property”); and

WHEREAS, the License is currently seeking site plan approval for Phase 2 of the Foundation Academy Project to be constructed upon the FA Property (“Project”); and

WHEREAS, Licensee desires to temporarily use a portion of the City Property described in the sketch and legal description attached hereto as **Exhibit “A”** (“Temporary Construction Area”) for construction access to facilitate the installation of Project utility improvements upon the FA Property to be installed proximate to the FA Property’s boundary with the City Property; and

NOW THEREFORE, in consideration of the premises and mutual covenants contained herein and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereby agree as follows:

1. Recitals. The above referenced recitals are true and correct and hereby incorporated into this Agreement.

2. Term. The Term of this Agreement shall commence on the issuance of the first permit for the Project site improvements and end upon the earlier of (i) fifteen (15) months thereafter, and (ii) upon the receipt of a certificate of completion for the Project site improvements (the “Term”). Upon the mutual agreement of Licensee and City’s City Manager, the Term of this Agreement may be extended for up to an additional six (6) months. Upon expiration of the Term or termination of this Agreement, Licensee shall deliver the Temporary Construction Area to City free of all materials, debris, garbage and personal property, and Licensee shall repair and restore the Temporary Construction Area to its previous condition. Further, Licensee shall repair and restore any damage Licensee’s Project construction activities cause to improvements within public rights-of-way. If the first permit for the Project is not obtained by March 30, 2021, the City shall have the right to terminate this Agreement.

3. Use. During the Term of this Agreement, Licensee shall have the right of use

and possession of the Temporary Construction Area for a construction yard and construction access for the operation and storage of vehicles, equipment and materials to facilitate the construction of the Project. Licensee shall be responsible for the security and risk protection of vehicles, equipment and materials stored on the Temporary Construction Area and for the safety of persons and property. Licensee shall comply with all laws, ordinances, regulations and rules in the use of the Temporary Construction Area. Licensee shall not cause environmental contamination of the Temporary Construction Area. The Licensee shall not store fuel or petroleum tanks on the Temporary Construction Area. Licensee agrees that the City and its employees shall have the right to access and inspect the Temporary Construction Area at any time.

4. No Charge. Licensee's use of the Temporary Construction Area during the Term shall be free of charge, except for the cost, if any, to restore the Temporary Construction Area to its previous condition prior to termination of the Term. If Licensee fails to timely vacate the Temporary Construction Area upon expiration of the Term, the Licensee shall compensate the City for \$200.00 per each day that Licensee's unlawful holdover occurs.

5. No Property Interest. The license granted herein is solely a license for the express purposes set forth in this Agreement and does not grant any leasehold, easement, property or equitable interest in the Temporary Construction Area to Licensee. The license granted herein is personal to Licensee and it does not run with the land and title to the FA Property or the Temporary Construction Area. City reserves all rights of ownership of the Temporary Construction Area. The Licensee shall ensure that no contractor, subcontractor, materialmen, vendor, supplier or any other entity or person performing work for the Licensee or for the Project claims or files a lien against the Temporary Construction Area or any other City property. The City is exempt from construction liens and mechanics liens.

6. Insurance. During the Term, Licensee and each of its contractors shall procure and maintain general commercial liability insurance in the amount of at least \$2,000,000.00 per occurrence covering the Temporary Construction Area and their construction operations. Evidence of such insurance shall be provided to the City prior to use of the Temporary Construction Area and exercise of the license herein. Further, Licensee and each of its contractors shall procure and maintain workers' compensation insurance in sufficient coverage limits as required by the State of Florida.

7. Indemnification. Licensee accepts the full risk of its and its employees', contractors' and agents' use and possession of the Temporary Construction Area and for the security and protection of persons and personal property upon the Temporary Construction Area. City will not be deemed to have or to have created a bailment of, custody of, care of or control over any equipment, vehicles or materials stored upon the Temporary Construction Area. Licensee shall at all times, assume all risk of and indemnify and hold harmless the City and the City's elected and appointed officials, officers, employees and agents from and against any and all losses, damages, costs and expense (including the City's reasonable attorney's fees and costs through any and all administrative, trial, post judgment and appellate proceedings), by reason of liability imposed by law, except in the case of the City's sole gross negligence, arising out of or resulting from: (i) the Licensee's and its contractors', agents', employees' and invitees' exercise or attempted exercise of its rights and privileges granted to Licensee herein, including but not limited to, property damage, personal injury and/or death resulting from operation, use and maintenance of the Temporary Construction Area or Licensee's Project construction activities;

(ii) the negligence, gross negligence, recklessness, or intentional wrongful misconduct of the Licensee or Licensee's contractors', agents', employees' and invitees' or any person employed or utilized by the Licensee in the use and operation of the Temporary Construction Area, access to the Temporary Construction Area or Project construction activities; (iii) any other act or omission by Licensee arising from or concerning this Agreement, including without limitation, Licensee's breach of its responsibilities and duties hereunder; (iv) any lien or claims that may be made upon the City or the Temporary Construction Area due to improvements made or alleged to be made or authorized by Licensee to the Temporary Construction Area; (v) environmental contamination caused by Licensee or its employees, contractors or agents; and (vi) any risk assumed by Licensee under this Agreement; or (vi) any combination thereof. Licensee shall be responsible for the acts and omissions of its contractors, agents, employees, guests, and invitees and this provision is intended to protect the City from such. It is further understood and agreed that Licensee shall, at the option of the City, defend the City (with attorneys' selected by the City) and Licensee shall further bear all attorneys' fees and other costs and expenses in the defense of any suit arising hereunder, except to the extent due to a default of the City hereunder. This paragraph shall survive termination and expiration of this Agreement.

8. Assignment. Licensee shall not, in whole or part, assign, transfer, pledge as security, mortgage, or otherwise transfer or encumber all or any part of the Temporary Construction Area, this Agreement, or Licensee's interest in this Agreement.

9. Insolvency. The following occurrences or events shall constitute a material default of this Agreement by Licensee: (i) the filing by or against Licensee in any court, pursuant to any statute, either of the United States or any state, of a petition in bankruptcy alleging insolvency or seeking reorganization, the appointment of a receiver or trustee, an arrangement under the Bankruptcy Acts, or any similar type of proceeding and the failure of Licensee to cause any such filing to be dismissed within a period of 20 days after the date of such filing; or (ii) Licensee's making or proposed making of an assignment for the benefit of creditors.

10. Default. If Licensee shall default and breach any other covenant or provision of this Agreement, then the City, after giving Licensee thirty (30) days prior written notice of such default and an opportunity to cure, may terminate this Agreement and remove Licensee and any personal property and any and all persons therefrom in the manner allowed by law. In the event of the City's default of this Agreement, Licensee shall give the City thirty (30) days prior written notice and an opportunity to cure the default. If the City fails to timely cure the default after such notice and opportunity to cure the Licensee may proceed to terminate this Agreement, or seek specific performance against the City, as Licensee's only remedies. Except as expressly provided in Section 11 below, in no event shall the City have any monetary liability pursuant to this Agreement, and Licensee hereby waives and releases the City from the same.

11. Attorneys' Fees. If either party commences an action against the other party arising out of or in connection with this Agreement, the prevailing party shall be entitled to have and recover from the non-prevailing party reasonable attorneys' fees and costs of litigation, including through all appeals.

12. Notices. Any notice or demand to be given or that may be given hereunder shall be in writing and shall be (i) delivered by hand, or (ii) delivered through United States mail, postage prepaid, certified, return receipt requested and addressed to the parties at the address shown on Page 1 of this Agreement. Any notice or demand that may be given hereunder shall be

deemed complete (i) one (1) day after mailing of such notice or demand in the United States mail with proper postage affixed thereto, certified, return receipt requested, or (ii) upon hand-delivery to the appropriate address as herein provided. Any party hereto may change said address by notice in writing to the other parties in the manner herein provided.

13. Applicable Law. The laws of the State of Florida shall govern the validity, performance and enforcement of this Agreement. The parties to this Agreement further agree that any and all litigation arising from the terms of this Agreement and the subject matter contained herein shall be filed and heard in a court of competent jurisdiction located in Orange County, Florida. The invalidity or unenforceability of any provision of this Agreement shall not affect or impair any other provision. Nothing in this Agreement shall constitute a waiver of the City's sovereign immunity protections and defenses, or any other privileges, immunities, protections and defenses afforded to City or any of its officials, employees and agents by law.

IN WITNESS WHEREOF, the Licensee and City have hereunto set their hands and seals the day and year above written.

Signed, sealed and delivered in the presence of:

City:

Witness

Print

Witness

Print

Michael Bollhoefer, City Manager

Date: _____

Licensee:

Foundation Academy of Winter Garden, Inc.

Witness

Print

Witness

Print

By: _____

Its: _____

Date: _____

SKETCH AND DESCRIPTION

LEGAL DESCRIPTION:

A PORTION OF THE NW 1/4 OF SECTION 9, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH 1/4 CORNER OF SECTION 9, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA; THENCE SOUTH 00°48'24" WEST, A DISTANCE OF 30.00 FEET, ALONG THE EAST LINE OF THE NW 1/4 OF SAID SECTION 9 TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF TILDEN ROAD AS SHOWN ON THE PLAT OF BELLE MEADE - PHASE 2, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 66, PAGES 25 THROUGH 27, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE SOUTH 89°56'14" WEST, A DISTANCE OF 159.22 FEET, ALONG SAID SOUTH RIGHT OF WAY LINE TO THE POINT OF BEGINNING; THENCE DEPARTING SAID SOUTH RIGHT OF WAY LINE, SOUTH 00°03'46" EAST, A DISTANCE OF 56.24 FEET; THENCE SOUTH 50°19'05" EAST, A DISTANCE OF 25.90 FEET; THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 284.82 FEET; THENCE NORTH 90°00'00" WEST, A DISTANCE OF 20.00 FEET, THENCE NORTH 00°00'00" WEST, A DISTANCE OF 275.43 FEET; THENCE NORTH 50°19'05" WEST, A DISTANCE OF 25.89 FEET; THENCE NORTH 00°03'46" WEST, A DISTANCE OF 65.62 FEET TO A POINT ON THE SAID SOUTH RIGHT OF WAY LINE OF TILDEN ROAD; THENCE NORTH 89°56'21" EAST ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

SAID LANDS CONTAINING 7339 SQUARE FEET OF LAND, MORE OR LESS.

SEE SHEET 2 FOR SKETCH



16 EAST PLANT STREET
Winter Garden, Florida 34787 * (407) 654-5355

SURVEYOR'S NOTES:

1. THIS IS NOT A BOUNDARY SURVEY.
2. THIS SKETCH IS NOT VALID UNLESS SIGNED AND SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
3. BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH RIGHT OF WAY LINE OF TILDEN ROAD HAVING A BEARING OF NORTH 89°56'21" EAST. (ASSUMED FOR ANGULAR DESIGNATION ONLY)

SHEET 1 OF 2

JOB NO. 20150402

DATE: 8-21-2020

CALCULATED BY: SCS

DRAWN BY: SCS

CHECKED BY: GMJ

FOR THE LICENSED BUSINESS #6723 BY:

GERALD M. JOHNSTON, P.S.M. #5570

SKETCH AND DESCRIPTION

Exhibit "A"
Temporary Construction Area

POINT OF COMMENCEMENT

NORTH 1/4 CORNER OF SECTION 9-23-27

NORTH LINE OF THE NORTHWEST 1/4 CORNER OF SECTION 9-23-27

TILDEN ROAD

(60.00' PUBLIC RIGHT OF WAY)
(PER P.B. 66, PAGES 25-27)

SOUTH RIGHT OF WAY LINE
BEARING BASE
N89°56'21"E

S89°56'14"W
159.22'

LINE TABLE		
LINE	BEARING	LENGTH
L1	S00°48'24"W	30.00'
L2	S00°03'46"E	56.24'
L3	S50°19'05"E	25.90'
L4	N00°00'00"W	20.00'
L5	N50°19'05"W	25.89'
L6	N00°03'46"W	65.62'
L7	N89°56'21"E	20.00'

POINT OF BEGINNING

OWNER: CITY OF WINTER GARDEN
TILDEN ROAD, WINTER GARDEN,
FLORIDA 34787
INSTRUMENT# 20160140295

20.00' TEMPORARY
CONSTRUCTION
area 7339 SQUARE FEET

OWNER: FOUNDATION ACADEMY
OF WINTER GARDEN, INC.
15304 TILDEN ROAD,
WINTER GARDEN, FLORIDA 34787
O.R.B. 6261, PAGE 5346

EAST LINE OF THE NORTHWEST 1/4 CORNER OF SECTION 9-23-27



GRAPHIC SCALE



(IN FEET)

1 inch = 100 ft.

OWNER: FOUNDATION ACADEMY
OF WINTER GARDEN, INC.
15304 TILDEN ROAD,
WINTER GARDEN, FLORIDA 34787
O.R.B. 6261, PAGE 5346

SEE SHEET 1 FOR LEGAL DESCRIPTION



16 EAST PLANT STREET
Winter Garden, Florida 34787 * (407) 654-5355

LEGEND:

- O.R.B. OFFICIAL RECORDS BOOK
- P.B. PLAT BOOK
- CHANGE IN DIRECTION

SHEET 2 OF 2

JOB NO. 20150402

CALCULATED BY: SCS

DATE: 8-21-2020

DRAWN BY: SCS

CHECKED BY: GMJ

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: October 19, 2020 **Meeting Date:** October 22, 2020

Subject: 30 N Park Ave
30 N Park – Construction Plan Set Approval
PARCEL ID# 22-22-27-0000-00-117, 22-22-27-0000-00-090

Issue: The applicant is requesting Construction Plan Set approval for property located at 30 N Park Ave & S Park Ave.

Discussion:

The subject property is a 0.91 +/- acre property that is zoned PUD (Planned Unit Development, Ord 19-48) and known as the 30 N Park Planned Unit Development. The applicant intends to develop the site with 9 new townhome units over two separate buildings: one townhome building will include 5 units and the other will include 4 units. The property will also include associated site development such as common recreation areas, a surface parking lot, sidewalks, landscaping and buffering, and a stormwater retention area. An existing 12" reclaimed water main and 18" force main are proposed to be moved to accommodate the new development.

Recommended Action:

Staff recommends approval of the Construction Plan Set subject to the conditions of the DRC staff report dated October 19, 2020. Development of the property with nine townhome units over two separate townhome buildings is consistent with the City's Comprehensive Plan & with the property's PUD zoning requirements.

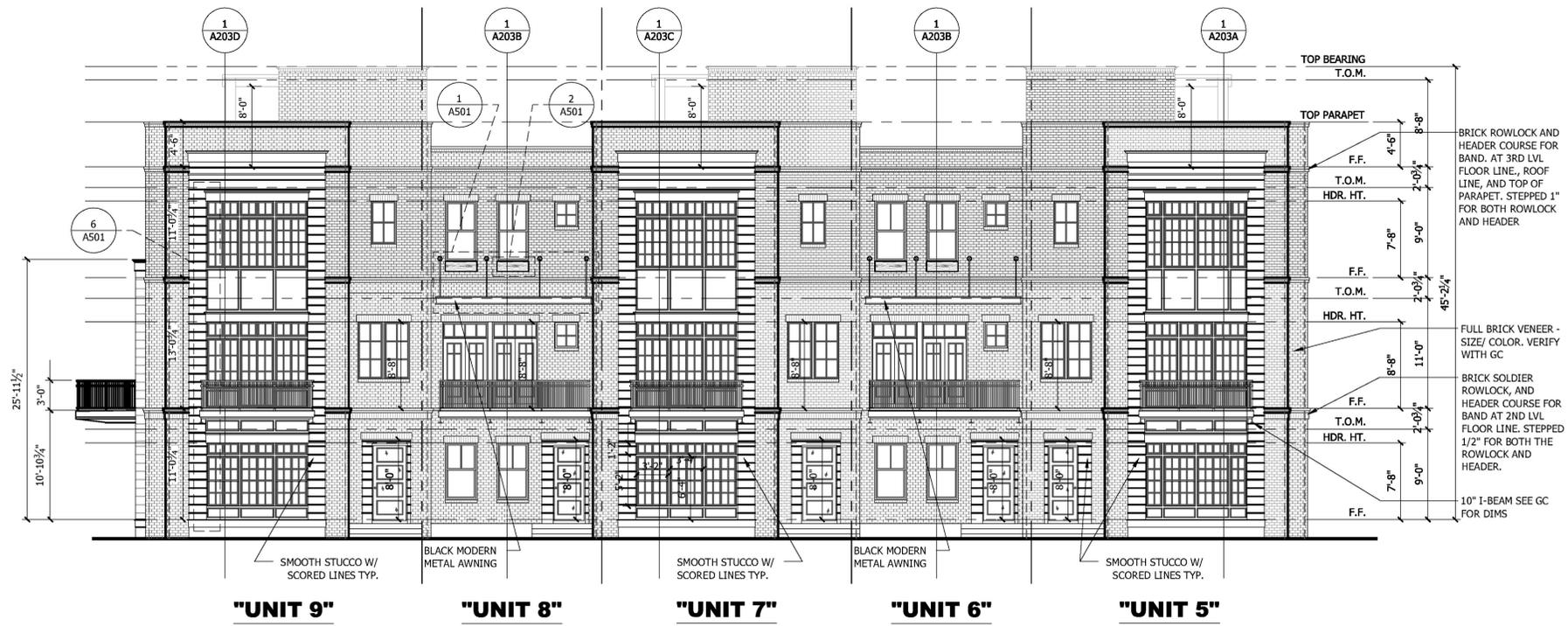
Attachment(s)/References:

Location Map
DRC Staff Report
Construction Plan Set
Building Elevations

LOCATION MAP

30 N Park Construction Plan Set

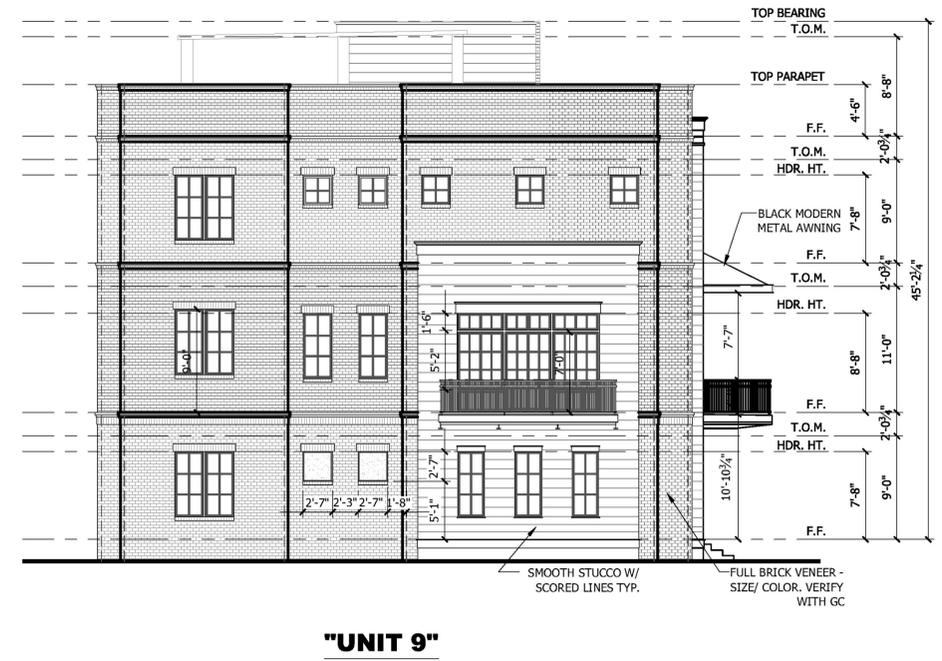




"UNIT 9" "UNIT 8" "UNIT 7" "UNIT 6" "UNIT 5"

FRONT ELEVATION

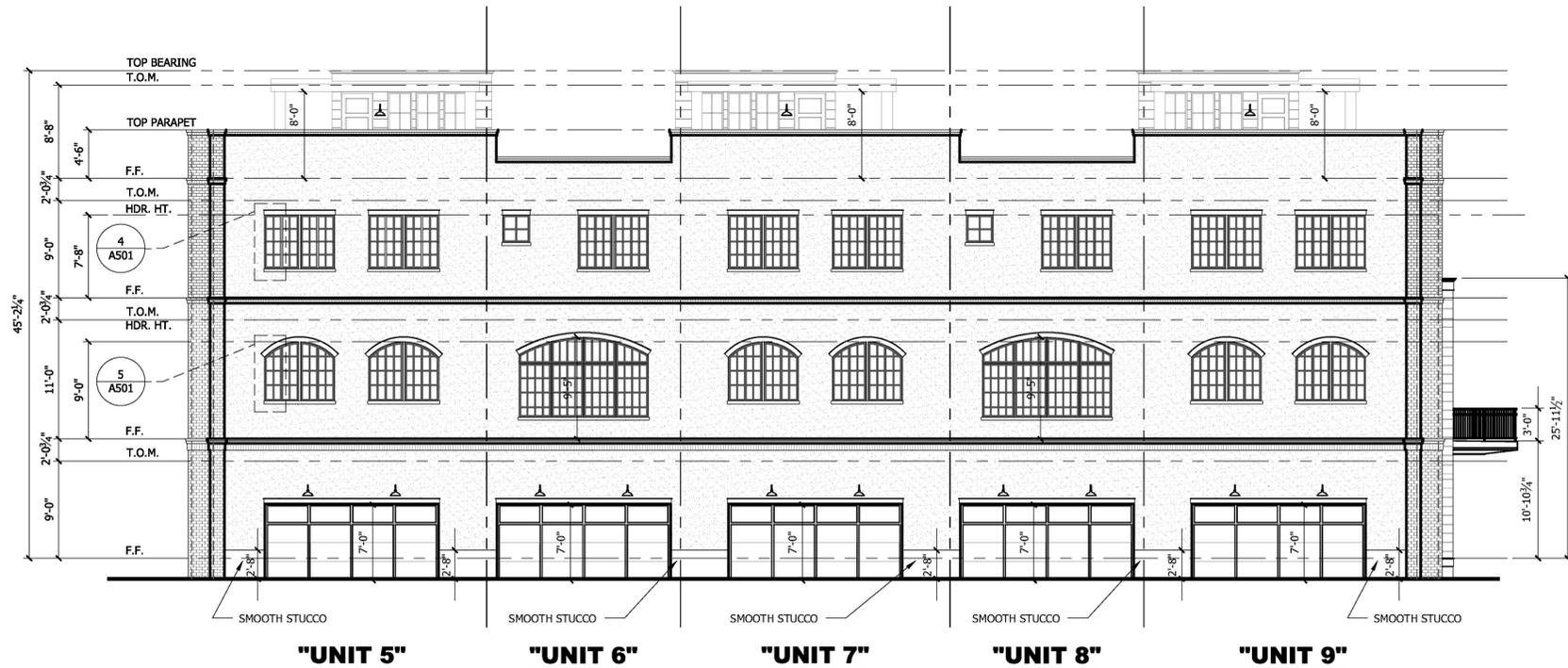
SCALE: 1/8"=1'-0"



"UNIT 9"

LEFT ELEVATION

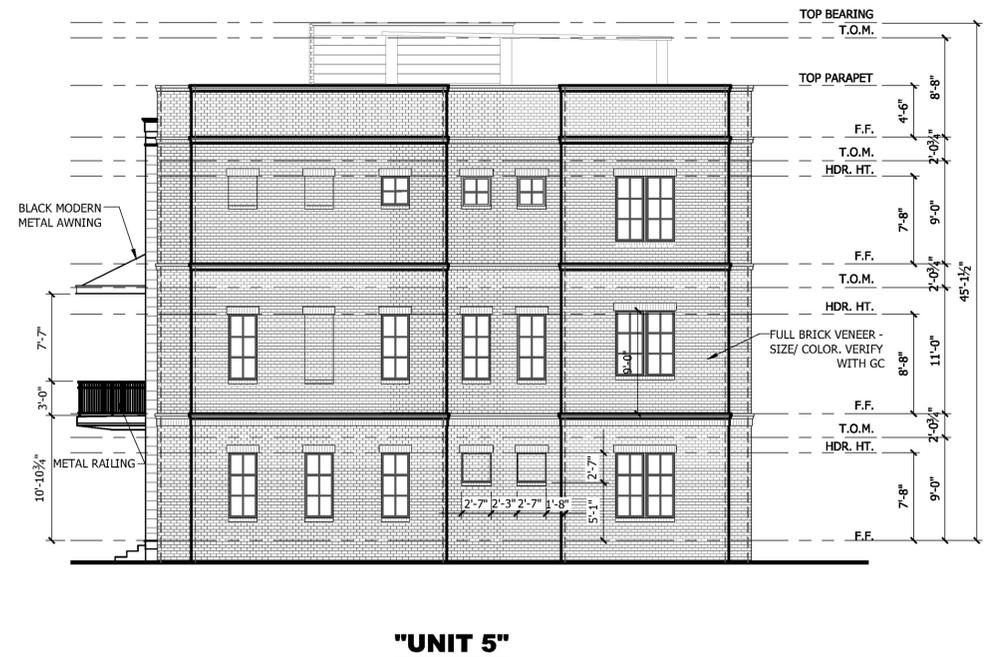
SCALE: 1/8"=1'-0"



"UNIT 5" "UNIT 6" "UNIT 7" "UNIT 8" "UNIT 9"

REAR ELEVATION

SCALE: 1/8"=1'-0"

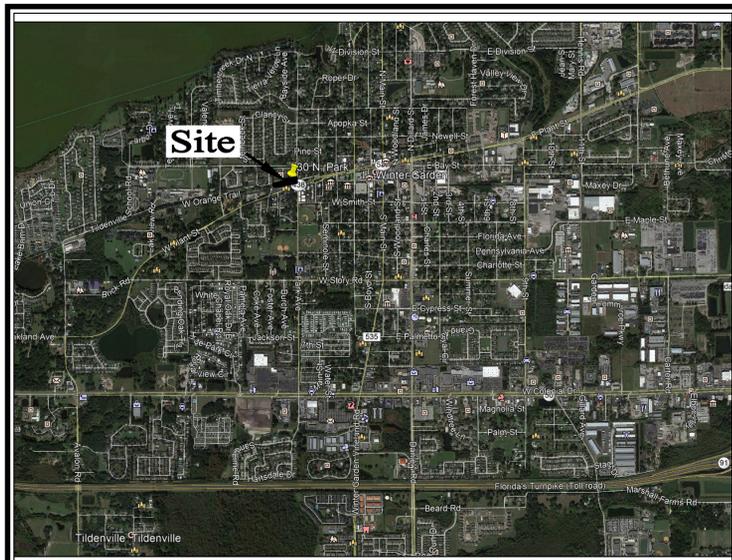


"UNIT 5"

RIGHT ELEVATION

SCALE: 1/8"=1'-0"

Vicinity Map 1" = 2,000'



Location Map 1" = 400'



Notes

Legal Descriptions: (OVERALL PARCEL)
 A parcel of land lying in Section 22, Township 22 South, Range 27 East, Orange County, Florida, being a portion of the land described in Official Records Book 5017, Pages 3567 through 3586, Public Records of Orange County Florida
 Being more particularly described as follows:

Commencing at the Southeast corner of the Northeast 1/4 of Section 22, Township 22 South, Range 27 East, Orange County, Florida, run North 00°02'23" East for a distance of 2,288.96 feet along the East boundary of said Northeast 1/4 to a point on the Northerly right-of-way line of the former Tavares and Gulf Railroad as described and recorded in Deed Book 104, Page 407, Public Records of Orange County, Florida for the said point also being on the Southerly right-of-way line of the former Orange Belt Railway Company Railroad as described and recorded in Deed Book 40, Page 275, Public Records of Orange County, then departing aforesaid East boundary line of Section 22, run South 79°45'29" West along said Southerly right-of-way line for a distance of 30.49 feet to a point on the West right of way line for a distance of 411.94 feet to the point on a non tangent curve, concave Northerly having a radius of 600.00 feet, with a chord bearing of South 89°01'39" West, and a chord distance of 38.99 feet, then run Westerly through a central angle of 03°43'26" along the arc of said curve for a distance of 39.00 feet to a point of reverse curvature of a curve; concave Southerly having a radius of 600.00 feet and a central angle of 06°34'16" with a chord bearing of South 87°36'14" West, and a chord distance of 34.33 feet; then run Westerly along the arc of said curve for a distance of 68.81 feet to a point on a non tangent line; then run North 10°14'31" East for a distance of 50.82 feet; then run North 79°45'29" East for a distance of 242.87 feet; then run North 00°02'23" East for a distance of 50.82 feet; then run North 79°45'29" East a distance of 284.76 feet to a point on the West right of way line of aforesaid North Park Avenue; then run South 00°02'23" West along said West right of way line for a distance of 101.63 feet to the POINT OF BEGINNING.

Containing 39486.81 square feet or 0.91 acres, more or less.

Parcel ID's: 22-22-27-0000-00-090 & 22-22-27-0000-00-117

Addresses: 30 N. Park Ave., Winter Garden, FL 34787;

Variance Requests:

- Section 118-923 - minimum common recreation and open space.
 For a residential planned unit development, the minimum common recreation and open space shall be 20 percent of gross site acreage. The term "common recreation and open space" shall be defined as the total amount of improved usable area, including outdoor space, permanently set aside and designated on the site plan as recreational or open space for use by residents of the pud. Such usable space may be in the form of active or passive recreation areas, including but not limited to playgrounds, golf course, water frontage, nature trails, lakes, and wetland areas.
 Request that minimum common recreation and open space be defined as shown.
- Section 118-924 c - minimum lot area, frontage and setbacks.
 The minimum distance between structures and side yards shall be as follows: for townhouses, unplatted residential development, commercial development, and all development other than single-family platted lots, the distance between structures shall be as follows: between structures of 20 feet in height or less: 15 feet; between structures of 20 and 30 feet in height: 20 feet; between structures of 30 feet and 40 feet in height: 25 feet; between structures over 40 feet in height: 40 feet, plus five feet for each additional ten feet of height or fraction thereof over 40 feet;
 Request that the minimum distance between structures be defined as shown
- Section 118-924 d - minimum lot area, frontage and setbacks.
 a minimum 25-foot yard shall be required from the nearest part of any building wall to the edge of any public right-of-way or private street, and all structures shall have a minimum 20-foot rear yard, a minimum 25-foot yard shall be maintained between the walls of all structures and the perimeter of the pud. additional perimeter yard requirements for multistory buildings shall be figured at five additional feet for each ten feet of height over the first story.
 Request that buffer yard and setbacks be defined as shown

Utilities

<p>Drinking Water City of Winter Garden 300 W. Plant St. Winter Garden, FL 34787 407-656-4111</p>	<p>Electric Duke Energy PO Bx 1004 Charlotte, N.C. 28201 866-372-4663</p>
<p>Sanitary Sewer City of Winter Garden 300 W. Plant St. Winter Garden, FL 34787 407-656-4111</p>	<p>Phone/Cable Spectrum 894 Maguire Road Ocoee, FL 34761 407-291-2500</p>
<p>Reclaim Water City of Winter Garden 300 W. Plant St. Winter Garden, FL 34787 407-656-4111</p>	<p>Call Sunshine Before You Dig 1-800-432-4770</p>
<p>Gas Lake Apopka Natural Gas 1320 Winter Garden Vineland Rd. Winter Garden, FL 34787 407-656-2734</p>	<p>Team Notes: Architect: Contractor to ensure the latest architectural plans are used and there is no conflict between the civil plans and architectural plans. Surveyor: Contractor to ensure survey & civil plans use the same datum and benchmark prior to construction. Survey control to be maintained at all times. Geotech: Latest geotechnical report and its recommendations is incorporated as part of these plans, and must be followed strictly by contractor. Should any conflicts arise between geotechnical report and these plans, contractor to bring to the engineer's attention and the more strict requirement should be followed.</p>
<p>Garbage Disposal City of Winter Garden 300 W. Plant St. Winter Garden, FL 34787 407-656-4111</p>	

Project Team

<p>Owner / Developer 30 N. Park, LLC Joe Hoffer 525 W. Plant St. Winter Garden, FL 34787 Ph: 407-558-8166 joe@eynergreen.com</p>	<p>Civil Engineer/Agent Denham Engineering, LLC Brian Denham, P.E. 710 N. Lake Formosa Dr. Orlando, FL 32803 Ph: 407-217-3487 brian@denhameng.com</p>
<p>Surveyor Allen & Company Jim Rickman, PLS 16 E. Plant Street Winter Garden, FL 34787 Ph: 407-654-5355 jim@allen-company.net</p>	<p>Geotechnical Engineer GBC Chris Meyer, P.E. 919 Lake Baldwin Lane Orlando, FL 32814 Ph: 407-898-1818 cpmeyer@g-e-c.com</p>
<p>Architect ForeFront Architecture Mike Vitale 1230 Oakley Seever Dr., Suite 200 Clermont, FL 34711 Ph: 352-708-7001 x 7017 mikev@ff-ae.com</p>	<p>Landscape Architect Sustainability Design & Consulting, LLC Edward Crowley Windermere, FL Ph: 352-494-0488 edward@sustainabilitydesignandconsulting.com</p>
<p>Lighting Alera Engineering Group, LLC 13907 Caywood Pond Drive Windermere, FL 34786 Ph: 407-721-1146 Alera1399@gmail.com</p>	<p>Environmental Bio-Tech Consulting John Miklos 3025 East South Street Orlando, FL 32803 Ph: 407-894-5969 John@Bio-techconsulting.com</p>

Construction Plans

for

30 N. Park Town Homes

at Winter Garden

Not for Construction



Denham Engineering, LLC
15 Years
 2005 - 2020
 710 N. Lake Formosa Dr.
 Orlando, FL 32803
 Office - 407-217-5487
 Brian@DenhamENG.com
 www.DenhamENG.com

Owner:
30 N. Park, LLC
 525 W. Plant St.,
 Winter Garden, FL 34787

Project:
30 N. Park Town Homes at Winter Garden

Plan Set:
Construction Plans

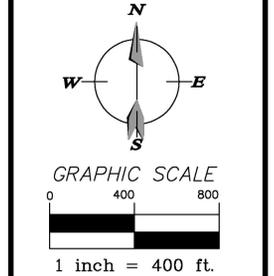
Sheet:
Cover Sheet

Revisions:

NO.	DATE	DESCRIPTION
1	04-30-20	Initial Issue
2	07-17-20	City of Winter Garden Submittal
3	08-28-20	Per City Comments
4	09-11-20	Per City Comments
5	09-29-20	Per City Comments
6	10-09-20	New Landscape Plan
7	10-15-20	Remove sidewalk to trail per owner
8		

Plans not valid unless Signed, Dated and Sealed below.

J. Brian Denham, P.E.
 Date: 10-15-20
 FL Registration #58008
 Certificate of Authorization #29666



Sheet Number:
C101

Drawing Index

No.	Title	Revised
△ C101	Cover	10-15-2020
△ C102	Symbols & Abbreviations	04-30-2020
△ C201	Demolition & Erosion Control Plan	07-17-2020
△ C301	Dimension Plan	10-15-2020
△ C401	Drainage Plan	10-15-2020
△ C501	Grading Plan	10-15-2020
△ C601	Utility Plan	10-15-2020
△ C701	Notes 1 - General	08-28-2020
△ C702	Notes 2 - General	04-30-2020
△ C703	Notes 3 - City	04-30-2020
△ C704	Details - 1 - City Water	04-30-2020
△ C705	Details - 2 - City Sanitary	04-30-2020
△ C706	Details - 3 - City Reuse	04-30-2020
△ C707	Details - 4 - City Roadway 1	04-30-2020
△ C708	Details - 5 - City Roadway 2	04-30-2020
△ C709	Details - 6 - City Miscellaneous	08-28-2020
△ C710	Details - Site 1	04-30-2020
△ C711	Details - Site 2	04-30-2020
△ EL1	Photometric Plan (EL1)	09-11-2020
△ EL2	Photometric Cut Sheets (EL2)	09-11-2020
△ LP100	Tree Preservation Plan	09-11-2020
△ LP101	Landscape Plan & Details	10-09-2020
△ LP101	Irrigation Plan & Details	09-11-2020
△ S101-3	Boundary & Topographic Survey -Site	07-28-2020
	FDOT Details By Reference Only (latest versions):	102, 200, 201, 232, 300, 304, 310, 17346, 17355

ABBREVIATIONS

A	AREA ANCHOR BOLT ASD ACRE(S) AC-FT ADDITIONAL ADOL ADT AL ALT AM AMP APPROX ARV ARV ASPH ASBY AVE AVG AZ	F	FRAME AND COVER FLOOR DRAIN FOUNDATION FL FF FG FH FL FIG FIN FIT FL FLR FLX FLG FM FND FPH FPM FPS FT FTG	P	POINT OF CURVATURE POINT OF COMPOUND CURVATURE POLYETHYLENE PIPE PROFILE GRADE POINT POINT OF INTERSECTION PROPERTY LINE POINT OF BEGINNING PUSH ON JOINT POWER POLE PHONE RISER PRC PRESURE PROJECT POINT OF REVERSE CURVATURE PRESURE PROP POINT OF REVERSE VERTICAL CURVE POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POINT OF TANGENCY POLYVINYL CHLORIDE PAVEMENT POWER
B	BACKFLOW PREVENTER BLDG BLVD BN BND BO BOC BOT BRG BS BV	G	GAL GALV GM GPD GPH GPM GPR GR GRD GRP GV GVMB GWT	Q	FLOW RATE
C	CAPACITY CATCH BASIN CC CEM CF CFM CFS CMG CI CIP CJ CL CLP CLR CLB CM CMP CMPA CND CO COL COMP CONC CONN CONST CONT COORD COR CPLG CPS CS CTG CTR CTV CULV CY CYL	H	HOSE BIBB HDPE HOW HORIZ HP HR HT HW HWL HWH HYD	S	SOUTH SANITARY SEWER SPLASH BLOCK SCHEDULE SIDE DRAIN SHELF DRAIN SOUTHHEAT SECONDS SECTION SHEET SEASONAL HIGH GROUND WATER TABLE SHOULDER SIMILAR SETBACK LINE SLOPE SHEET METAL SPECIFICATION(S) SQUARE SQUARE INCHES SQ FT SQUARE FOOT/FEET SQUARE YARD(S) STATE ROAD SS ST STANDARD STD STL STR STR SUP SUSP SVC SW SWK SYM SYMM SYS
D	DOUBLE DEG OR ° DEFL DEPT DET DHWL DI DIA DIAG DIM DIP DISCH DIST DMH DN DRI DWG DRIVEWAY	I	INTERSTATE HIGHWAY IA ID IF IN INCHES INLET INSERT INST IP IRON ROD INT INV	T	TANGENT TURFBLOCK TOP AND BOTTOM TEMPORARY BENCHMARK TIME OF CONCENTRATION TRENCH DRAIN TOTAL DYNAMIC HEAD TECHNICAL/TECHNICAL TEMP TERMINAL LAMP/HOLE TOP OF BANK TOP OF CURB TOP OF SLOPE TOTAL TOP OF SLOPE TOWNSHIP TYPICAL
E	EAST EACH EC ED EF EFF EG EL ELB ELVC ELVY ELLIP ENC ENR EOP EQ EQUIP EQUIV ESMT ESTIMATE EW EWL EXC EXIST EXP EXT	J	JOINT JUNCTION BOX JOB JT	U	UNDERDRAIN UNDERGROUND UNLESS OTHERWISE NOTED UNDERGROUND TELEPHONE CABLE
F	FLOOR FINISHED FLOOR FINISHED GRADE FURNISH AND INSTALL FIGURE FINISHED FITTING FENCE LINE FLOOR FLEXIBLE FLOOR FLANGE FORCE MAIN FOUND FEET PER HOUR FEET PER MINUTE FEET PER SECOND FEET/FOOT FOOTING	L	LENGTH LATITUDE LATERAL LB LF LG LM LP LONG LT LVL	V	VALVE BOX VERTICAL CURVE VERTIFIED CLAY PIPE VERTICAL VERTICAL POINT OF CURVE VERTICAL POINT OF INTERSECTION VERTICAL POINT OF TANGENCY
G	GALLON GALVANIZED GAS MAIN GALLONS PER DAY GALLONS PER HOUR GALLONS PER MINUTE GALLONS PER SECOND GUARD RAIL GROUND GRADE GALVANIZED STEEL PIPE GATE VALVE GATE VALVE AND BOX GROUND WATER TABLE	M	MAINTENANCE MATERIAL MAXIMUM MECHANICAL MITERED END MFR MFG MH MHC MHWL MINIMUM MISC MECHANICAL JOINT METAL LIGHT POLE MEAN LOW WATER LEVEL MONUMENT MILES PER HOUR MEAN SEA LEVEL MOUNTING	W	WEST WITH WATER MAIN WITHOUT WATERWEATHER PROOF WOOD POWER POLE WATER SURFACE WET BEAKIN WATER TABLE WEIGHT WATER VALVE WELDED WIRE FABRIC WELDED WIRE MESH
H	HIGH DENSITY POLYETHYLENE HARDWARE HORIZONTAL HORSEPOWER HOUR HEIGHT HEADWALL HIGH WATER LEVEL HIGHWAY HYDRAULIC	N	NORTH NORTH NA NBC NE NG NIC NO OR # NOM NTS NW NWL	Y	YARD YEAR
I	INTERSECTION ANGLE INSIDE DIAMETER INSIDE FACE INCHES INLET INSERT INSTALL IRON PIPE IRON ROD INTERSECT/INTERSECTION INVERT	O	ON CENTER OUTSIDE DIAMETER OR EQUAL OPENING OPPOSITE OVAL REINFORCED CONCRETE PIPE OUTFALL STRUCTURE OVERFLOW OVERHEAD	Z	ZONE
J	JUNCTION BOX JOB JT	P	POINT OF CURVATURE POINT OF COMPOUND CURVATURE POLYETHYLENE PIPE PROFILE GRADE POINT POINT OF INTERSECTION PROPERTY LINE POINT OF BEGINNING PUSH ON JOINT POWER POLE PHONE RISER POINT OF REVERSE CURVATURE PRESURE PROJECT POINT OF REVERSE VERTICAL CURVE POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POINT OF TANGENCY POLYVINYL CHLORIDE PAVEMENT POWER	MISC	AND AT DELTA

EXISTING SYMBOLS

SYMBOLS MAY VARY DEPENDING UPON SURVEYOR'S STANDARD SYMBOLS

LINES			
	CENTER LINE		BUILDING LINE
	WIRE FENCE		CONTOURS
	CHAIN LINK FENCE		RAILROAD TRACKS
	WOOD FENCE		GAS MAIN
	GUARDRAIL		UNDERGROUND ELECTRIC
	EXISTING PLATS		UNDERGROUND TELEPHONE
	RETAINING WALL		OVERHEAD ELECTRIC
	RIGHT-OF-WAY LINE		OVERHEAD TELEPHONE
	SHORELINE		UNDERGROUND CABLE TELEVISION
	SWALE		EASEMENT
SANITARY			
	SANITARY SEWER LINE		FORCE MAIN
	CLEANOUT		MANHOLE
WATER & REUSE WATER			
	WATER MAIN 6" PVC PIPE		WATER VALVE
	REUSE WATER MAIN		FIRE HYDRANT
	BACKFLOW PREVENTOR		WATER METER
STORM DRAIN			
	STORM SEWER		FDOT TYPE 1 INLET
	MANHOLE		FDOT TYPE 2 INLET
	MITERED END		FDOT TYPE 3 INLET
	STORM INLET		FDOT TYPE 4 INLET
	FDOT TYPE 6 INLET		FDOT TYPE 5 INLET
HIGHWAY & UTILITIES			
	BENCHMARK		GUY POLE
	RECOVERED 4x4 CM		WOOD UTILITY POLE
	SET 4x4 CM		CONCRETE UTILITY POLE
	SET IRON ROD		ELECTRIC MANHOLE
	RECOVERED IRON ROD		TELEPHONE MANHOLE
	CONCRETE		TELEPHONE RISER
	COUNTY ROADS		ELECTRIC BOX / TRANSFORMER
	INTERSTATE ROADS		WELL
	STATE ROADS		MONITORING WELL
	WOOD AND/OR METAL LIGHT POLE		DUMPSTER
	CONCRETE LIGHT POLE		RR CROSSING SIGN
	YARD LIGHT		RR CROSSING GATE
	MISCELLANEOUS SIGN		TRAFFIC SIGNAL POLE
	SECTION CORNER		SATELLITE DISH
	EDGE OF PAVEMENT W/O CURB		GUY WIRE
	EDGE OF PAVEMENT W/CURB		POINT
			HANDICAP PARKING
			SPOT ELEVATION

PROPOSED SYMBOLS

LINES		STORM DRAIN	
	BOUNDARY		100 LINEAR FEET STORM PIPE 24" REINFORCED CONCRETE PIPE @ 0.20%
	CONSERVATION SETBACK		UNDERDRAIN 6" PVC PIPE
	CENTER LINE		DRAINAGE FLOW DIRECTION
	CHAIN LINK FENCE		FDOT INLET TYPE 1
	CONTOUR		FDOT INLET TYPE 2
	EASEMENT		FDOT INLET TYPE 3
	FENCE		FDOT INLET TYPE 4
	GUARDRAIL		FDOT INLET TYPE 5
	LOT LINE		FDOT INLET TYPE 6
	PROPERTY LINE		FDOT INLET TYPE 9
	RETAINING WALL		MANHOLE
	RIGHT-OF-WAY LINE		MITERED END SECTION
	SETBACK LINE		ENERGY DISSIPATOR
	SHORELINE		SLOPE DIRECTION ARROW FOR POND SIDE SLOPE
	SWALE		SPOT ELEVATION
	TREE LINE		FDOT INLET TYPE "C" OR "E"
SANITARY		HIGHWAY & UTILITIES	
	100 LINEAR FEET SANITARY 8" PVC PIPE @ 0.40% SLOPE		BOUND CORNER
	CLEANOUT		CONCRETE
	DOUBLE SANITARY SERVICE		COUNTY ROADS
	FORCE MAIN		DETAIL REFERENCE
	MANHOLE		DUMPSTER PAD
	WATER MAIN		FINISHED FLOOR ELEVATION W/ FHA LOT TYPE
	WATER VALVE		GUY POLE
	FIRE HYDRANT		HANDICAP PARKING
	WATER METER		INTERSTATE ROADS
	11 1/2' BEND		LIGHT POLE
	12 1/2' BEND		SIGNS
	45' BEND		SECTION CORNER
	90' BEND		STATE ROADS
	TEE		SILT FENCE
	CROSS		TRAFFIC FLOW PAVEMENT MARKING
	CHECK VALVE		UTILITY POLE
	DOUBLE DETECTOR CHECK VALVE		BLDG OR STRUCTURE
	GATE VALVE		TYPE F CURB & GUTTER
	FIRE HYDRANT		MIAMI CURB
	METER		CROSS SECTION DETAIL
	REDUCER		
	BLOWOFF		
	BACKFLOW PREVENTER		
	SAMPLE POINT		
	UNDERDRAIN CLEANOUT		
	REUSE WATER SYSTEM CONNECTION		
	DOUBLE REUSE WATER SERVICE		

Ephesians 6:11-17

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30 N. Park, LLC
 525 W. Garden St.,
 Winter Plant, FL 34787

Project:
30 N. Park Town Homes at Winter Garden

Plan Set:
Construction Plans

Sheet:
Symbols & Abbreviations

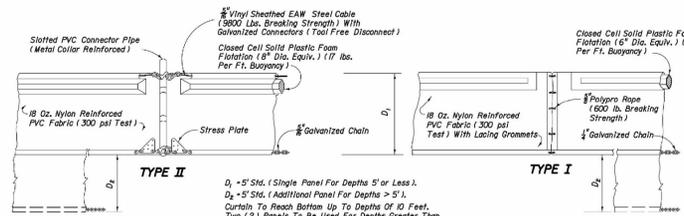
NO.	DATE	DESCRIPTION
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GRAPHIC SCALE
 0 20 40
 N.T.S.

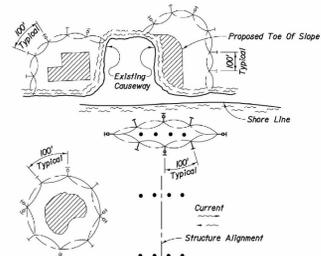
Sheet Number
C102



TYPE II
 D₁ - 5" Dia. (Single Panel For Depth 5' or Less).
 D₂ - 5" Dia. (Additional Panel For Depth 5' to 8').
 Curtain To Reach Bottom Up To Depth Of 10 Feet.
 Two (2) Panels To Be Used For Depths Greater Than 10 Feet (Unless Specific Depth Curtains Specified) For In The Plans Or As Determined By The Engineer.

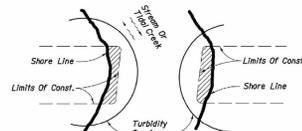
NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

FLOATING TURBIDITY BARRIERS



LEGEND

- Pile Locations
- ▨ Dredge Or Fill Area
- Mooring Buoy w/Anchor
- Anchor
- Barrier Movement Due To Current Action



NOTES:

1. Turbidity barriers are to be used in all permanent bodies of water regardless of water depth.
2. Number and spacing of anchors dependent on current velocities.
3. Deployment of barrier around pile locations may vary to accommodate construction operations.
4. Navigation may require segmenting barrier during construction operations.
5. For additional information see Section 104 of the Standard Specifications.

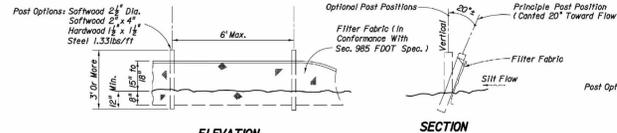
TURBIDITY BARRIER APPLICATIONS

Note:

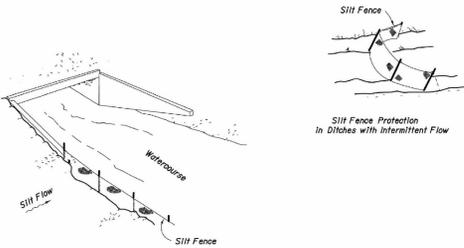
Turbidity barriers for flowing streams and tidal creeks may be either floating, or staked types or any combination of types that will suit site conditions and meet erosion control and water quality requirements. The barrier type(s) will be at the Contractor's option unless otherwise specified in the plans, however payment will be under the pay item(s) established in the plans for Floating Turbidity Barrier and/or Staked Turbidity Barrier. Posts in staked turbidity barriers to be installed in vertical position unless otherwise directed by the Engineer.

GENERAL NOTES

1. Floating turbidity barriers are to be paid for under the contract unit price for Floating Turbidity Barrier, LF.
2. Staked turbidity barriers are to be paid for under the contract unit price for Staked Turbidity Barrier, LF.



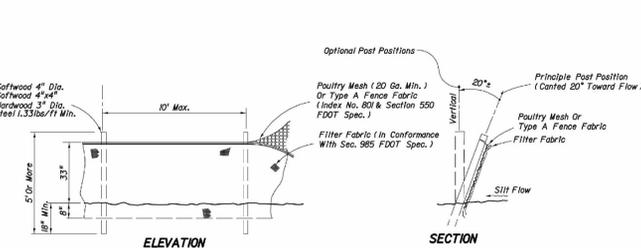
TYPE III SILT FENCE



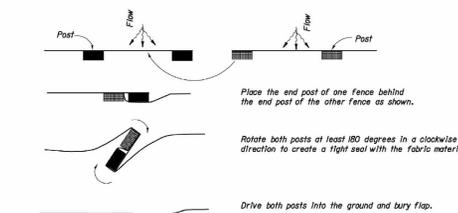
SILT FENCE APPLICATIONS

NOTES FOR SILT FENCES

1. Type III Silt Fence to be used at most locations. Where used in ditches, the spacing for Type III Silt Fence shall be in accordance with Chart 1, Sheet 1.
2. Type III Silt Fence to be used where large sediment loads are anticipated. Suggested use is where fill slope is 1:2 or steeper and length of slope exceeds 25 feet. Avoid use where the detained water may back into travel lanes or off the right of way.
3. Do not construct silt fences across permanent flowing watercourses. Silt fences are to be upland locations and turbidity barriers used at permanent bodies of water.
4. Where used as slope protection, Silt Fence is to be constructed on 0% longitudinal grade to avoid channelizing runoff along the length of the fence.
5. Silt Fence to be paid for under the contract unit price for Staked Silt Fence, LF.

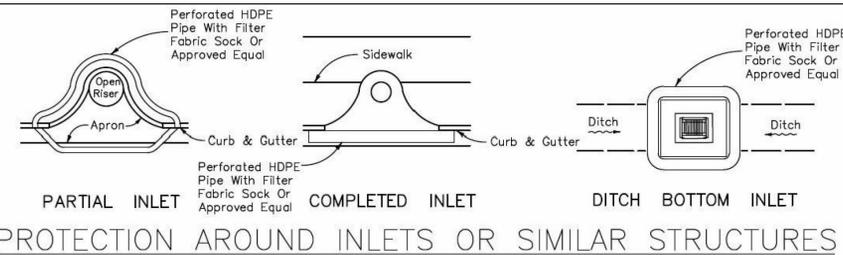


TYPE II SILT FENCE



JOINING TWO SILT FENCES

Not for Construction



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

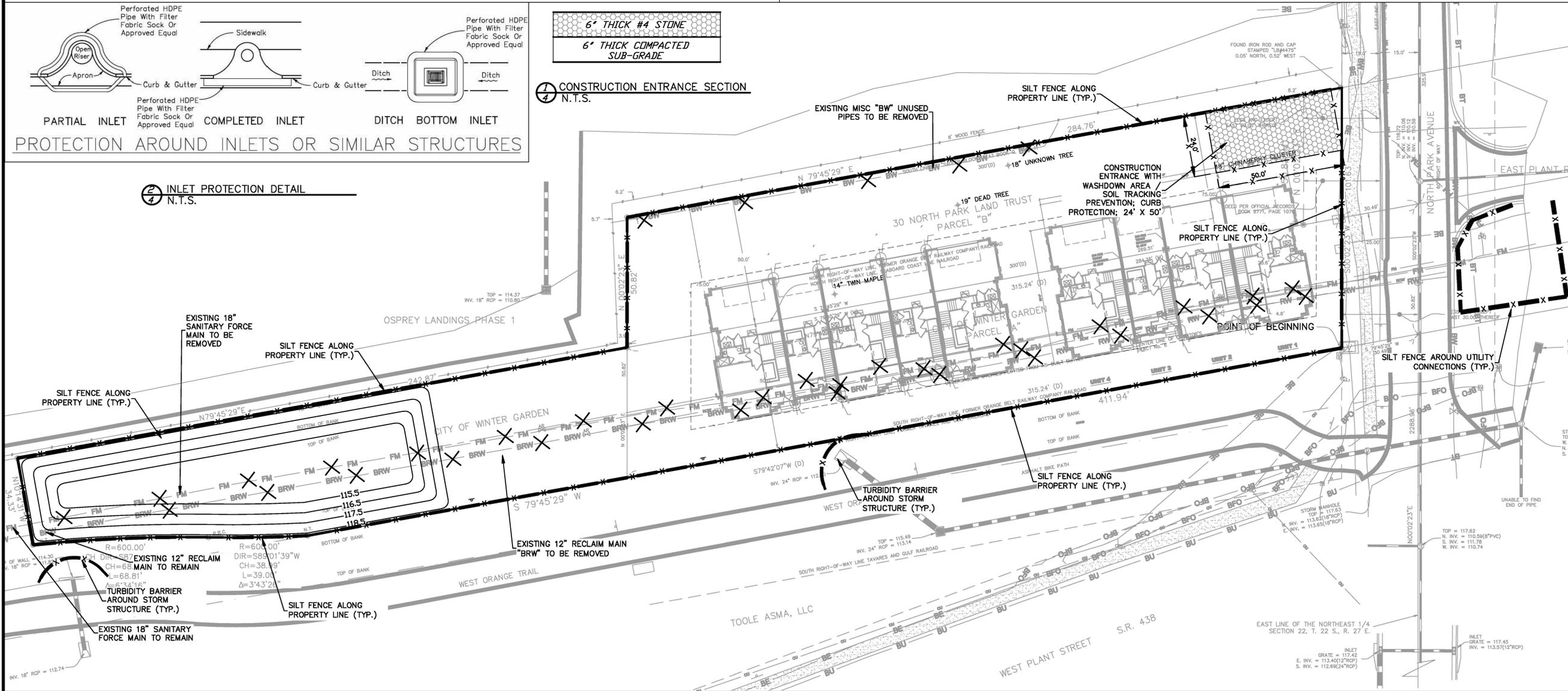
INLET PROTECTION DETAIL

N.T.S.



CONSTRUCTION ENTRANCE SECTION

N.T.S.



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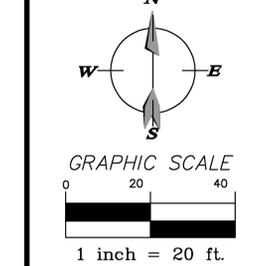
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Demolition & Erosion Control Plan

Revisions:

NO.	DATE	DESCRIPTION
1	04-30-20	Initial Issue
2		
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Sheet Number
C201

SITE DATA:

PARCEL ID: 22-22-27-0000-00-090 & 22-22-27-0000-00-117
 PROJECT AREA: 0.91 AC
 FUTURE LAND USE (EXISTING): MR
 FUTURE LAND USE (PROPOSED): MR
 ZONING (EXISTING): R-2
 ZONING (PROPOSED): PUD
 SURROUNDING LAND USE: SURROUNDING ZONING
 NORTH: MR NORTH: R-2
 WEST: MR WEST: R-3
 EAST: RDW & LR EAST: R-1B
 SOUTH: TRAIL, COM & MR SOUTH: R-2, R-NC

PROPOSED DEVELOPMENT:

PROPOSED USE: = 9 TOWN HOME UNITS
 TOTAL PROJECT AREA: = 0.91 AC
 DENSITY ALLOWED: = 10 DU/AC
 DENSITY PROPOSED: = 9.9 DU/AC
 TOTAL GROSS BUILDING AREA: = 9,500 SF
 FAR: = 0.24 < 0.50 MAX PERMITTED
 BUILDING HEIGHT: = 45 FT MAX (45 FT PROPOSED)
 BUILDING AREA: = 9,500 SF
 LIVING AREA MINIMUM: = 1,000 SF
 PAVED AREA: = 12,858 SF
 TOTAL IMPERVIOUS AREA: = 24,234 SF = 0.56 AC = 61.1%
 TOTAL PERVIOUS AREA: = 10,447 SF = 0.24 AC = 38.9%

SETBACK REQUIREMENTS:

MINIMUM BULD. SETBACKS:	PROPOSED:	REQUIRED:
EAST (FRONT, PARK AVE)	10 FEET	10 FEET
NORTH (SIDE)	30 FEET	30 FEET
SOUTH (SIDE, TRAIL, PLANT)	14 FEET	14 FEET
WEST (REAR)	25 FEET	25 FEET
BETWEEN BUILDINGS	20 FEET	20 FEET

OPEN SPACE:

OPEN SPACE REQUIRED: =20%
 OPEN SPACE PROVIDED: =20%

ACTIVE RECREATION SPACE:

SPACE REQUIRED = 5% X 0.91 = 0.455 AC = 1,982 SF
 SPACE PROVIDED = 1,040 SF (BETWEEN BUILDINGS)
 SPACE DEFICIT = 942 SF (TO BE PAID TO CITY RECREATION MITIGATION FEE BY OWNER)
 REFER TO LATEST LANDSCAPE PLAN FOR LOCATIONS.

PARKING REQUIREMENTS:

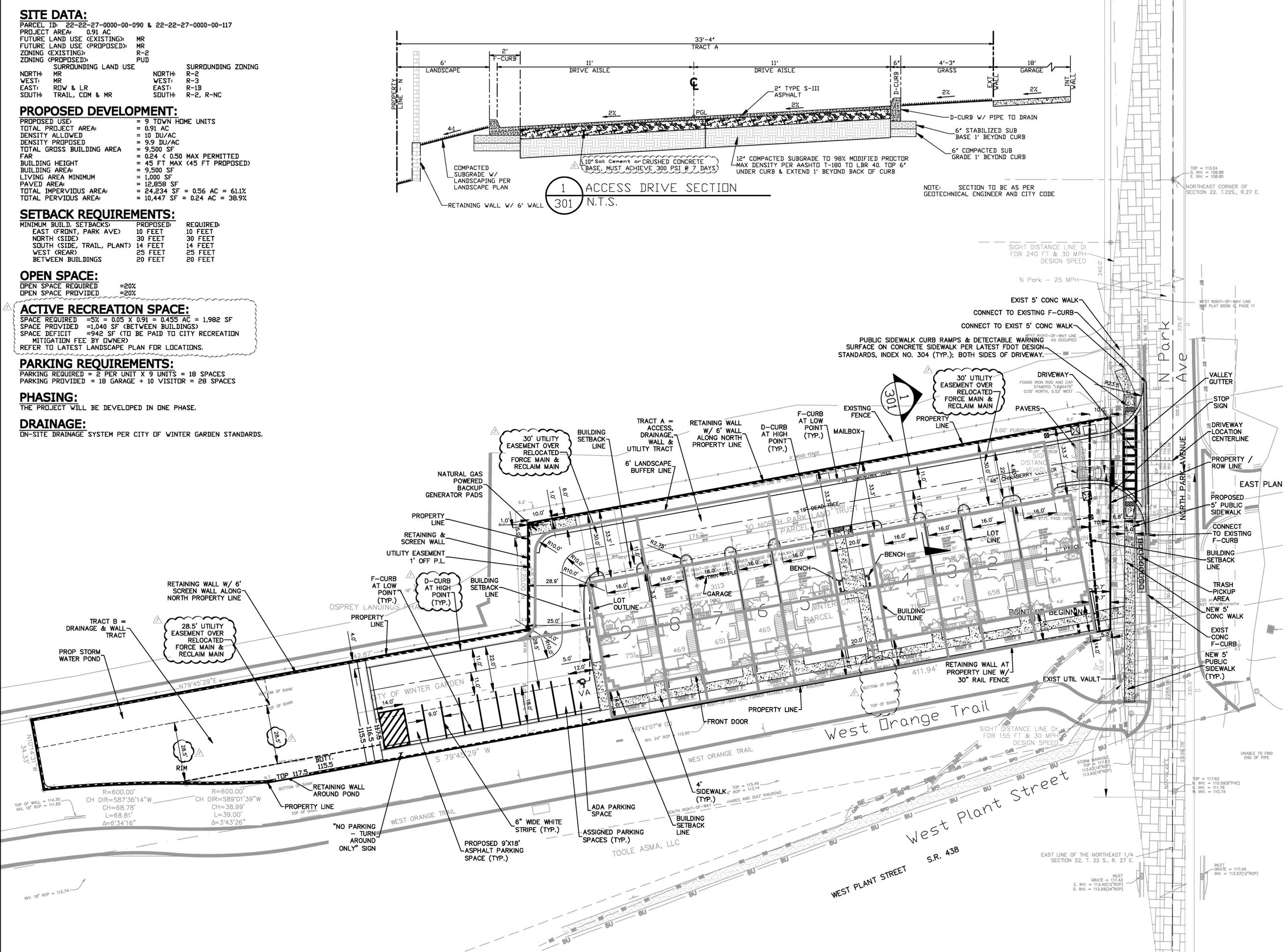
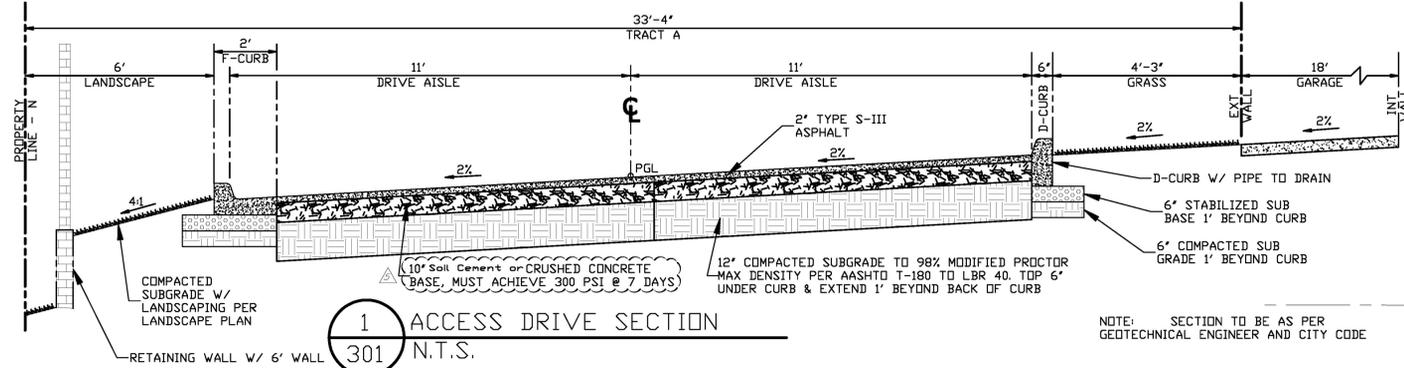
PARKING REQUIRED = 2 PER UNIT X 9 UNITS = 18 SPACES
 PARKING PROVIDED = 18 GARAGE + 10 VISITOR = 28 SPACES

PHASING:

THE PROJECT WILL BE DEVELOPED IN ONE PHASE.

DRAINAGE:

ON-SITE DRAINAGE SYSTEM PER CITY OF WINTER GARDEN STANDARDS.



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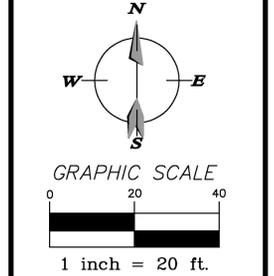
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Dimension Plan

Revisions:

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3	08-28-20	Per city comments
4	09-29-20	Per city comments
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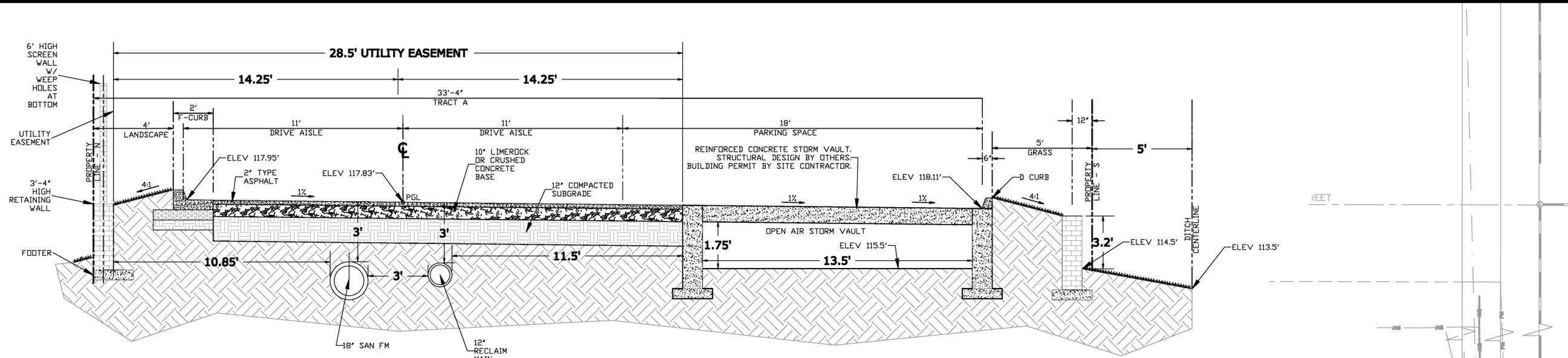
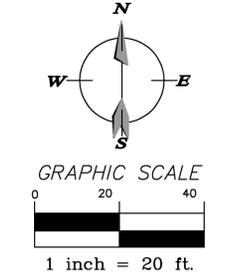
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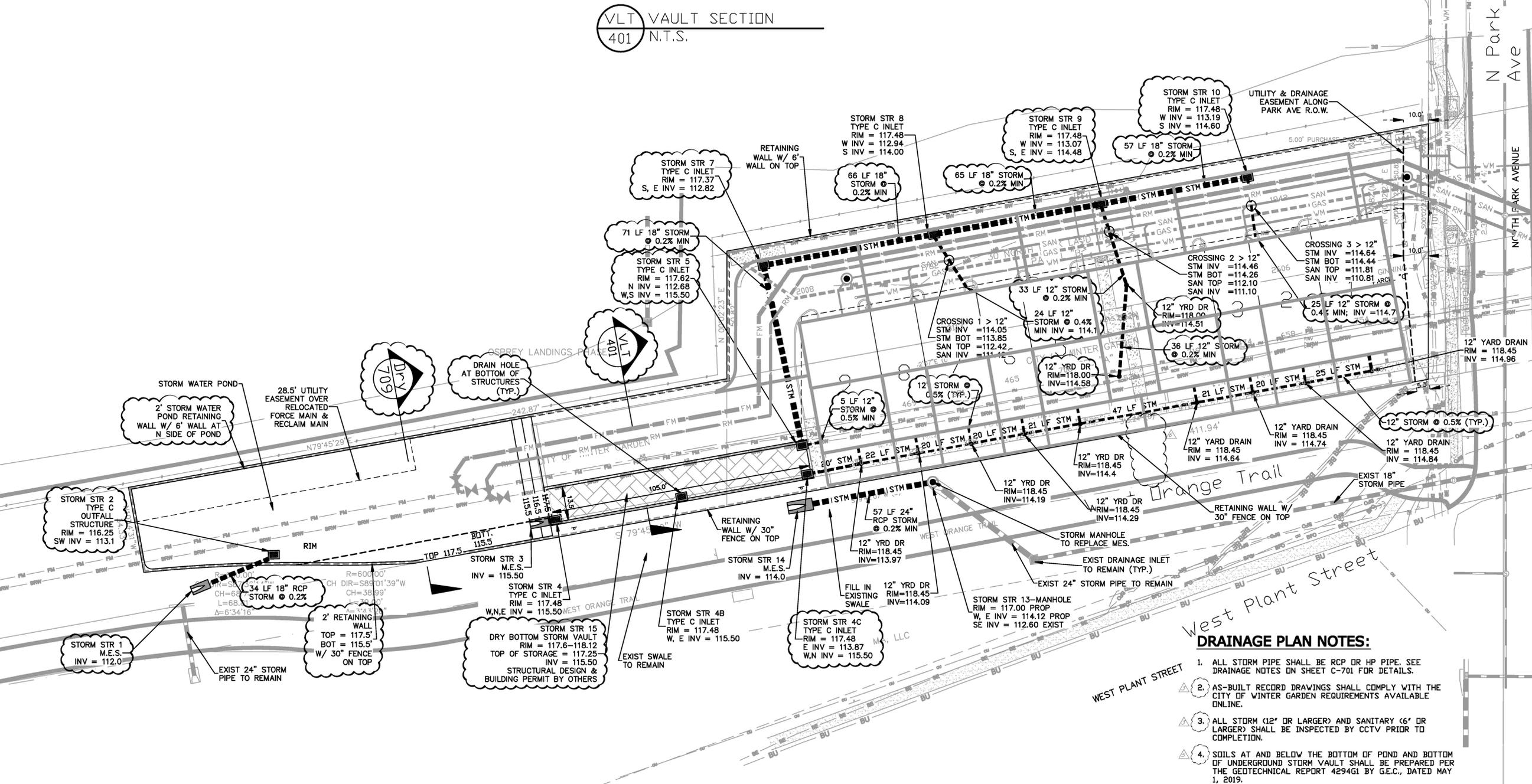
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VLT VAULT SECTION
 401 N.T.S.



- DRAINAGE PLAN NOTES:**
1. ALL STORM PIPE SHALL BE RCP OR HP PIPE. SEE DRAINAGE NOTES ON SHEET C-701 FOR DETAILS.
 2. AS-BUILT RECORD DRAWINGS SHALL COMPLY WITH THE CITY OF WINTER GARDEN REQUIREMENTS AVAILABLE ONLINE.
 3. ALL STORM (12" OR LARGER) AND SANITARY (6" OR LARGER) SHALL BE INSPECTED BY CCTV PRIOR TO COMPLETION.
 4. SOILS AT AND BELOW THE BOTTOM OF POND AND BOTTOM OF UNDERGROUND STORM VAULT SHALL BE PREPARED PER THE GEOTECHNICAL REPORT #294G1 BY G.E.C., DATED MAY 1, 2019.



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Homes at
Winter
Garden**

Plan Set:
**Construction
Plans**

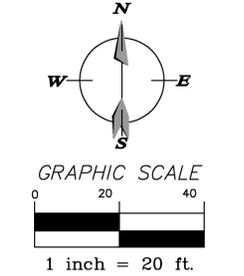
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**Grading
Plan**

Revisions:

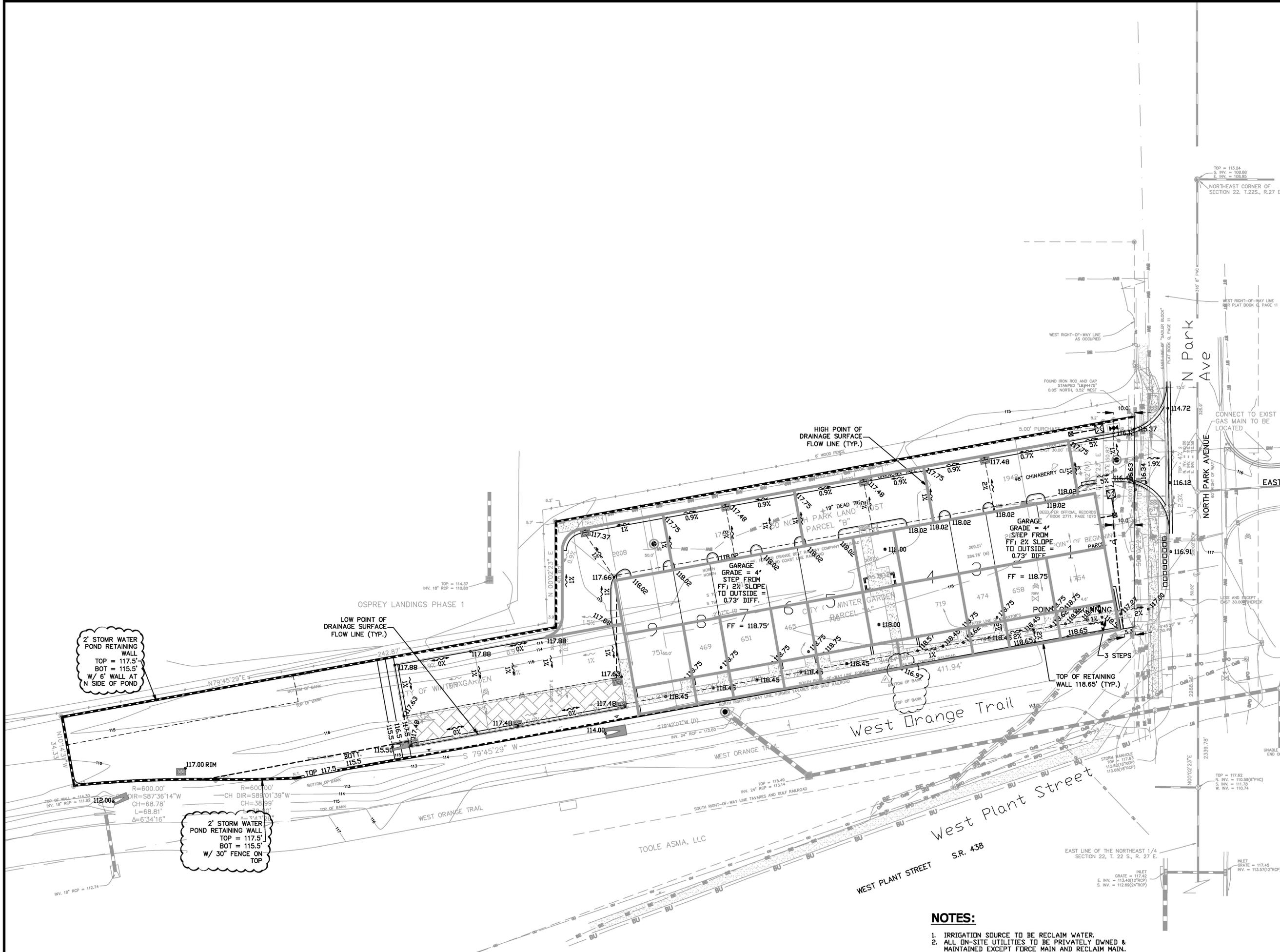
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Sheet Number:
C501



- NOTES:**
- IRRIGATION SOURCE TO BE RECLAIM WATER.
 - ALL ON-SITE UTILITIES TO BE PRIVATELY OWNED & MAINTAINED EXCEPT FORCE MAIN AND RECLAIM MAIN.



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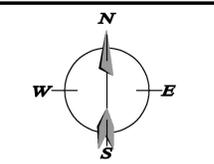
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**Utility
Plan**

Revisions:

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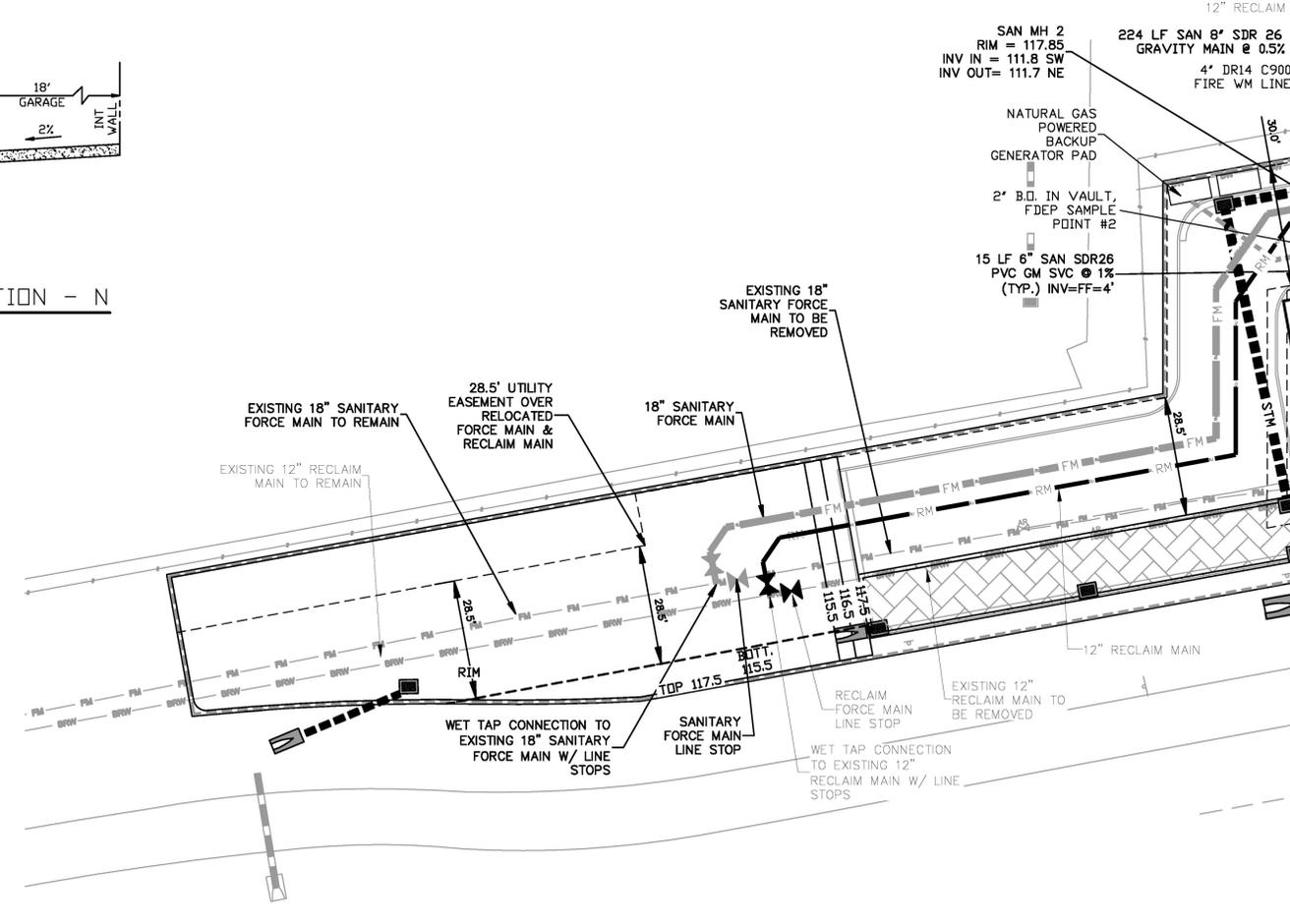
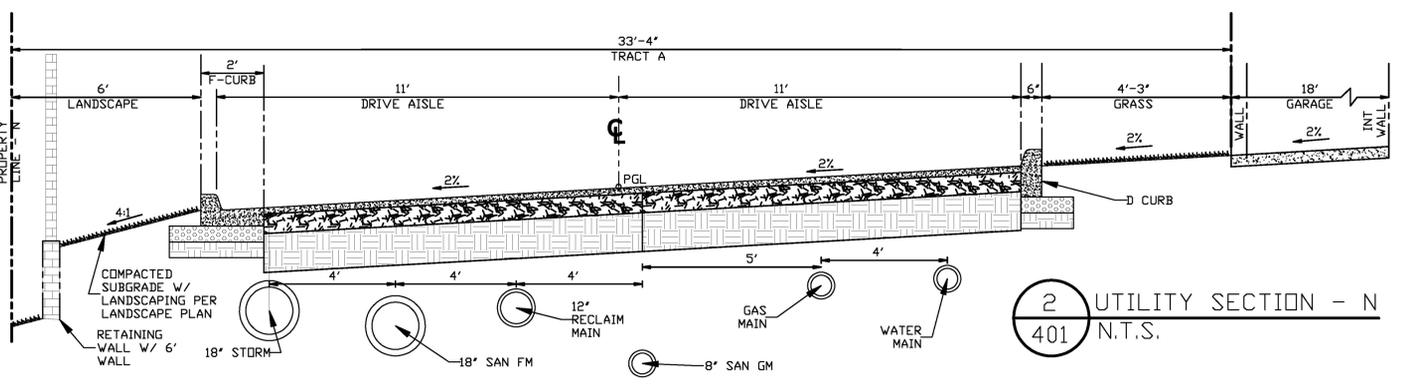
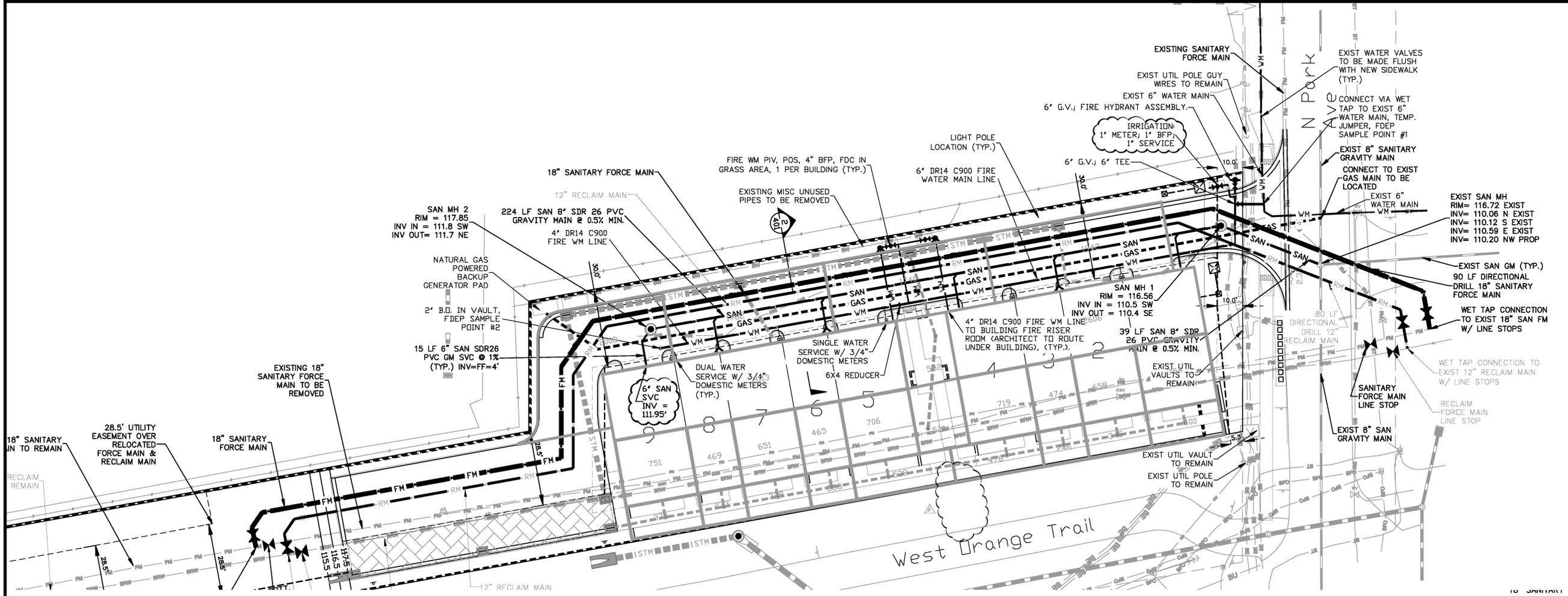
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GRAPHIC SCALE
0 20 40
1 inch = 20 ft.

Sheet Number
C601



- NOTES:**
- IRRIGATION SOURCE TO BE RECLAIM WATER.
 - ALL ON-SITE UTILITIES TO BE PRIVATELY OWNED & MAINTAINED EXCEPT 18" SANITARY FORCE MAIN AND 12" RECLAIM MAIN, WHICH WILL BE OWNED & MAINTAINED BY THE CITY OF WINTER GARDEN.
 - AS-BUILT RECORD DRAWINGS SHALL COMPLY WITH THE CITY OF WINTER GARDEN REQUIREMENTS AVAILABLE ONLINE.
 - ALL STORM (12" OR LARGER) AND SANITARY (6" OR LARGER) SHALL BE INSPECTED BY CCTV PRIOR TO COMPLETION.
 - ALL GRAVITY SANITARY PIPE AND FITTINGS TO BE SDR 26.

General Notes

- Contractor shall immediately notify the owner's representative of any discrepancies found between these plans, municipality specifications, the architectural plans, and/or field conditions prior to construction.
- All work shall be accomplished in accordance with the plans and specifications contained herein as well as separate municipality specifications book and/or otherwise required by applicable federal, state and local codes, ordinances, and regulations. It is the contractor's responsibility to obtain a copy of the municipality specifications book prior to any bidding, material orders or construction. In the event of a conflict between the requirements, the most stringent shall apply as determined by the owner's representative.
- Topographic information, boundary information and vertical control provided within these construction plans is taken from a survey by surveyor listed on the plans and can be obtained from the owner.
- Geotechnical investigation report can be obtained from the owner and/or geotechnical engineer as listed on the plans.
- Contractor shall comply with all permit conditions during construction. Dimensions shown are measured to/from the face of curb, property line, property corner, or face of building.
- Contractor shall stake all improvements using the dimension baseline and offsets provided on this sheet. It is the contractor's sole responsibility to completely stake and check all improvements to insure adequate positioning both horizontal and vertical, including minimum building setbacks, prior to the installation of any improvements.
- Locations of the proposed building shown on this plan are meant as a reference for constructing site improvements. The actual locations and dimensions of proposed building improvements shall be determined from the architectural plans and field located by a surveyor retained by the contractor.
- All parking striping & traffic arrows to be painted, unless in ROW, which will be thermoplastic. Cross walks to be of a material that contracts the asphalt pavement such as stamped, painted asphalt or concrete. Stop bars to be thermoplastic. Material certification shall be required for all paint and thermoplastic stating said materials do not contain lead.
- Baseline through parking areas to be established beginning at the BENCHMARK set by surveyor.
- All pavement markings to comply with the FDOT 2015 roadway and 2016 traffic design standards, 2009 manual of uniform control devices (MUTCD) and the municipality land development code.
- All disturbed areas within ROW shall be sodded to match existing. Coordinate with Landscape Plan.
- All areas disturbed during construction shall be stabilized with ground cover.
- The contractor shall be responsible for the restoration of any traffic equipment including but not limited to fiber, loop sensors, pull boxes, conduit, traffic signals, and cabinets. Any items damaged by the contractor will be restored to their original conditions unless otherwise agreed upon by the municipality engineer.
- Site lighting to be provided for by contractor per owner's and utility company's specifications as well as any applicable architectural drawings.
- Contractor to install the minimum requirements for vertical separation where ever existing or proposed utilities are to cross existing or proposed water mains.
- The contractor shall notify the city & county office 48 hours prior to any work within their respective ROW's.
- M.O.T. setup shall be supervised by a certified M.O.T. individual.
- All light poles and structures to be located in field by surveyor retained by contractor.
- Shop drawings to be provided by contractor to respective governing agencies and civil engineer for review prior to purchases and field installation.
- As-builts to be provided by contractor in autocad & PDF format on disc as well as on full size plans to respective governing agencies and Denham Engineering, LLC for review.
- Contractor to construct sidewalks along each lot in accordance with municipality standards. Location of sidewalk will vary as required by builder to maintain protection of existing trees.
- Sidewalk to be constructed by contractor in front of all tracts and at ADA ramp locations; by home builder in front of all homes at the time of individual lot development.
- The AHJ (Agency Having Jurisdiction) Standard Construction Details shall supercede in the event of conflicts with notes & details in these plans.
- Refer to the City Engineering Standards Manual, Land Development Code, and City Details. Note that the most stringent standards between the City standards and the standards set forth in the General Notes (as determined by the engineer of record or the City) should be followed.
- As-Builts need to be submitted to the City signed and sealed in accordance with Section 3.01.05 of the Engineering Standards Manual in the following formats:
 - Hard Copy
 - PDF Copy
 - CAD Copy drawn in State Plane Coordinates

Erosion Control Notes:

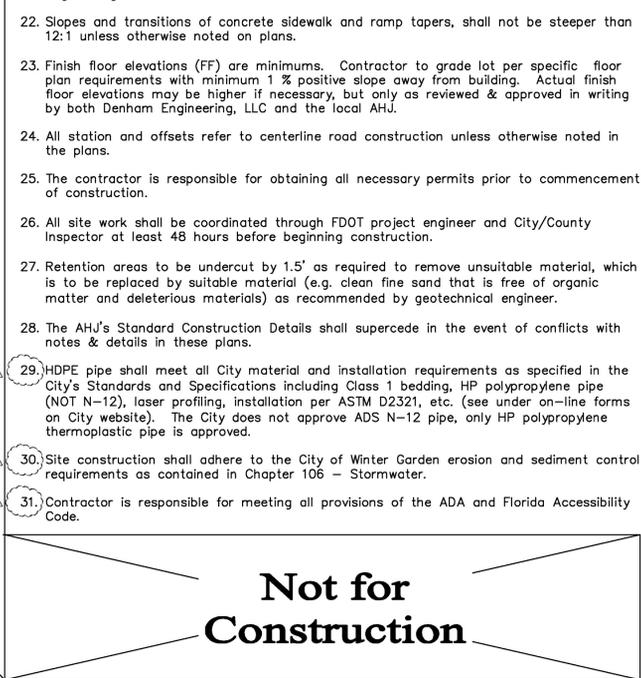
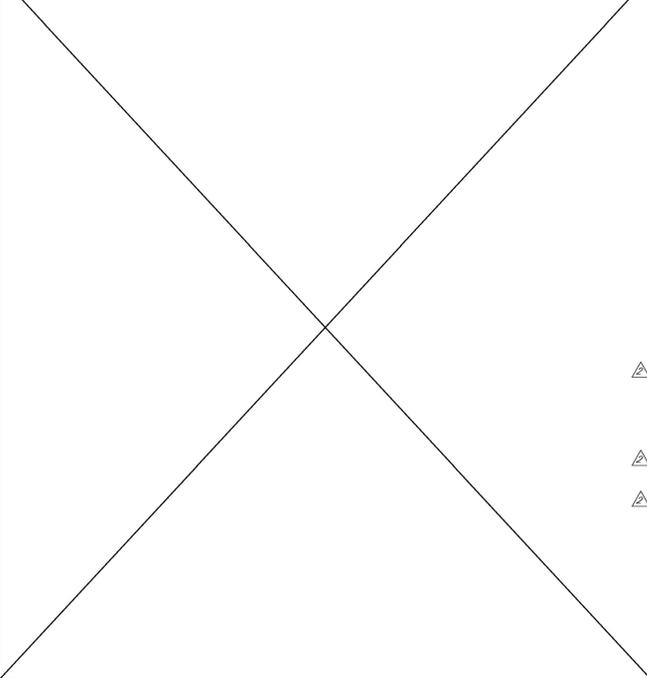
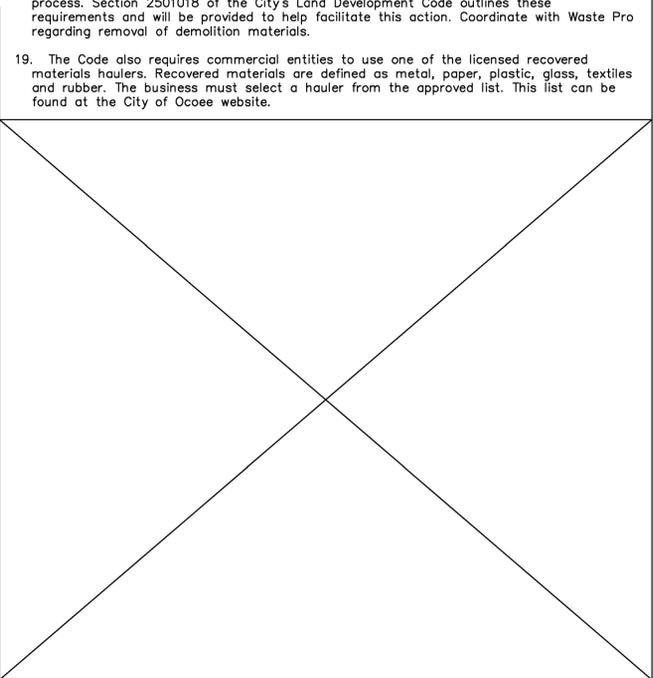
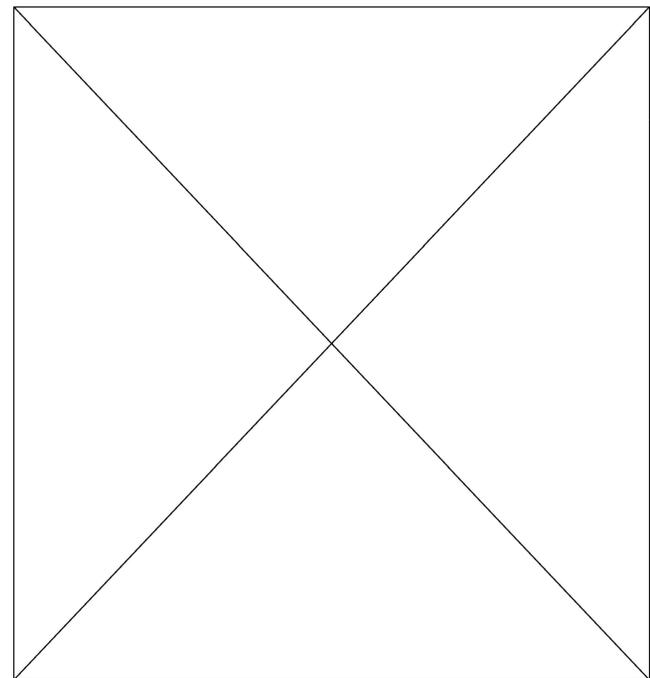
- Erosion control measures are to be taken to ensure protection of surrounding properties, roads, wetlands and any other objects that are not under control of the owner as well as existing developments & wetlands under control of owner.
- The contractor shall protect all existing & proposed stormwater collection systems from damage by sediment or other construction related causes.
- Sizes, location and invert elevations of existing pipes to be verified by the contractor prior to construction. Existing underground utilities have been shown based on the best information available. The contractor is responsible for verifying location of all utilities prior to beginning any excavation.
- Silt fence shall be in-place (around the entire perimeter of the site or as shown on the drawing) prior to construction. Delineated measures are minimum required. Additional controls are to be utilized as needed, dependent upon actual site conditions and construction operations. See detail sheets and specifications for additional information on erosion control.
- Erosion control shall be maintained within construction areas by quickly stabilizing disturbed areas to prevent the release of sediment. This shall be accomplished using sod, turbidity fences, (NOT hay bales), and other means acceptable to local municipality, water management district, DEP, owner, engineer and other regulatory agencies.
- This Storm Water Pollution Prevention Plan (SWPPP) is for permitting only. Contractor to submit a separate SWPPP & Notice of Intent (NOI), signed by the owner, to the Florida Department of Environmental Protection (FDEP) consistent with the contractor's anticipated means and methods of construction prior to commencement of construction.
- Dewatering and erosion control during construction shall be implemented in accordance with the technical specification and the NPDES permit. Contractor to prepare a site specific Storm Water Pollution Prevention Plan (SWPPP) specific to his proposed means & methods and obtain NPDES NOI and dewatering permit from regulatory agencies. Contractor to have project monitored and maintained by certified inspection company for compliance with NPDES permit & DEP regulations.
- Excess excavated material shall be disposed of off-site by the contractor. Excess material is not to be placed in pond unless specifically authorized by geotechnical engineer. Sediment buildup in sediment traps/sumps is not to be placed in ponds. Contractor to obtain a permit to move fill or excess material off-site if necessary.
- Stormwater infrastructure (e.g. inlets, storm pipes, MES's, ponds & outfall structures) to be in place and operating prior to construction of impervious areas (e.g. roadway base, building pads, etc.)
- Provide socks (NOT hay bales) in front of all drainage curb inlets and provide filter fabric under the grate of all ditch bottom inlets after initial completion of the drainage structures to protect all storm drainage inlets and pipes from silt, sand and debris during construction. Any accumulation within the storm drainage pipe system shall be removed without pumping or flushing into the ponds or wetlands. Pond bottoms, and sides as necessary, shall be scraped & scarified to remove any buildup of silt, clay or other sediment that may prevent percolation of water into the soils as determined by Denham Engineering, LLC. Maintain these measures daily.
- All storm drainage inlets and pipes shall be protected from silt, sand and debris during construction. Any accumulation within the storm drainage system shall be removed without pumping or flushing into ponds.
- Sediment buildup in pipes and at pond bottoms to be removed prior to final grading, stabilization and sodding of pond.
- Sediment buildup at all barriers to be removed on a consistent basis, determined by contractor, to avoid potential barrier failure. Repairs to barriers to be repaired promptly.
- Contractor must implement additional best management practices as necessary, in accordance with the specification in Section 6 of the Florida Land Development Manual: A Guide to Land and Water Management (Florida Department of Environmental Regulation, latest edition).
- For permanent erosion control, slopes greater than 6:1 shall be sodded. Slopes of 6:1 or less may be seeded & mulched. All pond slopes to be sodded. Contractor to confirm acceptability of sod material type with local municipality.
- Contractor to sweep all finished paved streets and existing paved streets adjacent to the construction site entrances as necessary to prevent excess mud, dirt or rock from leaving the construction site. All construction vehicles (e.g. dump trucks) hauling material to and from the construction site will be covered with a tarp. Temporary stabilized or rock construction entrance, as well as wheel wash area, may be required to remove excess dirt and mud from tires before construction vehicles enter adjacent paved streets.
- Erosion control to be maintained by contractor until accepted by owner.
- The City has specific requirements for demolition activities through the Building permit process. Section 2501018 of the City's Land Development Code outlines these requirements and will be provided to help facilitate this action. Coordinate with Waste Pro regarding removal of demolition materials.
- The Code also requires commercial entities to use one of the licensed recovered materials haulers. Recovered materials are defined as metal, paper, plastic, glass, textiles and rubber. The business must select a hauler from the approved list. This list can be found at the City of Ocoee website.

Dimension Notes:

- Contractor shall immediately notify the owner's representative of any discrepancies found between these plans, municipality specifications, the architectural plans and/or field conditions prior to construction.
- All work shall be accomplished in accordance with the plans and specifications contained herein as well as separate municipality specifications book and/or otherwise required by applicable federal, state and local codes ordinances, and regulations. It is the contractor's responsibility to obtain a copy of the municipality specifications book prior to any bidding, material orders or construction. In the event of a conflict between the requirements, the most stringent shall apply as determined by the owner's representative.
- Topographic information, boundary information and vertical control provided within these construction plans is taken from a survey by surveyor listed on the plans and can be obtained from the owner.
- Geotechnical investigation report can be obtained from the owner and/or geotechnical engineer as listed on the plans.
- Contractor shall comply with all permit conditions during construction. Dimensions shown are measured to/from the face of curb, property line, property corner, or face of building.
- Contractor shall stake all improvements using the dimension baseline and offsets provided on this sheet. It is the contractor's sole responsibility to completely stake and check all improvements to insure adequate positioning both horizontal and vertical, including minimum building setbacks, prior to the installation of any improvements.
- Locations of the proposed building shown on this plan are meant as a reference for constructing site improvements. The actual locations and dimensions of proposed building improvements shall be determined from the architectural plans and field located by a surveyor retained by the contractor.
- All parking striping, traffic arrows, cross walks and stop bars to be thermoplastic. Material certification shall be required for all paint and thermoplastic stating said materials do not contain lead.
- Baseline through parking areas to be established beginning at the southwest property corner.
- All pavement markings to comply with the FDOT roadway and traffic design standards, manual of uniform control devices and the municipality land development code.
- All disturbed areas within ROW shall be sodded to match existing.
- All areas disturbed during construction shall be stabilized with ground cover.
- The contractor shall be responsible for the restoration of any traffic equipment including but not limited to fiber, loop sensors, pull boxes, conduit, traffic signals and cabinets. Any items damaged by the contractor will be restored to their original conditions unless otherwise agreed upon by the municipality engineer.
- Site lighting to be provided for by contractor per owner's and utility company's specifications as well as any applicable architectural drawings.
- Contractor to install the minimum requirements for vertical separation wherever proposed sewer mains and force main are to cross under proposed water mains.
- The contractor shall notify the city, county or FDOT office 48 hours prior to any work within their respective ROW's.
- Refer to FDOT roadway and traffic design standards index no. 602 for Maintenance of traffic (M.O.T.).
- M.O.T. setup shall be supervised by a certified M.O.T. individual.
- All light poles and structures to be located in field by surveyor retained by contractor.
- Shop drawings to be provided by contractor to respective governing agencies and civil engineer for review prior to purchases and field installation.
- As-builts to be provided by contractor in autocad format on disc as well as on full size plans to respective governing agencies and civil engineer for review.
- Contractor to construct sidewalks along each lot in accordance with municipality standards. Location of sidewalk will vary as required by builder to maintain protection of existing trees.
- 4' sidewalk to be constructed by contractor in front of all tracts and at ADA ramp locations; by home builder in front of all homes at the time of individual lot development.

Drainage Notes

- Contractor shall verify all existing grades on site before beginning work. Sizes, location and invert elevations of existing pipe to be verified by the contractor prior to construction. The owner's representative shall be notified immediately of any major differences between contractor's data and drawings.
- Existing ground and import fill to be compacted per the most stringent of the plans and geotechnical report. For use of on site soils refer to geotechnical report provided by geotechnical engineer indicated on cover sheet.
- All structures, pipes and other construction in the right of way shall be performed according to the applicable roadway design standards of the governing local or state agency or the Florida Department of Transportation roadway design standards and specifications, whichever is more stringent.
- All structures and grates shown within paved areas shall be traffic rated to support H-20 loads. All structures and grates subject to delivery truck traffic to be H-25 rated. All structures subject to pedestrian traffic to have steel grates.
- Grading shown on these plans is provided to the contractor to express the general grading intent of the project. The contractor shall be expected to grade the entire site to provide positive drainage in all areas throughout the site. Smooth transitions shall be provided between contours or spot elevations as shown on the plans. All slopes shall be stabilized immediately after final grading has been completed. Contractor shall notify owner and engineer prior to demobilization of grading equipment to determine that the grading intent has been achieved.
- Spot elevations are shown at the edge of pavement except when called out as top of curb (TC), or when the spot grade is placed on the top of the sidewalk. Typically a 6" raised curb or sidewalk is used, and the proposed spot grade shown is the edge of pavement 6" below the top of curb or sidewalk. Contractor to notify engineer of any discrepancies or for any clarification needed.
- Contractor to construct pavement to the spot grades shown. In addition, all grade lines, high point (H.P.) and low point (L.P.) lines shall be constructed as shown on the plan. Final elevations must fall within 0.25" of the proposed spot grades and lines. All pavement shall be constructed in accordance with FDOT specifications.
- Contractor to saw cut the existing asphalt paving where proposed parking islands are located and at parking area perimeters. Parking areas and travel ways shall be overlaid with a surface course. For positive drainage additional asphalt may be required.
- At all building entrances or drive-thru's match existing elevations with the surface course.
- Fences or guard rails shall be provided along the boundary of terraces & retaining walls to secure public safety and welfare. Fall protection to be provided at all retaining walls that are at or above 30" high. Per latest FDOT requirements, hand rails shall be placed along sidewalks where grades drop off quickly. Per latest federal ADA requirements, hand rails shall be placed along sidewalks that exceed allowable slopes and or are determined to be ramps.
- Tack coats shall be applied between all layers of asphaltic concrete courses.
- Contractor responsible for removing all existing pavement markings which are in conflict with this proposed plan.
- All turn arrows shall be spaced at 100' spacing unless otherwise noted.
- Contractor to refer to latest architectural plans issued by architect for building specific information (e.g. layout, roof downspout locations, utility service locations, etc.)
- Contractor to provide structural design for retaining walls and screen walls, provide shop drawings & permit through the building department.
- Trees to be planted at time of construction of common areas prior to Certificate of Completion (C.C.) and at individual parcel development for non-common areas.
- All disturbed areas to be sodded. Dry pond bottoms to be seeded & mulched. All pond side slopes to be sodded. Wet pond side slopes to be sodded to 2' below the bleeder invert elevation. No muck to be added.
- ~~Sidewalk to be constructed by contractor in front of all tracts and at ADA ramp locations; & by home builder in front of all homes at the time of individual lot development.~~
- Slopes and transitions of concrete sidewalk, ramp tapers and vehicular use areas shall not be any steeper than 20:1 (5%) unless otherwise noted on plans. ADA areas to be 2% max.
- Shop drawings to be provided by contractor to respective governing agencies and Denham Engineering, LLC for review prior to purchases and field installation.
- As-builts to be provided by contractor to respective governing agencies and Denham Engineering, LLC for review.
- Slopes and transitions of concrete sidewalk and ramp tapers, shall not be steeper than 12:1 unless otherwise noted on plans.
- Finish floor elevations (FF) are minimums. Contractor to grade lot per specific floor plan requirements with minimum 1% positive slope away from building. Actual finish floor elevations may be higher if necessary, but only as reviewed & approved in writing by both Denham Engineering, LLC and the local AHJ.
- All station and offsets refer to centerline road construction unless otherwise noted in the plans.
- The contractor is responsible for obtaining all necessary permits prior to commencement of construction.
- All site work shall be coordinated through FDOT project engineer and City/County Inspector at least 48 hours before beginning construction.
- Retention areas to be undercut by 1.5' as required to remove unsuitable material, which is to be replaced by suitable material (e.g. clean fine sand that is free of organic matter and deleterious materials) as recommended by geotechnical engineer.
- The AHJ's Standard Construction Details shall supercede in the event of conflicts with notes & details in these plans.
- HDPE pipe shall meet all City material and installation requirements as specified in the City's Standards and Specifications including Class 1 bedding, HP polypropylene pipe (NOT N-12), laser profiling, installation per ASTM D2321, etc. (see under on-line forms on City website). The City does not approve ADS N-12 pipe, only HP polypropylene thermoplastic pipe is approved.
- Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater.
- Contractor is responsible for meeting all provisions of the ADA and Florida Accessibility Code.



Not for Construction

Ephesians 6:11-17

Denham Engineering, LLC
15 Years
2005 - 2020
710 N. Lake Formosa Dr.
Orlando, FL 32803
Office - 407-217-5487
Brian@DenhamENG.com
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Owner:
30 N. Park, LLC
525 W. Plant St.,
Winter Garden, FL 34787

Project:
30 N. Park
Town
Homes at
Winter
Garden

Plan Set:
Construction
Plans

Sheet:
Notes 1
General

Revisions:		
NO.	DATE	DESCRIPTION
1	04-20-20	Initial Issue
2	08-28-20	Per City Comments
3		
4		
5		
6		
7		
8		

Plans not valid unless Signed, Dated and Sealed below.

J. Brian Denham, P.E.

Date: 08-28-20
FL Registration #58008
Certificate of Authorization #29666

GRAPHIC SCALE
0 20 40
N.T.S.

Sheet Number
C701

FDEP UTILITY NOTES

21. SEPARATION OF WATER MAINS, SANITARY SEWERS, RECLAIMED WATER & STORM SEWERS:

Table with 4 columns: HAZARD, FDEP SEPARATION REQUIREMENTS UNDER 62-555.314 EFFECTIVE 8-28-2003, and JOINT SPACING. Rows include Storm Sewer, Reclaimed Water, Vacuum Sanitary Sewer, Gravity Sanitary Sewer, and Sanitary Sewer Foremain.

E. SEWER MANHOLES: NO WATER PIPES SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER MANHOLE.

22. WATER MAIN MATERIALS:

- A. PVC PIPE OF NORMAL DIAMETER OF FOUR (4) THROUGH TWELVE (12) INCHES SHALL BE (BLUE) AWWA STANDARD C900, CLASS 150, DR 18. AND SHALL BEAR THE NSF LOGO FOR POTABLE WATER USE AND MUST MEET THE REQUIREMENTS OF ASTM D-1784.
B. DUCTILE IRON PIPE FOR WATER MAIN FOR PIPE SIZES OF FOUR (4) THROUGH FIFTY (50) INCHES SHALL CONFORM TO ANSIAAWA A21.51/C151 OR C160. A MINIMUM OF CLASS 50 UNLESS OTHERWISE NOTED.
C. POTABLE WATER PIPES MUST BE MANUFACTURED IN ACCORDANCE WITH THE FOLLOWING AWWA SPECIFICATIONS:
1. PVC (WITH NATIONAL SANITATION FOUNDATION SEAL):
A. AWWA C900/ ASTM 1784 (4 INCHES TO 12 INCHES) WITH DR25 MINIMUM,
B. AWWA C905 (14 INCHES TO 36 INCHES),
C. ASTM 1785 OR AWWA C905 (LESS THAN 4 INCHES) SCHEDULES 40, 80, AND 120 OR ASTM 2241 (SDR 21 MINIMUM),
1. POLYETHYLENE PIPE - AWWA C901 WITH VALVES AND FITTINGS (AWWA C800); AND
2. POLYBUTYLENE PIPE - AWWA C902.

D. PVC WATER MAIN JOINTS:

- 1. PVC PIPE SHALL HAVE INTEGRAL BELL PUSH ON TYPE JOINTS CONFORMING TO ASTM D3139.
2. JOINTS FOR DUCTILE IRON PIPE AND FITTING JOINTS SHALL BE PUSH-ON OR MECHANICAL JOINTS CONFORMING TO ANSIAAWA A21.11/C111, WHERE CALLED FOR IN THE PLANS, RESTRAINED OR FLANGED JOINTS SHALL BE PROVIDED.

E. PVC AND DUCTILE IRON PIPE WATER MAIN FITTINGS:

- 1. ANY FITTINGS REQUIRED SHALL BE MECHANICAL JOINT DUCTILE IRON OR GREY IRON CONFORMING TO ANSIAAWA A21.10/C110, 250 PSI MINIMUM PRESSURE RATING, OR DUCTILE IRON COMPACT FITTINGS FOUR (4) THROUGH TWELVE (12) INCHES IN ACCORDANCE WITH ANSIAAWA A21.51/C151.
F. SERVICE PIPE, STOPS AND FITTINGS:
1. SERVICE PIPE: ALL SERVICE LINES SHALL BE 1", 1-1/2" OR 2" POLYETHYLENE TUBING, WITH NSF LOGO FOR POTABLE WATER USE, AND MUST CONFORM TO SPECIFICATION IN AWWA C800 AND AWWA C901.
2. STOPS: CORPORATION STOPS SHALL BE 1", 1-1/2" OR 2" BRASS, EQUIPPED WITH CONNECTIONS COMPATIBLE WITH THE POLYETHYLENE TUBING AND THREADED IN ACCORDANCE WITH SPECIFICATIONS IN AWWA C600 AND AWWA C901. CURB STOPS SHALL BE SIZED TO MATCH THE METER SIZE AND CONFORM TO THE SPECIFICATIONS IN AWWA C800 AND AWWA C901.
3. FITTINGS: FITTINGS SHALL BE BRASS, CAST AND MACHINED IN ACCORDANCE WITH SPECIFICATIONS IN AWWA C800 AND AWWA C901 WITH COMPATIBLE POLYETHYLENE TUBING CONNECTIONS.
4. SERVICE SADDLES: A SERVICE SADDLE SHALL BE USED FOR ALL SERVICE LINE TRAPS. SERVICE SADDLES SHALL BE DOUBLE STRAP, ANCHORED BY A MINIMUM FOUR (4) BOLT PATTERN ON A DUCTILE IRON SADDLE BODY. SERVICE SADDLES FOR PVC PIPES SHALL HAVE THE DOUBLE STRAP SIZED EXACTLY TO THE PIPE OUTSIDE DIAMETER. SEALING GASKETS SHALL BE BUNA-N RUBBER AND STRAPS SHALL BE CORROSION-RESISTANT ALLOY STEEL.
THE CITY OR COUNTY MAY REQUIRE A STAINLESS STEEL STRAP AND FUSION EPOXY OR NYLON COATED DUCTILE IRON BODY WITH STAINLESS STEEL HARDWARE IN AREAS DESIGNATED AS CORROSIVE.

G. MARKING FOR WATERMAINS:

ALL WATERMAINS SHALL BE INSTALLED WITH A CONTINUOUS, INSULATED 10 GAUGE COPPER WIRE INSTALLED DIRECTLY ON TOP OF THE PIPE FOR LOCATION PURPOSES. IN ADDITION ALL PVC WATERMAINS SHALL BE A SOLID BLUE COLOR. ALL DUCTILE IRON WATER MAINS SHALL BE MARKED WITH A CONTINUOUS STRIPE LOCATED WITHIN THE TOP 90 DEGREES OF THE PIPE. SAID STRIPE SHALL BE A MINIMUM 2 INCHES IN WIDTH AND SHALL BE BLUE IN COLOR. BACKFILL SHALL NOT BE PLACED FOR 30 MINUTES FOLLOWING PAINT APPLICATION.

23. SANITARY PIPE MATERIALS:

- A. PVC GRAVITY SEWER PIPE: PVC GRAVITY SEWER PIPE (4"-15"), SHALL BE ASTM D3034, SDR 35. UNIFORM MINIMUM "PIPE STIFFNESS" AT FIVE (5) PERCENT DEFLECTION SHALL BE 46 PSI. THE JOINTS SHALL BE INTEGRAL BELL ELASTOMERIC GASKET JOINTS MANUFACTURED IN ACCORDANCE WITH ASTM D3212 AND ASTM F477. APPLICABLE UNI-BELL PLASTIC PIPE ASSOCIATION STANDARD IS UNI-B-4. ALL PVC PIPE SHALL BEAR THE NSF-DW SEAL. THE MINIMUM STANDARD LENGTH OF THE PIPE SHALL BE THIRTEEN (13) FEET.
B. N/A
C. PIPE MARKINGS: ALL PIPE SHALL HAVE A HOMING MARK ON THE SPIGOT PROVIDED BY THE MANUFACTURER. ON FIELD CUT PIPE, CONTRACTOR SHALL PROVIDE HOMING MARK ON THE SPIGOT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
D. JOINT MATERIALS: PVC PIPE PVC SEWER PIPE JOINTS SHALL BE FLEXIBLE ELASTOMERIC SEALS PER ASTM D3212.
E. FITTINGS: ALL FITTINGS SHALL BE THE SAME MATERIAL AS THE PIPE

24. FORCEMAINS:

- A. PVC PIPE: PVC PIPE OF NORMAL DIAMETER OF FOUR (4) THROUGH TWELVE (12) INCHES SHALL BE GREEN AWWA C900, CLASS 150 DR 25 AND/OR AWWA C905 AND MUST MEET THE REQUIREMENTS OF ASTM D-1784.
B. N/A
C. FORCEMAIN JOINTS:
1. PVC PIPE SHALL HAVE INTEGRAL BELL PUSH-ON TYPE JOINTS CONFORMING TO ASTM D3139
2. N/A
D. FORCEMAIN FITTINGS:
1. FORCEMAIN FITTING FOR PVC SHALL BE THE SAME AS IN NOTE 22-E.1 OF THIS SHEET.

E. MARKING FOR FORCEMAIN:

ALL FORCE MAINS SHALL BE INSTALLED WITH A CONTINUOUS, INSULATED 10 GAUGE COPPER WIRE INSTALLED DIRECTLY ON TOP OF THE PIPE FOR LOCATION PURPOSES. IN ADDITION ALL PVC FORCE MAINS SHALL BE A SOLID GREEN COLOR. BACKFILL SHALL NOT BE PLACED FOR 30 MINUTES FOLLOWING PAINT APPLICATION.

25. RECLAIMED WATERMAINS:

- A. PVC PIPE: PVC PIPE OF NORMAL DIAMETER OF FOUR (4) THROUGH TWELVE (12) SHALL BE PANTENE PURPLE AWWA C900, CLASS 150, SDR 18 AND MUST MEET THE REQUIREMENTS OF ASTM D-1784.
B. DUCTILE IRON PIPE: DUCTILE IRON PIPE FOR RECLAIMED WATER FOR PIPE SIZES OF FOUR (4) THROUGH FIFTY FOUR (54) INCHES SHALL CONFORM TO ANSIAAWA A21-51/C151. A MINIMUM OF CLASS 350 UNLESS OTHERWISE NOTED. TO ASTM D3139
C. RECLAIMED MAIN JOINT:
1. PVC PIPE SHALL HAVE INTEGRAL BELL PUSH-ON TYPE JOINTS CONFORMING TO ASTM D3139
2. JOINTS FOR DUCTILE IRON PIPE AND FITTING SHALL BE THE SAME AS IN NOTE 22-D.2 OF THIS SHEET.
D. RECLAIMED MAIN FITTINGS:
1. RECLAIMED MAIN FITTING FOR PVC AND DIP SHALL BE THE SAME AS IN NOTE 22-E.1 OF THIS SHEET.

E. MARKING FOR RECLAIMED WATER MAIN:

ALL NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH A CONTINUOUS, INSULATED 10 GAUGE COPPER WIRE INSTALLED DIRECTLY ON TOP OF THE PIPE FOR LOCATION PURPOSES. IN ADDITION ALL PVC WATER MAINS SHALL BE A SOLID PURPLE COLOR.

IN ALL CASES WHERE REUSE LINES CROSS WATERMAINS, THE REUSE LINES SHALL BE DEFLECTED UNDER THE WATERMAINS MAINTAINING A MINIMUM VERTICAL SEPARATION OF 12". ALL DUCTILE IRON RECLAIMED WATER MAINS SHALL BE MARKED WITH A CONTINUOUS STRIPE LOCATED WITHIN THE TOP 90 DEGREES OF THE PIPE. SAID STRIPE SHALL BE A MINIMUM 2 INCHES IN WIDTH AND SHALL BE PURPLE IN COLOR. BACKFILL SHALL NOT BE PLACED FOR 30 MINUTES FOLLOWING PAINT APPLICATION. THE CONTRACTOR SHALL COMPLY WITH THE LEGAL LOAD RESTRICTIONS IN HAULING OF MATERIALS IN PUBLIC ROADS BEYOND THE LIMITS OF WORK. A SPECIAL PERMIT WILL NOT RELIEVE THE CONTRACTOR OF LIABILITY FOR DAMAGE WHICH MAY RESULT FROM THE MOVING OF MATERIAL AND EQUIPMENT.

DURING CONSTRUCTION, NO DIRECT DISCHARGE OF WATER TO DOWNSTREAM RECEIVING WATERS WILL BE ALLOWED. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WATER QUALITY, AND ROUTE DISCHARGE WATER IN SUCH A MANNER AS TO ADEQUATELY REMOVE SILT PRIOR TO RUNOFF FROM THE SITE.

28. VALVES:

- A. BUTTERFLY VALVES ARE REQUIRED ON LINES BEING 42" OR GREATER.
B. VALVES 2" AND SMALLER: VALVES SHALL BE BRONZE, WEDGE, DISC, NON-RISING STEM TYPE, 150 PSI MINIMUM WORKING PRESSURE, EQUIPPED WITH WROUGHT STEEL, ALUMINUM OR CAST IRON OPERATING HAND WHEEL. VALVES SHALL MEET FEDERAL SPECIFICATIONS WWV54D, TYPE 1, CLASS A VALVES SHALL BE FIGURE 3FG AS MANUFACTURED BY AMERICAN VALVE COMPANY OR APPROVED EQUAL.
C. VALVE BOXES: UNITS SHALL BE SCREW TYPE, CAST IRON, AND A MINIMUM DIAMETER OF 5" WITH COVER CAST WITH THE APPLICABLE INSCRIPTION IN LEGIBLE LETTERING ON THE TOP "WATER". BOXES SHALL BE SUITABLE FOR THE APPLICABLE SURFACE LOADING AND VALVE SIZE. DOMESTIC WATER AND VALVE SHALL BE MANUFACTURED BY TYLER COMPANY OR APPROVED EQUAL.
D. WASTEWATER AIR/VACUUM-RELEASE VALVE: THE VALVE BODY SHALL BE OF CAST IRON ASTM A126-B, THE FLOAT, FLOOD GUIDE AND STEM SHALL BE OF STAINLESS STEEL TYPE 304. THE RESILIENT SEAT SHALL BE OF BUNA-N THE VALVE SHALL BE SUITABLE FOR 150 PSIG WORKING PRESSURE. VALVE SHALL BE STANDARD TWO (2) INCH NPT INLET AND OUTLET PORTS.

E. RESILIENT SEAT GATE VALVES:

VALVES SHALL BE RESILIENT SEAT WEDGE TYPE. VALVES SHALL BE FURNISHED WITH O-RING STEM SEALS USING 2 O-RINGS LOCATED ABOVE AND 1 O-RING LOCATED BELOW THE THRUST COLLAR. O-RINGS SHALL BE SET IN THE GROOVES IN THE STEM. INTERNAL AND EXTERNAL SURFACES OF THE VALVE BODY AND BONNET SHALL BE COATED WITH EPOXY TO AWWA C550 STANDARDS. GATES FOR ALL VALVE SIZES SHALL BE COMPLETELY ENCAPSULATED IN RUBBER INCLUDING STEM BORE. VALVES SHALL BE CAPABLE OF INSTALLATION IN ANY POSITION WITH RATED SEALING IN BOTH DIRECTIONS. VALVES SHALL BE STYLE 3967 AS MANUFACTURED BY MAH VALVE COMPANY OR APPROVED EQUAL.

F. RESILIENT TAPPING VALVES:

VALVES SHALL BE FURNISHED WITH THE DESIGN TAPPING FLANGE HAVING A RAISED FACE OR LIP DESIGNED TO ENGAGE THE CORRESPONDING RECESS IN THE TAPPING SLEEVE FLANGE IN ACCORDANCE WITH MSS 896. TAPPING VALVES WITHOUT THE RAISED FACE ON THE TAPPING FLANGE ARE NOT PERMITTED SINCE THEY DO NOT ASSURE THE PROPER ALIGNMENT REQUIRED TO PREVENT DAMAGE BY A MISALIGNED SHELL CUTTER. THE INTERIOR OF THE WATERWAY IN THE BODY SHALL BE FULL OPENING AND CAPABLE OF PASSING A FULL SIZED SHELL CUTTER EQUAL TO THE NOMINAL DIAMETER OF THE VALVE SHALL BE METROSEAL AS MANUFACTURED BY U.S. PIPE OR APPROVED EQUAL.

G. BUTTERFLY VALVES (BEV):

VALVES SHALL BE CAST OR DUCTILE IRON BODY ALLOY, CAST IRON OR DUCTILE IRON DISC. VALVE SEAT SHALL BE 18.8 STAINLESS STEEL MADE INTEGRAL WITH THE VALVE BODY. SHAFT SIZE AND OTHER SPECIAL REQUIREMENTS SELECTED IN ACCORDANCE WITH THE SPECIFIC DESIGN AND SHALL COMPLY WITH PROVISIONS OF AWWA C504 RUBBER-SEATED BUTTERFLY VALVES. VALVE OPERATIONS SHALL BE APPROVED GEAR ACTUATORS, WITH SEALED ENCLOSURES FOR BURIED OR SUBMERGED SERVICE. UNITS SHALL BE EQUIPPED WITH ACTUATING NUTS, CAST IRON HANDWHEELS OR CHIN OPERATORS WITH GALVANIZED STEEL CHAINS, AS APPROPRIATE FOR THE INSTALLATION. VALVES SHALL BE STYLE 450 AS MANUFACTURED BY MAH VALVE COMPANY OR APPROVED EQUAL.

ALL AIR/VACUUM RELIEF VALVES MUST END IN A DOWN-ELBOW WITH AT LEAST 12 INCHES ABOVE THE SURROUNDING GRADE UNLESS THE WET SEASON WATER TABLE CAN BE SHOWN TO BE BELOW THE VAULT BOTTOM.

- 29. CONNECTION TO EXISTING LINES. TO WHICH PIPING OF THIS CONTRACT MUST CONNECT, THE FOLLOWING WORK SHALL BE PERFORMED.
A. EXPOSE BURIED LINES TO CONFIRM OR DETERMINE END CONNECTION, PIPE MATERIAL AND DIAMETER.
B. FURNISHING AND INSTALLING PIPING AND MAKING PROPER CONNECTIONS.
C. IF CONNECTION OF THE PROPOSED ACTIVITY TO THE WATER MAIN WILL RESULT IN A DEPRESSURIZATION OF THE EXISTING SYSTEM BELOW 20 POUNDS PER SQUARE INCH, ONE OF THE FOLLOWING MUST OCCUR.

1. PRECAUTIONARY "BOIL" WATER NOTICES MUST BE ISSUED IN CASES OF PLANNED DISTRIBUTION INTERRUPTIONS, WHICH ARE DEEMED AN IMMINENT PUBLIC HEALTH THREAT BY THE DEP CENTRAL DISTRICT OR WILL AFFECT THE BACTERIOLOGICAL QUALITY OF THE DRINKING WATER UNLESS THE PUBLIC WATER SYSTEM CAN DEMONSTRATE, BY SOUND ENGINEERING JUDGEMENT, THAT THE INTEGRITY OF THE WATER SYSTEM HAS BEEN MAINTAINED, OR

2. IN CASES OF BRIEF INTERRUPTION IN SERVICE, ADVISORIES (NOT BOIL WATER NOTICES) SHOULD BE ISSUED IF TEMPORARY CHANGES IN WATER QUALITY ARE EXPECTED TO OCCUR AND NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.

30. RESTRAINED JOINTS:

- A. SECTIONS OF PIPING DESIGNATED ON THE DRAWINGS AS HAVING RESTRAINED JOINTS OR THOSE REQUIRING RESTRAINED JOINTS SHALL BE CONSTRUCTED USING PIPE AND FITTINGS WITH RESTRAINED "LOCKED - TYPE" JOINTS AND THE JOINTS SHALL BE CAPABLE OF HOLDING AGAINST WITHDRAWAL FOR LINE PRESSURES 50 PERCENT ABOVE THE NORMAL WORKING PRESSURE, BUT NOT LESS THAN THE PIPE AND FITTINGS SHALL BE SHOWN FOR RESTRAINED PUSH-ON JOINTS OR RESTRAINED MECHANICAL JOINTS ON PAGE 416 IN SECTION VI IN THE HANDBOOK OF CAST IRON PIPE, 4TH EDITION. MECHANICAL JOINT DUCTILE IRON PIPE RETAINER GLANDS WILL BE PERMITTED ONLY WHEN RESTRAINED JOINTS ARE NOT READILY AVAILABLE.
B. RESTRAINED PIPE JOINTS THAT ACHIEVE RESTRAINT BY INCORPORATING CUT OUT SECTIONS IN THE WALL OF THE PIPE SHALL HAVE A MINIMUM WALL THICKNESS AT THE POINT OF CUT OUT THAT CORRESPONDS WITH THE MINIMUM SPECIFIED THICKNESS FOR THE REST OF THE PIPE.
C. THE MINIMUM NUMBER OF RESTRAINED JOINTS REQUIRED FOR RESISTING FORCES AT FITTINGS AND CHANGES IN DIRECTION OF PIPE SHALL BE DETERMINED FROM THE LENGTH OF THE RESTRAINED PIPE ON EACH SIDE OF FITTINGS AND CHANGES IN DIRECTION NECESSARY TO DEVELOP RESISTING FRICTION WITH THE SOIL. THE FORMULA AND PARAMETERS GIVEN BELOW SHALL BE USED TO DETERMINE THE MINIMUM REQUIREMENTS.
D. BOLTS AND NUTS FOR RESTRAINED JOINTS SHALL BE CORTEN, LOW ALLOW, HIGH STRENGTH STEEL.
E. THE CONTRACTOR SHALL ALSO PROVIDE RESTRAINED JOINTS IN ACCORDANCE WITH THE ABOVE CRITERIA WHENEVER THRUST BLOCKS ARE NOT USED IN CONNECTION WITH BELOW GROUND FITTINGS ON LINES 8 INCHES IN DIAMETER OR LESS AND AS APPROVED BY THE ENGINEER.
31. PRESSURE AND LEAKAGE TEST OF UNDERGROUND PRESSURE PIPING:
A. HYDROSTATIC PRESSURE AND LEAKAGE TEST SHALL CONFORM TO SECTION 4 OF AWWA C605-94 SPECIFICATION WITH THE EXCEPTION THAT THE CONTRACTOR SHALL FURNISH ALL GAUGES, METERS, PRESSURE PUMPS AND OTHER EQUIPMENT NEEDED TO TEST THE LINE. POTABLE WATER PIPES WILL BE HYDROSTATICALLY TESTED IN ACCORDANCE WITH SPECIFICATION NUMBERS C600 AND C605/M23 FOR DUCTILE IRON AND PVC PIPES, RESPECTIVELY.
B. THE PRESSURE REQUIRED FOR THE FIELD HYDROSTATIC PRESSURE TEST SHALL BE 50 PERCENT ABOVE THE NORMAL WORKING PRESSURE BUT NOT LESS THAN 150 PSI. THE CONTRACTOR SHALL PROVIDE TEMPORARY PLUGS AND BLOCKING NECESSARY TO MAINTAIN THE REQUIRED TEST PRESSURE. CORPORATION COCKS AT LEAST 3/4" IN DIAMETER, PIPE RISER AND ANGLE GLOBE VALVES SHALL BE PROVIDED AT EACH PIPE DEAD-END IN ORDER TO BLEED AIR FROM THE LINE. DURATION OF PRESSURE TEST SHALL BE AT LEAST 24 HOURS WITH NO DROP IN TEST PRESSURE. THE COST OF THESE ITEMS SHALL BE PAID BY THE CONTRACTOR.
C. THE LEAKAGE TEST SHALL BE CONDUCTED FOLLOWING THE PRESSURE TEST AND SHALL BE OF NOT LESS THAN 2 HOURS DURATION. ALL LEAKS EVIDENT AT THE SURFACE SHALL BE REPAIRED AND LEAKAGE ELIMINATED REGARDLESS OF TOTAL LEAKAGE AS SHOWN BY TEST. LINES WHICH FAIL TO MEET TESTS SHALL BE REPAIRED AND RETESTED AS NECESSARY UNTIL TEST REQUIREMENTS ARE COMPLIED WITH DEFECTIVE MATERIALS, PIPES, VALVES AND ACCESSORIES SHALL BE REMOVED AND REPLACED. THE PIPE LINES SHALL BE TESTED IN SUCH SECTIONS AS MAY BE DIRECTED BY THE ENGINEER BY SHUTTING VALVES OR INSTALLING TEMPORARY PLUGS AS REQUIRED. THE LINES SHALL BE FILLED WITH WATER ALL AIR REMOVED AND THE TEST PRESSURE SHALL BE MAINTAINED IN THE PIPE FOR THE ENTIRE TEST PERIOD BY MEANS OF A FORCE PUMP TO BE FURNISHED BY THE CONTRACTOR. ACCURATE MEANS SHALL BE PROVIDED FOR MEASURING THE WATER REQUIRED TO MAINTAIN THIS PRESSURE. THE AMOUNT OF WATER REQUIRED IS A MEASURE OF THE LEAKAGE.
D. THE AMOUNT OF LEAKAGE WHICH WILL BE PERMITTED SHALL BE IN ACCORDANCE WITH AWWA C600 STANDARDS FOR ALL PRESSURE. NO PIPE INSTALLATION SHALL BE ACCEPTED IF THE LEAKAGE IS GREATER THAN THE FOLLOWING FORMULAS:

L = (S*D^2*P) / 133,200
WHERE: L = ALLOWABLE LEAKAGE (GAL/HOUR)
S = LENGTH OF PIPE (LINEAR FEET)
D = NOMINAL DIAMETER OF PIPE (INCHES)
P = AVERAGE TEST PRESSURE (PSI)

THIS FORMULA SHALL BE USED FOR DUCTILE IRON PIPE (DIP).

L = (N*D^2*P) / 7,400
WHERE: L = ALLOWABLE LEAKAGE (GAL/HOUR)
N = NUMBER OF JOINTS PRESENT IN THE TESTED LENGTH OF PIPE
D = NOMINAL DIAMETER OF PIPE (INCHES)
P = AVERAGE TEST PRESSURE (PSI)

THIS FORMULA SHALL BE USED FOR POLYVINYL CHLORIDE PIPE (PVC).

L = (N*D^2*P) / 7,400
WHERE: L = ALLOWABLE LEAKAGE (GAL/HOUR)
N = NUMBER OF JOINTS PRESENT IN THE TESTED LENGTH OF PIPE
D = NOMINAL DIAMETER OF PIPE (INCHES)
P = AVERAGE TEST PRESSURE (PSI)

THIS FORMULA SHALL BE USED FOR POLYVINYL CHLORIDE PIPE (PVC).

THE CONTRACTOR MUST SUBMIT HIS PLAN FOR TESTING TO THE ENGINEER FOR REVIEW AT LEAST TEN (10) DAYS BEFORE STARTING THE TEST. THE CONTRACTOR SHALL REMOVE AND ADEQUATELY DISPOSE OF ALL BLOCKING MATERIAL AND EQUIPMENT AFTER COMPLETION AND ACCEPTANCE OF THE FIELD HYDROSTATIC TEST, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. ANY DAMAGE TO THE PIPE COATING SHALL BE REPAIRED BY THE CONTRACTOR. LINES SHALL BE TOTALLY FREE AND CLEAN PRIOR TO FINAL ACCEPTANCE.

DISINFECTING: PRIOR TO ACCEPTANCE OF THE LINES, AND PRIOR TO USE OF SAID MAINS FOR DOMESTIC PURPOSES, THE CONTRACTOR SHALL FLUSH THE LINE CLEAR OF FOREIGN MATERIAL AND THEN STERILIZE THE PIPELINE, INCLUDING ALL VALVES AND FITTINGS, IN ACCORDANCE WITH AWWA C651.

CHLORINATION: THE CHLORINATING AGENT SHALL BE APPLIED AT THE BEGINNING OF THE SECTION ADJACENT OF THE FEEDER CONNECTION AND SHALL BE INJECTED THROUGH A CORPORATION COCK, HYDRANT OR OTHER CONNECTION INSURING TREATMENT OF THE ENTIRE LINE. THE CHLORINATING AGENT SHALL BE ANY COMPOUND SPECIFIED BY SAID AWWA C651 REQUIREMENTS, SUCH AS "HTH" OR OTHER APPROVED CHLORINE-BEARING COMPOUNDS. WATER SHALL BE FED SLOWLY INTO THE NEW LINE WITH CHLORINE APPLIED IN AMOUNTS TO PRODUCE A DOSAGE OF 40 TO 50 PPM AND A RESIDUAL OF NOT LESS THAN 50 PPM IN ALL PARTS OF THE LINE AFTER A 24 HOUR PERIOD HAS ELAPSED. DURING CHLORINATION PROCESS, OPERATE ALL VALVES AND ACCESSORIES.

FLUSHING THE WATER LINE: CARE SHALL BE TAKEN TO PROVIDE DISINFECTIONS TO THE TOTAL SYSTEM AND EXTREMITIES SHALL BE CAREFULLY FLUSHED TO ACCOMPLISH THIS END.

FIRE HYDRANTS: SHALL BE 4-1/4" VALVE OPENING, 4" BURY, 6" MJ SHOE, BRONZE TO BRONZE SEATING, DUCTILE IRON DIRT WEATHER SHIELD, SHOE, UPPER AND LOWER BARREL SHALL BE FUSION COATED PER AWWA C-550.81 DRY BARREL WITH ONE 4-1/2" PUMPER NOZZLE AND TWO 2-1/2" HOSE NOZZLE 1-1/2" PENTAGON N.S.T. RED PAINT FOR WEEP HOLES PLUGGED HYDRANT MEET AWWA C-552.85 AND UFM REQUIREMENTS. HYDRANTS SHALL BE MODEL MESADEX AS MANUFACTURED BY CLOW OR APPROVED EQUAL.

BLOW OFF HYDRANT: SHALL BE BOX HYDRANTS HAVING A 2" MAIN VALVE CLOSING WITH THE WATER PRESSURE. 2" FIP INLET WITH THE OUTLET BEING A 2" BRONZE MALE NOZZLE. ALL WORKING PARTS BRONZE. OPEN TO THE LEFT, REMOVABLE BRONZE SEAT WHICH SEALS AGAINST A SEAT RUBBER OF NO LESS DIAMETER THAN 85 WITH LOCKABLE IRON LIDS. BLOWOFF HYDRANTS SHALL BE ECLIPSE MODEL NO. 85B AS MANUFACTURED BY KUPPERLE FOUNDRY COMPANY OR APPROVED EQUAL.

LEAKAGE TEST FOR GRAVITY SANITARY SEWERS: LEAKAGE TEST SHALL BE THE LOW PRESSURE AIR TEST OR LEAKAGE AND/OR INFILTRATION. IN GENERAL, LEAKAGE AND/OR INFILTRATION TEST MAY BE REQUIRED IN AREA WITH GROUNDWATER. MAXIMUM INFILTRATION IS 0.2 GALLONS PER HOUR, PER INCH DIAMETER, PER 100 FEET. MANHOLE MAY BE TESTED SIMULTANEOUSLY WITH HYDROSTATIC TEST BY FILLING MANHOLE WITH WATER TO AN ELEVATION 1 FOOT BELOW THE START OF THE CONE SECTION WITH A MINIMUM DEPTH OF 20 FEET WHERE THE MANHOLES ARE TESTED WITH THE SEWER LINE NO ADDITIONAL LEAKAGE WILL BE ALLOWED ABOVE THAT FOR THE MAINLINE SEWER. THE MAXIMUM ALLOWABLE DROP IN THE WATER SURFACE SHALL BE 1/2 INCH FOR EACH 15 MINUTES PERIOD OF TESTING.

THE AIR LEAKAGE TEST SHALL BE CONDUCTED IN ACCORDANCE WITH THE PROCEDURE FOR "RECOMMENDED PRACTICE FOR LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE" AS ESTABLISHED BY THE UNI-BELL PVC PIPE ASSN. PASSING THIS TEST SHALL BE PRESUMED TO ESTABLISH LEAKAGE TEST LIMITS OF 50 GALLONS PER DAY PER INCH DIAMETER PER MILE SEWER.

INTERNAL VIDEO INSPECTION FOR THE GRAVITY SEWER SHALL BE PERFORMED BY THE CONTRACTOR TO CHECK FOR ALIGNMENT AND DEFLECTION. THE TELEVISION INSPECTION SHALL ALSO BE USED TO CHECK FOR CRACKED, BROKEN OR OTHERWISE DEFECTIVE PIPE, AND OVERALL PIPE INTEGRITY.

FILLING OF PROPOSED WATER MAINS FROM EXISTING WATER PURSUANT MAINS WILL BE DONE IN ACCORDANCE WITH AWWA SPECIFICATION C651.

NOTE TO THE UTILITY: PURSUANT TO RULE 403.859(6), FLORIDA STATUTES, DO NOT PROVIDE WATER SERVICE TO THIS PROJECT OTHER THAN FLUCHUNG-TESTING UNTIL THE DEPARTMENT OF ENVIRONMENTAL PROTECTION HAS ISSUED A LETTER OF CLEARANCE OR THE UTILITY, SHALL BE SUBJECT TO ENFORCEMENT ACTION.

PERMIT TRANSFER: THE PERMITTEE WILL PROMPTLY NOTIFY THE DEPARTMENT UPON SALE OR LEGAL TRANSFER OF THE PERMITTED FACILITY. IN ACCORDANCE WITH GENERAL CONDITION #11 OF THIS PERMIT, THIS PERMIT IS TRANSFERABLE ONLY UPON DEPARTMENT APPROVAL. THE NEW OWNER MUST APPLY, BY LETTER, FOR A TRANSFER OF PERMIT WITHIN 90 DAYS.

THE PERMITTEE SHALL BE SEPARATELY RESPONSIBLE FOR APPROPRIATE CONSTRUCTION, DISINFECTION AND TESTING BEYOND THE METER TO ASSURE POTABILITY AT THE POINT OF USE.

Utility Notes

- 1. Contractor shall be responsible for contacting all utility companies and verifying location of their facilities prior to commencing construction, the contractor shall use special care in working around and near all existing utilities that are encountered during construction, protecting them where necessary so that they will give uninterrupted service. The contractor shall be responsible to the owners for all damages to said utilities. During the course of construction by the contractor, when it is necessary to have utilities relocated or adjusted, the contractor shall be responsible for notifying and coordinating this work with the utility companies.
2. The contractor is responsible for obtaining all necessary permits prior to commencement of construction.
3. Water and sewer installations are shown in outline form. contractor shall install all fittings and incidentals necessary to complete the facility.
4. All piping materials and specifications covering pipes, joints and packing materials, internal coating and linings, fittings, specials and appurtenances shall all be in accordance with the corresponding awwa standards and be conforming to nsf requirements, as may be applicable, with exceptions allowed only if documentation and assurances are provided in compliance with paragraphs 62-555.320(3) (d) 62-555.320 (3) (b), and 62-555.320 (21) (c), F.A.C. the lead use prohibition in rule 62-555.322, F.A.C. shall also apply. Polyethylene tubing shall be per AWWA C901. underground service lines, and valves shall be per AWWA C800.

- 5. ALL PIPING SHALL BEAR THE "NSF" SEAL FOR POTABLE WATER.
6. Water mains shall be PVC conforming to AWWA C-900, DR 18 for pipe sizes 4"-12". pipes 14" or larger shall be AWWA C-905, DR 18. All couplings, cleaning compounds, solvents, lubricants, and pipe preparation, for laying, shall be in accordance with the pipe manufacturers latest recommendations.
7. Water system components shall be installed in strict accordance with all local codes and regulations, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest AWWA standards and chapter 62-555 Florida Administrative Code.
8. Maintain a minimum of 3 feet of cover over all new utility mains.
9. Water mains to be located 6.00' from back of curb or edge of pavement unless otherwise noted.
10. All sleeves under pavement shall extend 5' beyond the back of curb.

- 11. All structures, pipes and other construction in the right of way shall be performed according to the latest FDOT roadway design standards, details and specifications.
12. Contractor shall coordinate the placement of water and sewer appurtenances with the architectural plans.
13. Water and sewer lines shall extend to 5' from exterior wall of building, and shall be marked, capped and buried.
14. All irrigation piping to be purple per reclaimed water specifications.
15. Contractor is responsible for coordinating all required inspection(s) to complete the on-site wastewater and water systems.
16. Disinfecting: following the pressure testing, the contractor shall disinfect all sections of the water distribution system. disinfection shall be in accordance with the applicable provisions of AWWA standard C651 "disinfecting water mains", and all appropriate agency approval.

- 17. All hydrostatic test shall be in accordance with AWWA C600 for ductile iron pipe and C605/M23 for PVC pipe.
18. All water mains shall be installed, pressure and leak tested in accordance with AWWA C600, (62-555.320(21)(b)1) and 62-555.330, F.A.C. All installation, testing and field procedures must be provided and must conform to the applicable AWWA standards.
19. The on site sewage collection system will be privately owned and maintained.
20. Contractor to provide As-Built information on all water mains, valves, sleeves, services, sanitary inverts in manholes (up and down stream) and at stub outs, force mains, etc. to satisfy local municipality and FDEP criteria.
21. All station and offsets refer to centerline road construction unless otherwise noted in the plans.

- 22. All site work shall be coordinated through FDOT project engineer at least 48 hours before beginning construction.
23. For projects where a Fire Sprinkler System is shown for the building on the Utility Plan:
23.1. Contractor to install fire sprinkler (Fire Protection P.O.S.) to 1.0 FT above finished floor.
23.2. For contracts written after June 30, 2005, the contractor who installs the underground piping from the point of service is responsible for completing the installation to the above ground connection flange, which by definition in this chapter is no more than 1 foot above the finished floor, before completing the Contractor's Material and Test Certificate for Underground Piping document. Above ground contractors may not complete the Contractor's Material and Test Certificate for Underground Piping document for underground piping or portions thereof which have been installed by others. (FS 633)

- 24. The AHJ's Standard Construction Details shall supercede in the event of conflicts with notes & details in these plans.

Ephesians 6:11-17



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15 Years
2005 - 2020

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Project:
30 N. Park
Town
Homes at
Winter
Garden

Plan Set:
Construction
Plans

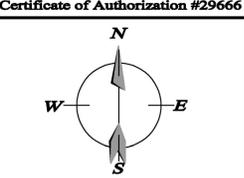
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Notes 2
General

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Plans not valid unless Signed, Dated and Sealed below.

J. Brian Denham, P.E.

Date: 04-30-20
FL Registration #58008
Certificate of Authorization #29666



N.T.S.

Sheet Number
C702

Not for Construction

CITY OF WINTER GARDEN - GENERAL NOTES:

- ALL UTILITY SYSTEMS AND IMPROVEMENTS CONSTRUCTED IN THE CITY OF WINTER GARDEN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUAL OF STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION FOR THE CITY OF WINTER GARDEN, TO BE REFERRED TO AS MSS/CWG, THE LATEST EDITION AT THE TIME PERMITS ARE APPROVED SHALL BE EFFECTIVE FOR THE DURATION OF THE SUBJECT WORK OR PROJECT DEVELOPMENT.
- THE CITY OF WINTER GARDEN GENERAL NOTES AND DETAILS ARE PROVIDED FOR THE CONVENIENCE OF FIELD PERSONNEL. THEY DO NOT INCLUDE ALL REQUIREMENTS OF THE MSS/CWG. THE CONTRACTOR SHALL REFER TO THE FULL TEXT OF THE MSS/CWG FOR FURTHER DETAIL AND CLARITY WHEN NEEDED.
- ANY REQUEST FOR VARIANCE OR NONCOMPLIANCE FROM THE MSS/CWG NOTED ABOVE MUST BE APPROVED BY THE CITY ENGINEER OR UTILITIES DIRECTOR.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN CLOSE PROXIMITY TO WATER, WASTEWATER, RECLAIMED WATER AND OTHER UTILITY SYSTEMS. THE CONTRACTOR SHALL COORDINATE UTILITY LOCATIONS WITH RESPECTIVE UTILITY OWNERS AND/OR CALL "SUNSHINE ONE CALL", 1-800-432-4770 A MINIMUM OF 72 HOURS IN ADVANCE.
- CONTRACTOR'S DAMAGE OF WINTER GARDEN UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY NOTIFY AND REPORT DAMAGE TO THE CITY OF WINTER GARDEN UTILITY DIVISION, (NO MESSAGE) PHONE # 407-656-4100.
- IMMEDIATELY REPAIR OF DAMAGED UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGE TO THE CITY OF WINTER GARDEN UTILITY SYSTEM AS REQUIRED BY THE UTILITY OWNER AT CONTRACTOR'S COST. IN CASE OF UNRESPONSIVE ACTION BY THE CONTRACTOR, THE CITY RESERVES RIGHT TO REPAIR DAMAGE. THE CONTRACTOR SHALL REIMBURSE THE CITY OF WINTER GARDEN OF ALL REPAIR COST.
- ADVANCE NOTIFICATION OF CONSTRUCTION: THE CONTRACTOR SHALL NOTIFY CITY OF WINTER GARDEN, UTILITY DIVISION, PH.# 407-656-4100, AT LEAST SEVEN (7) CALENDAR DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
- ADVANCE NOTIFICATION OF UTILITY CONNECTION: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST SEVEN CALENDAR DAYS IN ADVANCE TO SCHEDULE CONNECTIONS TO UTILITY SYSTEM.
- UTILITY VALVE OPERATION: ONLY CITY OF WINTER GARDEN UTILITY PERSONNEL SHALL OPERATE VALVES AND FIRE HYDRANTS. THE CONTRACTOR, WHEN NEEDED, SHALL CALL THE CITY TO REQUEST VALVE OPERATIONS AT LEAST TWO (2) DAYS IN ADVANCE OF CONSTRUCTION WORK.
- OPERATIONS INVOLVING WATER OR WASTEWATER FACILITIES INCLUDING PUMPING STATIONS: THE CONTRACTOR SHALL COORDINATE AT LEAST TWO (2) WEEKS IN ADVANCE, ANY CONSTRUCTION OPERATION THAT MAY REQUIRE THE DISCONTINUATION OF SERVICE OR OPERATION OF A FACILITY. THE CITY WILL PROVIDE PERSONNEL TO OPERATE THE CITY FACILITIES.
- REQUIRED TESTING BY CONTRACTOR: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST TWO (2) DAYS PRIOR TO SAMPLING ACTIVITIES FOR PURPOSE OF TESTING AS REQUIRED BY THE CITY. THE CONTRACTOR SHALL NOT TEST OR SAMPLE WITHOUT OBSERVATION BY CITY INSPECTION PERSONNEL.
- TEMPORARY OR CONSTRUCTION WATER SERVICE CONNECTIONS PROVIDED BY FIRE HYDRANT CONNECTION: THE CITY WILL PROVIDE METER ON FIRE HYDRANT. THE CONTRACTOR SHALL PROVIDE NON-REFUNDABLE ACCOUNT INITIATION FEE, A REFUNDABLE SECURITY DEPOSIT FOR THE METER APPARATUS AND PAY ALL COST FOR WATER USED.
- ALL AS BUILT MEASUREMENTS & ELEVATIONS ARE TO BE MADE BY A LICENSED LAND SURVEYOR.

CoWG WATER SYSTEM NOTES:

- THE CONTRACTOR SHALL PROVIDE AND INSTALL A CITY APPROVED BACKFLOW DEVICE ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
- REPAIRS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO 10% OF THE TOTAL NUMBER OF JOINT CONNECTIONS.
- THE CONTRACTOR SHALL HYDROSTATICALLY TEST ALL WATER MAINS AND SERVICE LATERALS AT 150 PSI FOR A TWO HOUR PERIOD. TESTING MUST BE OBSERVED BY A CITY INSPECTOR.
- THE CONTRACTOR SHALL INSTALL WARNING TAPE OVER ALL NEW WATER MAINS. WARNING TAPE SHALL BE AS FOLLOWS: NON-DETECTABLE, SIZE 2" WITH "WATER LINE BELOW" MUST BE PLACED 8" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADER TEES. NUMBER 10 GAUGE TRACER WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH DUCT TAPE, AT LEAST FIVE TIMES PER JOINT. THE TRACER WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATOR CAN BE CONNECTED TO IT.
- THE CONTRACTOR SHALL INSTALL WATER MAINS PER MSS/CoWG SPECIFICATIONS. SOLVENT CEMENTED JOINTS AND THRUST BLOCKS ON PIPING SYSTEMS SHALL NOT BE ALLOWED.
- THE CONTRACTOR SHALL INSTALL ALL WATER MAINS TO A MINIMUM DEPTH OF 36 INCHES AND A MAXIMUM DEPTH OF 42 INCHES BELOW FINAL GRADE.
- THE CONTRACTOR SHALL INSTALL ALL SERVICE LATERALS A UNIFORM DISTANCE APART. LOCATED ON PROPERTY LOT LINE AT 90° FROM THE WATER MAIN. SERVICE LATERALS SHALL BE SEPARATELY CONNECTED TO THE WATER MAIN, NOT SPLICED TOGETHER.
- THE CONTRACTOR SHALL CUT A "V" INTO CONCRETE CURB, LOCATED INSIDE OF A PAINTED BLUE SQUARE, LOCATED DIRECTLY IN FRONT OF EACH SERVICE LATERAL.
- THE CONTRACTOR SHALL INSTALL CURB STOP, IN METER BOX. CURB STOP SHALL BE SET 8" BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL IN-LINE VALVES ON WATER MAINS AT 1,000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED ON ALL TEES AND CROSSES. WATER MAINS SHALL BE PLACED UNDER SIDEWALKS WHERE POSSIBLE.
- ALL WATERMANS SHALL BE CLEANED BY PIGGING THE LINE WITH A FOAM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PIGGING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PIGGING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
- THE CONTRACTOR SHALL DEMONSTRATE THAT LOCATION WIRE INSTALLED OVER ALL WATER MAINS IS IN WORKING CONDITION AT TIME OF ACCEPTANCE BY THE CITY.
- ALL NEW SUBDIVISION CONSTRUCTION SHALL INSTALL DOUBLE POTABLE WATER SERVICES AT THE PROPERTY LINES.

CoWG - WASTEWATER SYSTEM NOTES:

- SANITARY SEWER MAINS AND SERVICES SHALL BE PVC SDR-26 (MINIMUM). FITTINGS SHALL BE SDR-26. DUCTILE IRON IS NOT APPROVED FOR SANITARY SEWERS.
- ALL SERVICES SHALL BE 6" (MINIMUM) DIAMETER AND TERMINATE AT THE PROPERTY LINE WITH 6" CLEAN OUT. (36" TO 48" DEP AT LOT LINE)
- MAGNETIC TAPE MUST BE PLACED 2' ABOVE THE TOP OF PIPE FOR THE ENTIRE LENGTH OF ALL MAINS AND SERVICES.
- ALL SANITARY MANHOLES SHALL BE PAINTED INSIDE AND OUT WITH "BITUMASTIC SUPER SERVICE BLACK", BY KOPPERS OR APPROVED EQUAL. MANHOLES RECEIVING FLOW FROM FORCE MAINS SHALL BE LINED WITH FIBERGLASS OR HOPE AT THE PRECASTERS FACILITY.
- ALL PIPE CONNECTIONS TO PRE-CAST MANHOLES SHALL BE MADE USING A FLEXIBLE EPDM RUBBER BOOT AND STAINLESS STEEL STRAP OR CAST IN BOOT BY A-LOK, Z-LOK OR EQUAL.
- CONNECTIONS MADE TO EXISTING MANHOLES SHALL BE CORE BORED WITH A MINIMUM 6" BORE AND CONNECTION SEALED WITH FLEXIBLE BOOT AND STAINLESS STEEL CLAMP.
- DEAD END MANHOLES SHALL HAVE A MINIMUM OF 5 FEET OF COVER FROM FINISHED GRADE TO OUTLET PIPE INVERT.
- ALL PRECAST SEWER MANHOLES SHALL HAVE A 4 FOOT MINIMUM HIGH BARREL. CONE SECTIONS SHALL BE 3 FOOT MAXIMUM. CONCRETE DONUTS FOR EXTENDING ARE ACCEPTABLE TO RAISE MANHOLES UP TO 1 FOOT MAXIMUM.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL BALLCENTRIC PLUG VALVES IN FORCE MAINS AT 1000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED AT ALL TEES AND CROSSES.
- THE CONTRACTOR SHALL CUT A "S" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED GREEN SQUARE BOX, IN FRONT OF EACH SERVICE LOCATION.
- THE CONTRACTOR SHALL PROVIDE TV INSPECTION OF ALL SANITARY SEWER MAINS AFTER SYSTEM IS COMPLETED, THOROUGHLY CLEANED, DRAINED AND FULLY VISIBLE. TV INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATIONS. FAULTY INSPECTION DUE TO POOR CONDITIONS WILL REQUIRE REINSPECTION BY CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE A (WARRANTY) TV INSPECTION AT THE TWO YEAR IN SERVICE MILESTONE FOR EACH SYSTEM.
- THE CONTRACTOR SHALL PROVIDE SANITARY SEWER TESTING, EXFILTRATION OR AIR, AS REQUIRED BY DESIGN ENGINEER AND SUBMIT CERTIFIED RESULTS TO THE CITY ENGINEER.
- GRAVITY SEWERS DEPTHS SHALL NOT EXCEED 18 FEET.
- THE DESIGN ENGINEER SHALL PROVIDE A MINIMUM OF ONE FOOT OF FREEBOARD BETWEEN THE LOWEST FINISHED FLOOR ELEVATION AND THE TOP ELEVATION OF THE WET WELL.
- ALL PENETRATIONS INTO CONCRETE STRUCTURES SHALL BE PRE-CAST OR CORE-DRILLED.
- WARRANTY - ALL MATERIALS & EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS FROM THE DATE OF FINAL ACCEPTANCE THEREOF AGAINST DEFECTIVE MATERIALS, DESIGN, AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE CITY OF FAILURE OF ANY PART OF THE WARRANTED EQUIPMENT OR MATERIALS DURING THE WARRANTY PERIOD, THE AFFECTED PART, PARTS, OR MATERIALS SHALL BE PROMPTLY REPLACED BY THE CONTRACTOR WITH NEW PARTS OR MATERIALS AT NO EXPENSE TO THE CITY. IN THE EVENT THE CONTRACTOR FAILS TO MAKE THE NECESSARY REPLACEMENT OR REPAIRS IMMEDIATELY AFTER NOTIFICATION, THE CITY MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.

CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION OF SEWER LINES

GENERAL:

- ALL NEW SANITARY SEWER LINES, PRIVATE OR CITY MAINTAINED, IN THE CITY OF WINTER GARDEN'S SERVICE AREA SHALL BE INSPECTED BY CLOSED CIRCUIT TV INSPECTION BY THE CONTRACTOR WITH A CITY INSPECTOR PRESENT PRIOR TO BEING ACCEPTED BY THE CITY.

REQUIREMENTS PRIOR TO INSPECTION RELEASE:

- ALL ELEMENTS OF THE SEWER SYSTEM MUST BE INSTALLED AND BE COMPLETELY FINISHED, INCLUDING MAIN SEWER LINES, LATERALS, CLEAN OUTS, AND MANHOLES PRIOR TO CCTV INSPECTION.
- ALL SEWER LINES SHALL BE COMPLETELY CLEANED OF ALL DEBRIS, SAND, WATER, ETC. PRIOR TO THE CCTV INSPECTION. ANY OBJECT OR MATTER THAT PREVENTS CCTV INSPECTION FROM VIEWING CONDITION OF PIPELINE IS CONSIDERED AN OBSTRUCTION REQUIRING ADDITIONAL CLEANING. WHEN CCTV VIEW IS OBSTRUCTED, INSPECTION SHALL BE TERMINATED. THE CONTRACTOR SHALL CLEAN THE SEWER SYSTEM COMPLETELY AND RESCHEDULE CCTV RE-INSPECTION WITH THE CITY.
- A HYDRAULIC SEWER CLEANER SHALL NOT BE USED DURING THE CCTV INSPECTION. IF LINES ARE FOUND TO BE OBSCURED BY WATER OR DEBRIS DURING THE CCTV INSPECTION, THE INSPECTION SHALL BE TERMINATED AND RESCHEDULED TO A TIME WHEN SEWER CLEANING IS COMPLETE.

TELEVISION EQUIPMENT MINIMUM REQUIREMENTS:

- THE CLOSED CIRCUIT TV CAMERA SHALL PRODUCE A CLEAR COLOR PICTURE ON THE MONITOR AND ON THE DVD RECORDING. THE CAMERA SHALL BE ABLE TO SHOW DETAIL TO THE POINT THAT ALL JOINTS AND ANY DEFECTS MAY BE READILY SEEN AT THE TIME OF THE INSPECTION. THE CAMERA SHALL STOP AND PAN AT EACH JOINT FOR COMPLETE 360 DEGREE INSPECTION.
- REFER TO APPENDIX B OF THE REFERENCED STANDARDS FOR SPECIFICATION OF CLOSED CIRCUIT TELEVISION INSPECTION EQUIPMENT.
- THE VIDEO RECORDER SHALL PRODUCE A NO NOISE STILL PICTURE, AND PROVIDE BOTH AUDIO AND VIDEO DURING THE INSPECTION.
- A MEASURING DEVICE, APPROVED BY THE CITY, TO CHECK THE GRADE OF THE PIPE DURING THE INSPECTION, SHALL BE REQUIRED. GAUGE DEPTH, 0" TO 2" MIN. WITH 1/2" MARKINGS.
- AUDIO OF THE INSPECTION SHALL BE SIMULTANEOUSLY RECORDED ON DVD DISC. THE AUDIO SHALL CONSIST OF ORDINARY DESCRIPTION AND COMMENTARY. A TAPE WILL BE GIVEN TO THE INSPECTOR ON SITE AT THE END OF THE DAY.

PROCEDURE FOR TELEVISION

- THE CITY'S ENGINEERING INSPECTION DIVISION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS NOTICE PRIOR TO THE TIME PLANNED FOR THE TV INSPECTION TO COMMENCE. A DEFINITE TIME AND DATE WILL BE AGREED UPON BY THE CONTRACTOR AND INSPECTOR AT THAT TIME.
- NO INSPECTION SHALL COMMENCE WITHOUT THE PRESENCE OF THE INSPECTOR, EXCEPT WHEN PRIOR ARRANGEMENTS HAVE BEEN MADE BETWEEN THE CONTRACTOR, INSPECTOR, AND THE CITY. TV INSPECTION SHALL BE PERFORMED BY THE CONTRACTOR AT THE EXPENSE OF THE CONTRACTOR.
- ALL CCTV INSPECTIONS SHALL COMMENCE UP STREAM OF THE SYSTEM TO PREVENT FOREIGN SUBSTANCES FROM ENTERING A SECTION PREVIOUSLY TELEVIEWED. THE CAMERA SHALL BE STARTED FROM THE DOWNSTREAM MANHOLE AND PROCEED UPSTREAM IN DIRECTION OPPOSING THE NORMAL FLOW IN THE LINE. THIS PROCEDURE WILL ALLOW FOR THE VIEWING OF THE SERVICE LATERALS.
- BEFORE THE CAMERA IS PLACED IN THE SEWER LINE, WATER WITH YELLOW OR ORANGE DYE SHALL BE PUT INTO THE UPSTREAM MANHOLE OF THE SECTION BEING TELEVIEWED. CAMERA WILL HAVE A GAUGE SHOWING 1/2" MARKS FROM 1/2" TO 2-1/2". THIS WILL ENABLE THE CAMERA TO DETECT ANY CHANGES IN GRADE THAT MAY BE PRESENT IN THE SYSTEM.
- THE CCTV AND DVD RECORDER SHALL BE TURNED ON BEFORE THE CAMERA IS PLACED IN THE MANHOLE FOR INSPECTION AND SHALL NOT BE TURNED OFF UNTIL THE CAMERA IS REMOVED FROM THE MANHOLE. THE CAMERA SHALL BE MOVED THROUGH THE LINE UNDER THE CONTROL OF THE CCTV CAMERA OPERATOR. THE CAMERA SHALL BE DRAWN THROUGH THE LINE AT A RATE NOT TO EXCEED THIRTY (30) FEET PER MINUTE AND SHALL STOP AT ALL SERVICE CONNECTIONS AND PIPE JOINTS IN THE PIPELINE.
- A DVD RECORDING SHALL BE MADE OF THE ENTIRE SYSTEM BEING TELEVIEWED. THIS SHALL BECOME THE PROPERTY OF THE CITY UPON COMPLETION OF THE TV INSPECTION (NOT A COPY). THE TAPE(S) SHALL BE LABELED IN SUCH A MANNER THAT STATES THE PROJECT NAME, DATE OF INSPECTION AND LINE SECTION ACCORDING TO CONSTRUCTION PLANS CONTAINED ON EACH TAPE. A WRITTEN REPORT SHALL ACCOMPANY THE DVD DISC.

CoWG RECLAIMED WATER SYSTEM GENERAL NOTES:

- ALL PRIVATE RECLAIMED WATER SYSTEMS SHALL HAVE A CITY APPROVED BACKFLOW DEVICE ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
- REPAIRS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO 10% OF THE TOTAL NUMBER OF JOINT CONNECTIONS.
- ALL MAINS AND SERVICE LATERALS SHALL BE HYDROSTATICALLY TESTED AT 150 PSI FOR A TWO HOUR PERIOD.
- WARNING TAPE, NON-DETECTABLE, SIZE 2" WITH "REUSE WATER LINE BELOW" MUST BE PLACED 8" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADER TEES. NUMBER 10 GAUGE TRACER WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH DUCT TAPE, AT LEAST FIVE TIMES PER JOINT. THE TRACER WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATOR CAN BE CONNECTED TO IT. THE CONTRACTOR SHALL DEMONSTRATE THE LOCATE WIRE TO BE IN WORKING CONDITION AT PROJECT COMPLETION.
- THE CONTRACTOR SHALL INSTALL RECLAIMED WATER MAINS PER MSS/CoWG. SOLVENT CEMENTED JOINTS AND THRUST BLOCKS SHALL NOT BE ALLOWED.
- REUSE WATER MAIN SHALL BE BURIED TO A MINIMUM DEPTH OF 36" AND A MAXIMUM DEPTH 42" BELOW FINAL GRADE.
- SERVICE LATERALS MUST BE LOCATED A UNIFORM DISTANCE APART AND ALIGNED TO PROPERTY LOT LINE AT 90° FROM THE RECLAIMED WATERMAIN.
- CUSTOMER SERVICE LATERALS SHALL NOT BE SPLICED TOGETHER BETWEEN THE WATER MAIN AND CURB STOP.
- THE CONTRACTOR SHALL CUT CURB A "RW" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED SQUARE (PURPLE), DIRECTLY IN FRONT OF EACH SERVICE LATERAL AND VALVE.
- THE CONTRACTOR SHALL SET DEPTH OF CURB STOP, IN METER BOX, 8" BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL INSTALL VALVE(S) IN MAIN, NO MORE THAN 1,000 FEET APART IN BETWEEN TEES AND CROSSES. VALVES SHALL BE PROVIDED AT EACH TEE OR CROSS LOCATED IN MAIN LINE.
- RECLAIMED WATER MAINS MAY BE LOCATED UNDER SIDEWALKS. RECLAIMED MAINS LOCATED UNDER PAVEMENT SHOULD BE MINIMIZED.
- ALL WATERMANS SHALL BE CLEANED BY PIGGING THE LINE WITH A FOAM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PIGGING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PIGGING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
- RECLAIMED WATERMAIN MAINS SHALL BE 8 INCH DIAMETER MINIMUM, 4 INCH IS ALLOWED ON DEAD END RUNS SERVING LESS THAN 20 HOMES. THE DESIGN ENGINEER SHALL SUBMIT HYDRAULIC CALCULATIONS THAT DEMONSTRATE THE PROPOSED SYSTEM WILL PROVIDE REQUIRED FLOWS AND MAINTAIN SYSTEM ABOVE MINIMUM PRESSURE. PEAK IRRIGATION RATE SHALL BE SIX(6) TIMES GREATER THAN THE AVERAGE IRRIGATION RATE OF FLOW.
- RECLAIMED WATER SYSTEM COMPONENTS INCLUDING PIPE, VALVE BOX TOPS AND METER BOX TOPS SHALL BE RECLAIMED PURPLE IN COLOR.

CoWG - THRUST RESTRAINT TABLE

RESTRAINED FORCE MAIN PIPE TABLE									
MINIMUM LENGTH(FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)	PIPE SIZE								
	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	19	25	30	34	44	52	60	70	80
45° BEND	8	10	12	14	18	21	25	30	34
22-1/2° BEND	4	5	6	7	9	10	12	14	16
11-1/4° BEND	2	3	4	5	6	7	8	9	10
PLUG, DEAD END OR BRANCH OF TEE	40	52	63	72	93	111	130	155	178
VALVE	20	25	32	36	47	56	78	116	89

RESTRAINED WATER AND RECLAIMED PIPE TABLE									
MINIMUM LENGTH(FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)	PIPE SIZE								
	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	29	37	44	51	65	77	89	105	120
45° BEND	12	15	18	21	27	32	37	44	50
22-1/2° BEND	6	7	9	10	13	15	18	21	24
11-1/4° BEND	3	4	5	6	7	8	9	10	12
PLUG, DEAD END OR BRANCH OF TEE	59	77	93	108	138	166	194	231	265
VALVE	59	77	93	108	138	166	194	231	265

CoWG THRUST RESTRAINT NOTES:

- THE TABLES INDICATE MINIMUM LENGTHS OF RESTRAINED JOINTS ON EACH SIDE OF FITTINGS AND CHANGES IN DIRECTION. WHERE PRACTICAL, FULL LENGTHS OF RESTRAINED PIPE SHALL BE LAID TO ACHIEVE THE REQUIRED MINIMUM RESTRAINT.
- WHERE COMBINATIONS OF FITTINGS ARE USED, THE PIPING BETWEEN THE FITTINGS SHALL BE RESTRAINED. THE MINIMUM RESTRAINED LENGTH OF PIPE REQUIRED UPSTREAM AND DOWNSTREAM OF THE COMBINATION OF FITTINGS SHALL BE DETERMINED ON THE BASIS OF ONE EQUIVALENT FITTING (I.E. 2-45 DEGREE BENDS WILL BE CONSIDERED AS THOUGH A 90° BEND WERE LOCATED MIDWAY BETWEEN THE TWO 45° BENDS).
- FOR PIPE THAT IS ENCASED IN POLYETHYLENE, RESTRAINED JOINTS MINIMUM LENGTHS SHALL BE INCREASED BY 50 PERCENT.
- FOR FITTINGS OTHER THAN THOSE PRESENTED IN THE ABOVE TABLES, RESTRAINED JOINT LENGTHS SHALL BE DETERMINED IN ACCORDANCE WITH "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" BY THE DUCTILE IRON PIPE RESEARCH ASSOCIATION. RESTRAINED JOINT LENGTHS FOR A GIVEN PRESSURE RANGE SHALL BE BASED ON THE MAXIMUM PRESSURE FOR THE TEST PRESSURE RANGE, SM (SAND SILT) SOIL, 3- FEET DEPTH, LAYING CONDITION NO. 3 AND FACTOR OF SAFETY OF 1.5.
- IN-LINE VALVES: PROVIDE MECHANICAL RESTRAINT ON EACH SIDE OF THE VALVE.
- ALL RECLAIMED WATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 150 PSI. ALL WASTEWATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 100 PSI.

HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS											
PROPOSED UTILITY	POTABLE WATER		RECLAIMED WATER		SANITARY SEWER (GRAVITY)		SANITARY SEWER (FORCEMAIN)		STORM WATER		ACCEPTABLE VARIANCES
	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	
POTABLE WATER	-	-	3'	12"	6'	12"	6'	12"	3'	6" A 12" B	SEE GENERAL NOTES: NO. 4 & 5
RECLAIMED WATER	3'	12"	-	-	3'	6" A 12" B	3'	12"	-	-	
SANITARY SEWER (GRAVITY)	6'	12"	3'	12"	6" A 12" B	-	-	-	-	-	
SANITARY SEWER (FORCEMAIN)	6'	12"	3'	12"	-	-	-	-	-	-	

GENERAL NOTES:

- THE TABLE REPRESENTS THE MINIMUM SEPARATION REQUIREMENTS AS DESCRIBED IN F.D.E.P. RULES OF THE FLORIDA ADMINISTRATION CODE (F.A.C.). THESE SEPARATION REQUIREMENTS SHALL APPLY BETWEEN NEWLY PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES.
- FOR THE PURPOSE OF THIS TABLE, RECLAIMED WATER SHALL MEAN UNRESTRICTED PUBLIC ACCESS REUSE WATER AS DEFINED BY F.A.C. 162-610, CHAPTER III. OTHER TYPES OF RECLAIMED WATER ARE CONSIDERED RAW SEWAGE AND SEPARATIONS LISTED FOR SANITARY SEWER SHALL APPLY.
- ALL SEPARATION DISTANCES ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE UNLESS OTHERWISE SPECIFIED. CRITERION PRODUCING GREATER CLEARANCE SHALL BE USED.
 - A - DENOTES POTABLE WATER ABOVE RECLAIMED WATER, SANITARY SEWER OR STORM WATER; OR RECLAIMED WATER ABOVE SANITARY SEWER.
 - B - DENOTES POTABLE WATER BELOW RECLAIMED WATER, SANITARY SEWER OR STORM WATER; OR RECLAIMED WATER BELOW SANITARY SEWER.
- UTILITY SEPARATION - VERTICAL CLEARANCE MITIGATION
 - A. WHERE WATER AND GRAVITY SANITARY SEWER MAINS CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE OR THE SEWER MAIN IS ABOVE THE WATER MAIN, THE SANITARY SEWER WILL BE 20 FEET OF EITHER:
 - DUCTILE IRON PIPE, CENTERED ON THE POINT OF CROSSING, OR;
 - CONCRETE ENCASED VITRIFIED CLAY, OR;
 - PVC PIPE UPGRADED TO WATER MAIN STANDARDS AND PRESSURE TESTED.
 - WHERE WATER MAINS AND STORM SEWER PIPES CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE, THE WATER MAIN SHALL BE 20 FEET OF DUCTILE IRON PIPE CENTERED ON THE POINT OF CROSSING.
- SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE DEPARTMENT.
 - UTILITY SEPARATION - HORIZONTAL SEPARATION MITIGATION
 - A. WHEN A WATER MAIN PARALLELS A GRAVITY SANITARY SEWER MAIN, A SEPARATION (MEASURED EDGE TO EDGE) OF AT LEAST SIX FEET SHOULD BE MAINTAINED. WHERE THIS SEPARATION IS NOT MET, ONE OF THE FOLLOWING MUST OCCUR.
 - THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER, OR;
 - IF BOTH SANITARY SEWER AND POTABLE WATER MAINS ARE PROPOSED AND THE ABOVE (1.) IS NOT MET, THE SANITARY SEWER PIPES SHALL BE UPGRADED TO THE EQUIVALENT PIPE MATERIAL AS THE WATER MAIN AND PRESSURE TESTED.
 - IF THE SANITARY SEWER IS EXISTING AND THE POTABLE WATER MAIN IS PROPOSED, THE WATER MAIN SHALL, AT A MINIMUM, BE UPGRADED TO DUCTILE IRON PIPE, CONSTRUCTED IN SEPARATE TRENCHES, LAID AT A HIGHER ELEVATION THAN THE SANITARY SEWER, AND UTILIZE STAGGERED JOINTS.
- SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE DEPARTMENT.
 - NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY OR STORM WATER MANHOLE OR STRUCTURE.



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 2005 - 2020
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30 N. Park, LLC
 525 W. Plant St.,
 Winter Garden, FL 34787

Project:
30 N. Park Town Homes at Winter Garden

Plan Set:
Construction Plans

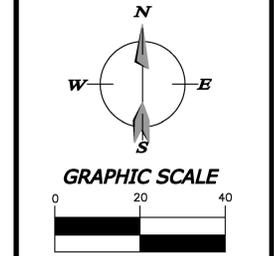
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Notes 3 City

Revisions:

NO.	DATE	DESCRIPTION
1	04-30-20	Initial Issue
2		
3		
4		
5		
6		
7		
8		

Plans not valid unless Signed, Dated and Sealed below.

J. Brian Denham, P.E.
 Date: 04-30-20
 FL Registration #58008
 Certificate of Authorization #29666



N.T.S.

Sheet Number
C703

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:

THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.



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30 N. Park, LLC
525 W. Plant St.,
Winter Garden, FL 34787

Project:
30 N. Park
Town Homes at
Winter Garden

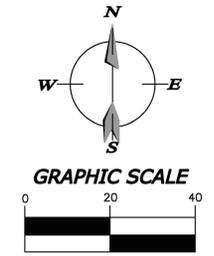
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Construction
Plans

Sheet:
Details 1
City Water

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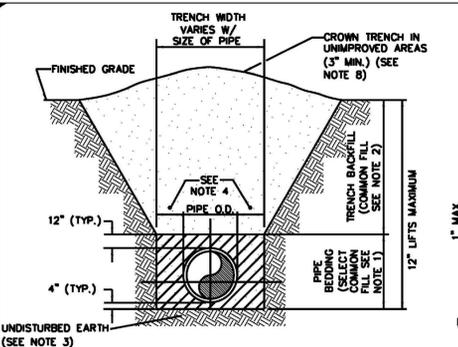
Plans not valid unless Signed, Dated and Sealed below.

J. Brian Denham, P.E.
Date: 04-30-20
FL Registration #58008
Certificate of Authorization #29666



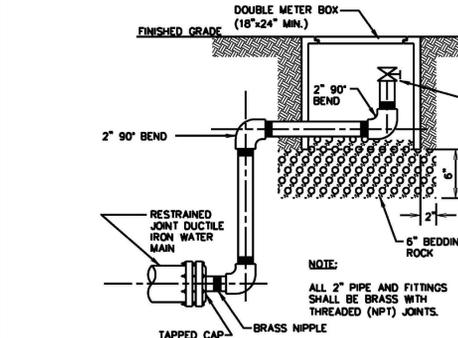
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C704

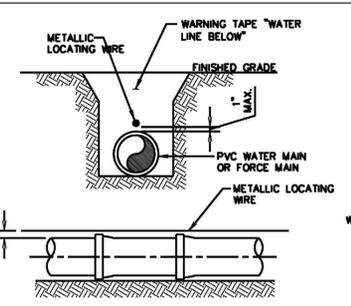


- NOTES:
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
4. (1): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" LARGER.
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
7. REFER TO SECTION 32.5 OF THE CITY OF WINTER GARDEN MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION FOR SHEETING AND BRACING IN EXCAVATIONS.
8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY OF WINTER GARDEN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

STANDARD BEDDING DETAIL
N.T.S.

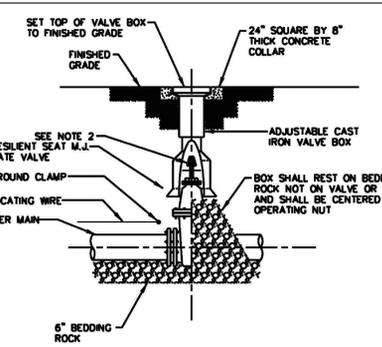


BLOWOFF VALVE DETAIL
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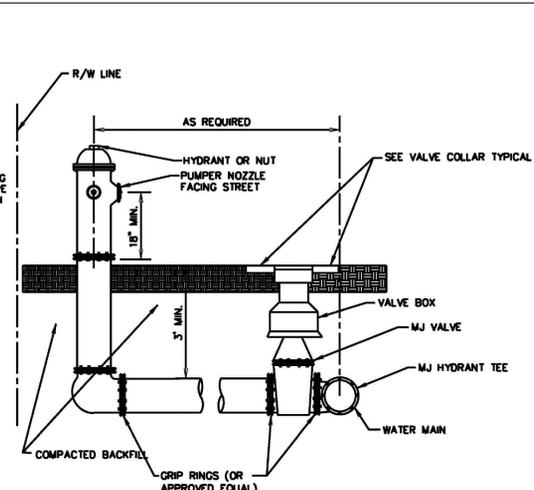
- NOTES:
1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE ATTACHED TO THE TOP OF PIPE WITH DUCT TAPE, AT LEAST 5 TIMES PER JOINT.
2. LOCATING ROD SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING ABOVE TOP OF BOX 1/2" SO AS NOT TO INTERFERE WITH VALVE OPERATION.

PVC PIPE LOCATING WIRE DETAIL
N.T.S.

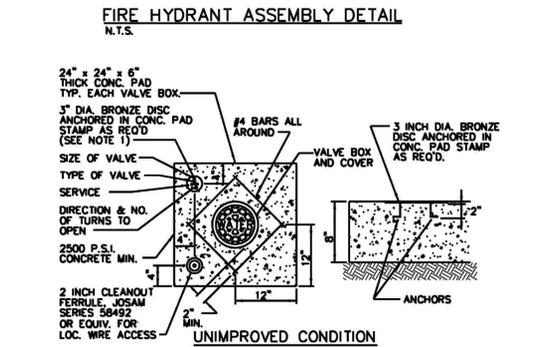


- GENERAL NOTES:
1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.

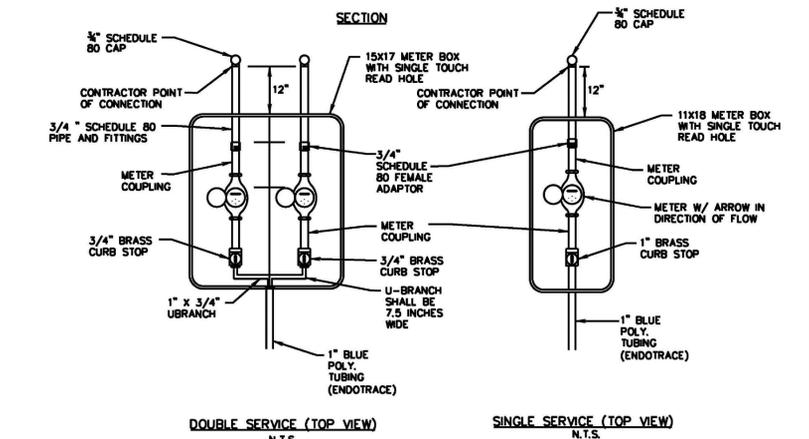
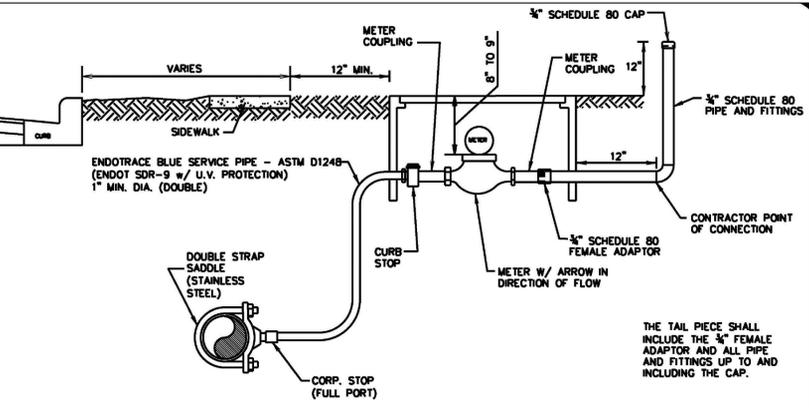
GATE VALVE AND VALVE BOX DETAIL
N.T.S.



FIRE HYDRANT ASSEMBLY DETAIL
N.T.S.

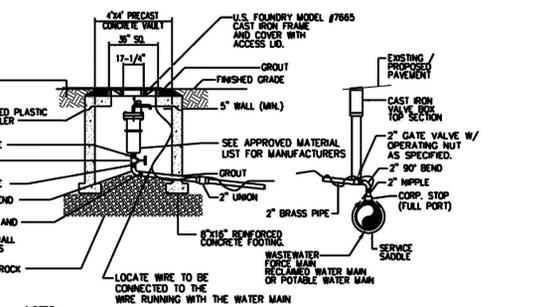


VALVE BOX COLLAR
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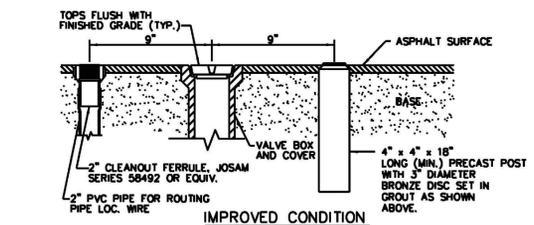
- NOTES:
1. ALL FITTINGS BETWEEN THE WATER MAIN AND THE METER COUPLING SHALL BE BRASS WITH COMPRESSION/PACK JOINT CONNECTIONS.
2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
3. EACH SERVICE LINE SHALL TERMINATE IN A METER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE UTILITY EASEMENT AT THE PROPERTY LINE(S) OF THE LOT(S) TO BE SERVED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION TO AND INCLUDING THE METER BOX ASSEMBLY. THE CITY SHALL FURNISH THE METER AND THE TAIL PIECE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING THE METER BOX ASSEMBLY TO FINISH GRADE AND MAKING ANY GRADE ADJUSTMENTS TO THE METER BOX IF REGRADING OCCURS.
5. ALL SERVICE LINES SHALL BE POLY ENDOTRACE PIPE AND SHALL BE BLUE IN COLOR W/MRE.
6. THE POINT OF CONNECTION IS LOCATED ONE FOOT BEYOND THE METER BOX. THE PLUMBER/CUSTOMER SHALL BE RESPONSIBLE FOR MAINTENANCE BEYOND THE POINT OF CONNECTION.
7. IN NO CASE IS METER TO BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.

POTABLE WATER SINGLE AND DOUBLE SERVICE DETAIL
N.T.S.

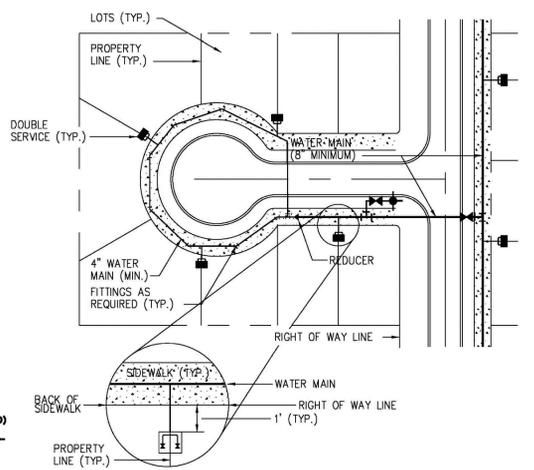


- NOTES:
1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
3. PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATINGS AS SPECIFIED FOR VALVE VAULTS.
5. CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
6. COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION, "SEWER" RECLAIMED WATER OR POTABLE WATER".
7. NO GALVANIZED PIPE/VALVES.
8. LOCATE WIRE IN THE A.R.V. WALL SHALL BE SPICED TO THE WIRE RUNNING WITH THE WATER MAIN AND EXCESS WIRE TO BE PLACED IN A.R.V. WALL. THE POINT OF CONNECTION AT THE MAIN SHALL HAVE A WATER PROOF CONNECTOR.

OFFSET TYPE AIR RELEASE VALVE ASSEMBLY
N.T.S.

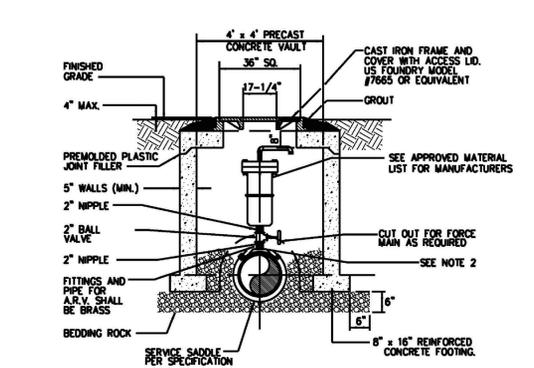


VALVE BOX COLLAR
N.T.S.



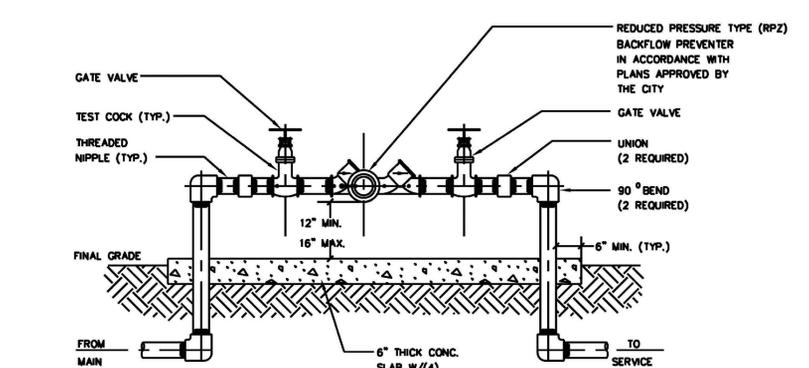
- NOTES:
1. ANCHORING TYPE 90° BEND SHALL ONLY BE USED WHERE RIGHT-OF-WAY CONSTRUCTIONS WILL NOT ALLOW INSTALLATION OF A STRAIGHT ASSEMBLY.
2. METER BOX TO BE INSTALLED BY THE CONTRACTOR.

CUI-DE-SAC LOOPING AND METER BOX PLACEMENT DETAIL
N.T.S.



- NOTES:
1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 3.0 FEET.
2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
3. PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
5. CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
6. COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION AND "POTABLE WATER".
7. NO GALVANIZED PIPE/VALVES.

POTABLE WATER SYSTEM AIR RELEASE VALVE AND VAULT
N.T.S.



- NOTES:
1. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 80 PVC. NO GALVANIZED PIPE WILL BE APPROVED.
2. ALL PIPE LARGER THAN 2" SHALL BE FLANGED DUCTILE IRON PIPE.
3. NO GALVANIZED PIPE ALLOWED.

BACKFLOW PREVENTER DETAIL
N.T.S.

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:
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 15 Years
 2005 - 2020
 710 N. Lake Formosa Dr.
 Orlando, FL 32803
 Office - 407-217-5487
 Brian@DenhamENG.com
 www.DenhamENG.com

Owner:
30 N. Park, LLC
 525 W. Plant St.,
 Winter Garden, FL 34787

Project:
30 N. Park Town Homes at Winter Garden

Plan Set:
Construction Plans

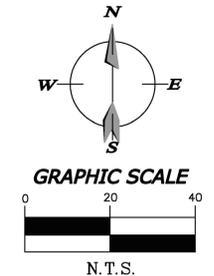
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Details 2 City Sanitary

Revisions:

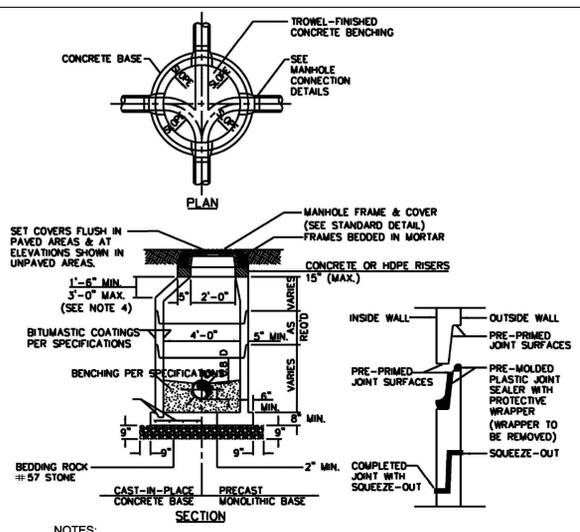
NO.	DATE	DESCRIPTION
1	04-30-20	Initial Issue
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Plans not valid unless Signed, Dated and Sealed below.

J. Brian Denham, P.E.
 Date: 04-30-20
 FL Registration #58008
 Certificate of Authorization #29666

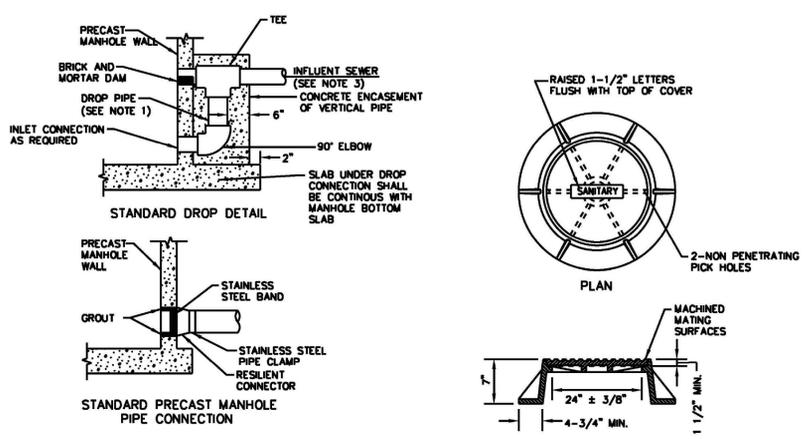


Sheet Number
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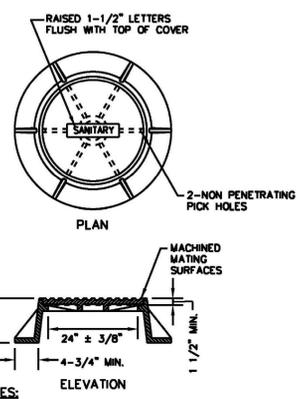
- NOTES:
- DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAILS. ALL DROPS TO BE OUTSIDE OF THE MANHOLE.
 - E-Z RAPP OUTSIDE ALL JOINTS
 - GROUT WITH NON-SHRINKING GROUT INSIDE JOINTS
 - NO CONES OVER 3 FT. TALL
 - ALL PRECAST CONCRETE SHALL BE COATED INSIDE AND OUTSIDE WITH COAL TAR EPOXY, MINIMUM 16 MIL DMT.

PRECAST CONCRETE SANITARY MANHOLE
 N.T.S.



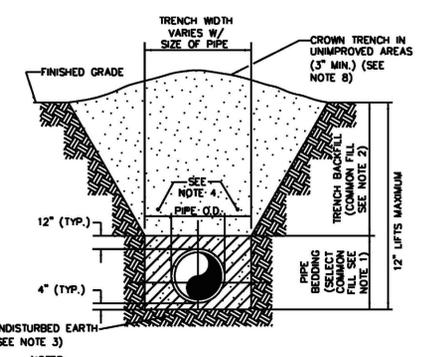
- NOTES:
- DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
 - AN OUTSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT WHICH HAVE AN INVERT 2' OR MORE ABOVE THE MANHOLE INVERT.

SANITARY MANHOLE CONNECTION DETAILS
 N.T.S.



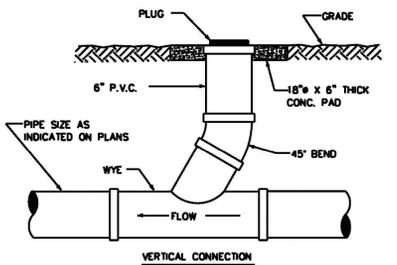
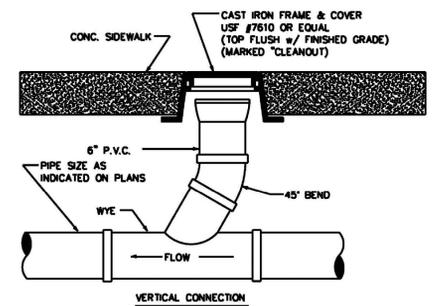
- NOTES:
- MANHOLE FRAME & COVER SHALL BE 24" OPENINGS, USE #AS-225 AS MANUFACTURED BY U.S. FOUNDRY & MFG. CORP. OR APPROVED EQUAL.
 - RAIN STOPPER LIDS OR RAIN GUARD LIDS (LFVMS) REQUIRED.

STANDARD MANHOLE FRAME AND COVER
 N.T.S.



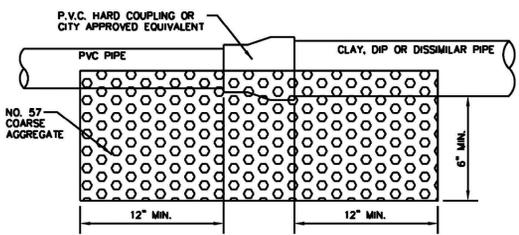
- NOTES:
- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
 - (*): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - REFER TO SECTION 32.5 OF THE ORANGE COUNTY MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION FOR SHEETING AND BRACING IN EXCAVATIONS.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY OF WINTER GARDEN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

STANDARD BEDDING DETAIL
 N.T.S.



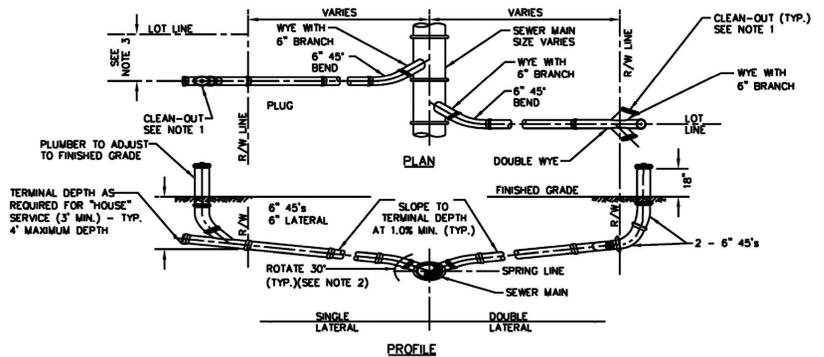
CLEAN OUT DETAIL FINISHED BUILDOUT (IN PAVED AREA)
 N.T.S.

CLEAN OUT DETAIL FINISHED BUILDOUT (IN UNPAVED AREA)
 N.T.S.



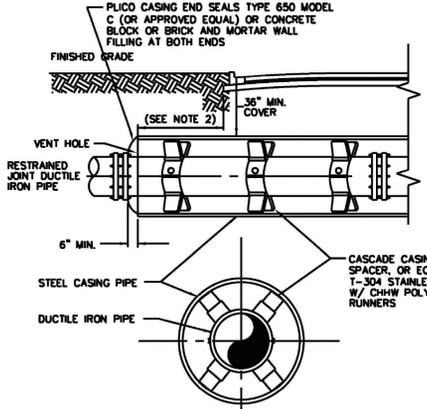
- NOTE:
- FIELD VERIFY MATERIALS OF EXISTING PIPES TO SELECT PROPER CONNECTOR.
 - HARBCO COUPLING OR APPROVED EQUIVALENT FOR ALL PIPE MATERIALS, UNLESS APPROVED IN WRITING BY THE CITY.

SEWER MAIN CONNECTION DETAIL
 N.T.S.



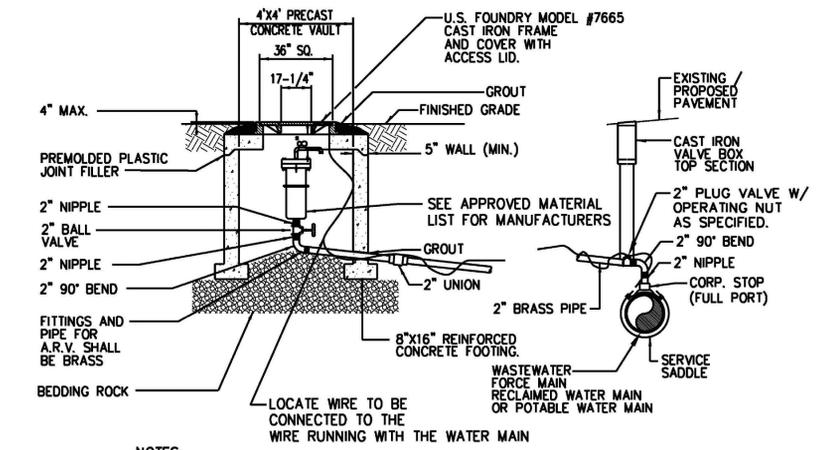
- NOTES:
- CLEANOUT SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 - INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 - WYES AND 45° BENDS SHALL BE PVC (SDR 26).
 - LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE, 25' MAXIMUM.

SANITARY SEWER SERVICE LATERAL DETAIL
 N.T.S.



- NOTES:
- WHERE PRACTICAL, CASING SHALL EXTEND 6' BEYOND EDGE OF PAYMENT AND SHALL NOT BE LESS THAN 6' BEYOND EDGE OF PAYMENT IN ANY CASE.
 - CASING SPACERS AND END SEALS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - DESIGN ENGINEER TO DETERMINE NEED FOR SACRIFICIAL ANODE (S) FOR CORROSION CONTROL.

BORE AND JACK DETAIL
 N.T.S.



- NOTES:
- THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
 - DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 - PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 - INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 - CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 - COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION, "SEWER" RECLAIMED WATER OR POTABLE WATER".
 - NO GALVANIZED PIPE/VALVES.
 - LOCATE WIRE IN THE ARV VAULT SHALL BE SPLICED TO THE WIRE RUNNING WITH THE WATER MAIN AND EXCESS WIRE TO BE PLACED IN ARV VAULT. THE POINT OF CONNECTION AT THE MAIN SHALL HAVE A WATER PROOF CONNECTOR.

OFFSET TYPE AIR RELEASE VALVE ASSEMBLY

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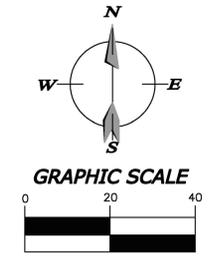
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Details 3
City Reuse

Revisions:

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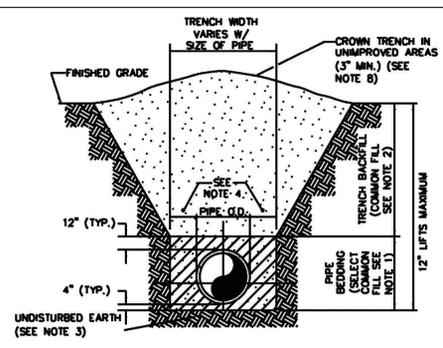
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Certificate of Authorization #296666



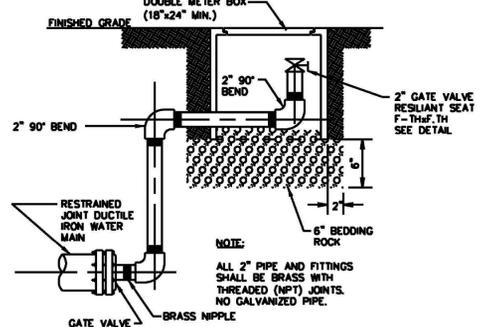
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Sheet Number
C706

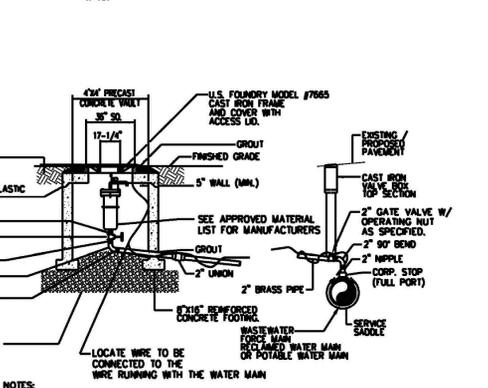


- NOTES:
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY...
2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY...
3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.

STANDARD BEDDING DETAIL N.T.S.

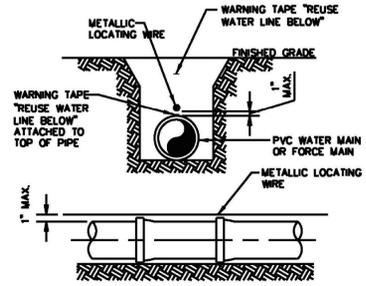


BLOWOFF VALVE DETAIL N.T.S.



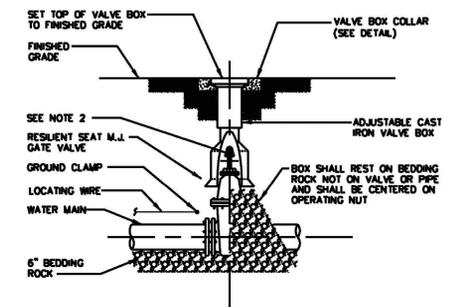
- NOTES:
1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
3. PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.

OFFSET TYPE AIR RELEASE VALVE ASSEMBLY N.T.S.



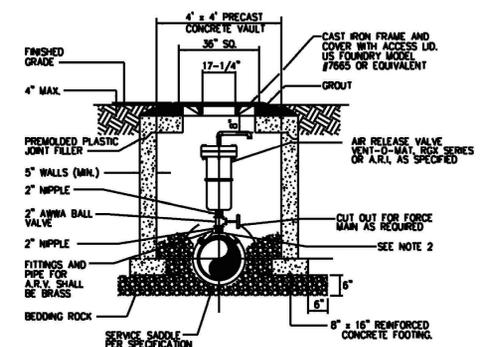
- NOTES:
1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR...
2. LOCATING ROD SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING ABOVE TOP BOX 1/2" SO AS NOT TO INTERFERE WITH VALVE OPERATION.

PVC PIPE LOCATING WIRE DETAIL N.T.S.



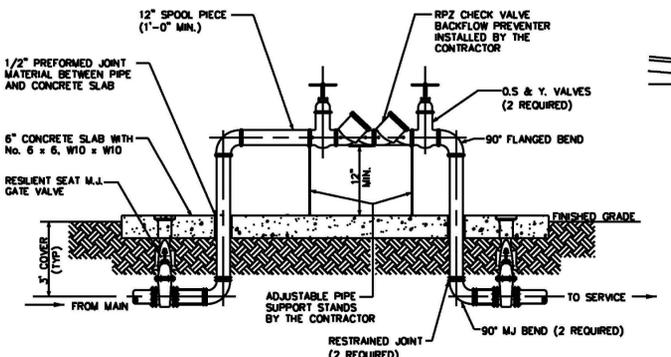
- NOTES:
1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.

GATE VALVE AND VALVE BOX DETAIL N.T.S.



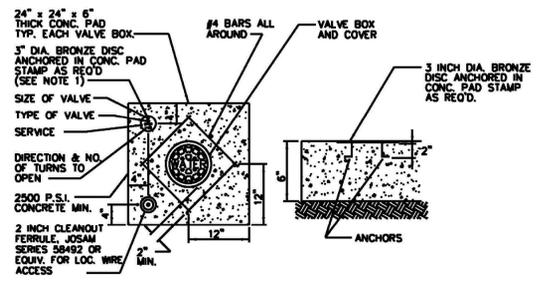
- NOTES:
1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 3.0 FEET.
2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
3. PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.

RECLAIMED WATER AIR RELEASE VALVE AND VAULT N.T.S.

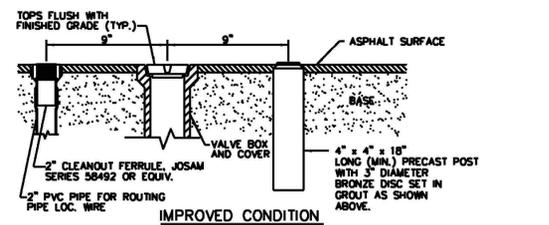


- NOTES:
1. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 80 PVC. NO GALVANIZED PIPE ALLOWED.
2. ALL PIPE LARGER THAN 2 INCH SHALL BE FLANGED DUCTILE IRON PIPE.
3. RECLAIMED WATER JUMPER SHALL BE SIZE ON SIZE.

RECLAIMED WATER JUMPER CONNECTION N.T.S.



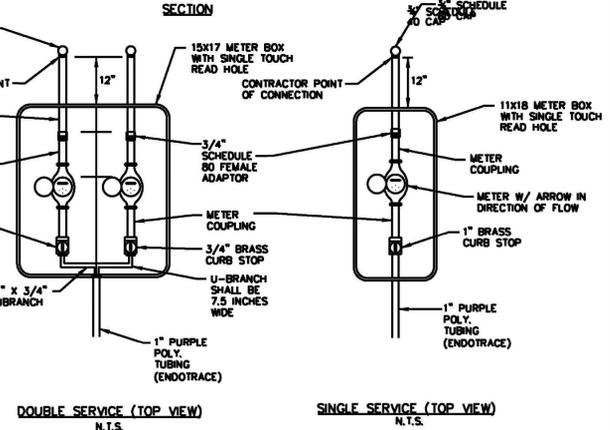
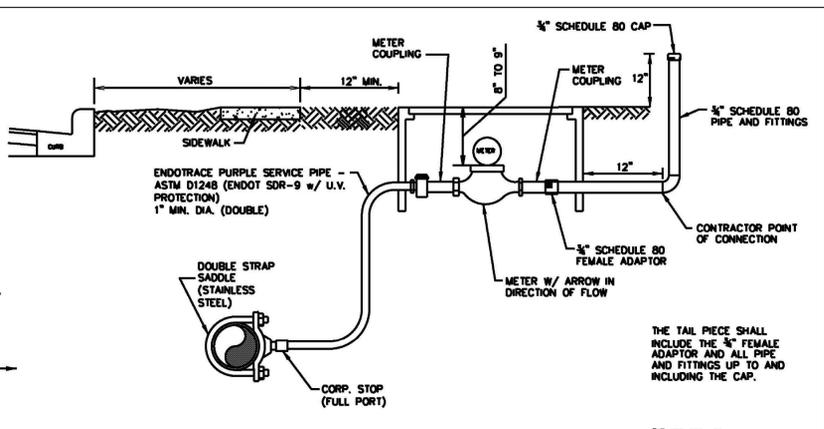
UNIMPROVED CONDITION



IMPROVED CONDITION

VALVE BOX COLLAR N.T.S.

- NOTES:
1. BRONZE IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES. PROVIDE SIZE, TYPE, SERVICE, DIRECTION AND TURNS TO OPEN STAMPED ON DISC. DISC SHALL BE 3" MINIMUM.



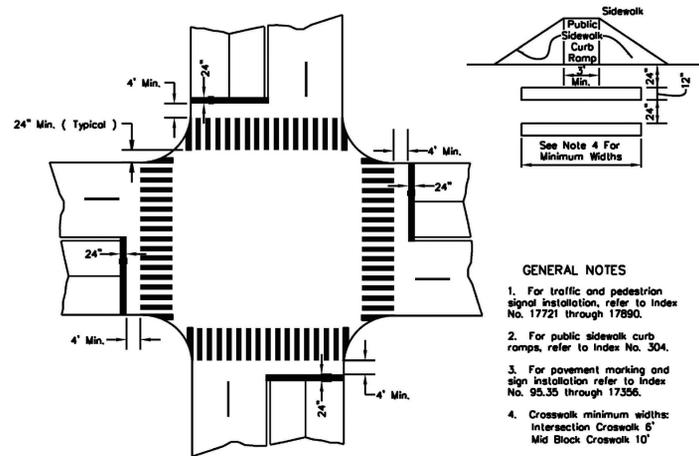
- NOTES:
1. ALL FITTINGS BETWEEN THE WATER MAIN AND THE METER COUPLING SHALL BE BRASS WITH COMPRESSION/PACK JOINT CONNECTIONS.
2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
3. EACH SERVICE SHALL TERMINATE IN A METER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE UTILITY EASEMENT AT THE PROPERTY LINE(S) OF THE LOT(S) TO BE SERVED.

RECLAIMED WATER SINGLE AND DOUBLE SERVICE DETAIL N.T.S.

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GENERAL NOTES:

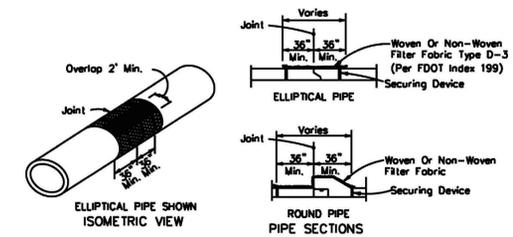
1. ALL NEW STORM AND SANITARY SEWER LINES IN THE CITY OF WINTER GARDEN SHALL BE SUBJECT TO CLOSED CIRCUIT TV INSPECTION PRIOR TO BEING ACCEPTED BY THE CITY, WHETHER PRIVATE OR CITY MAINTAINED. ALL STORM SEWER PIPE SHALL BE REINSPECTED AT THE YEAR END, COST TO BE PAID BY THE OWNER.
2. PIPE MATERIAL SHALL BE AS SHOWN ON THE CONSTRUCTION PLANS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
3. CONTRACTOR AND OWNER ARE RESPONSIBLE FOR ENSURING THAT ALL CITY, COUNTY, STATE (FDEP, FDOT, SURFWD, ETC.), AND FEDERAL PERMITS HAVE BEEN ISSUED FOR THE PROJECT.
4. ALL STORM SYSTEM MUST BE WATER-TIGHT WITH ALL JOINTS WRAPPED.
5. STORM SYSTEM WILL BE CLEANED PRIOR TO BEING TYPED.
6. THE OWNER SHALL KEEP A COPY OF THE WATER MANAGEMENT DISTRICT PERMIT, NPDES, NOI AND SWPP PLAN IN A CONSPICUOUS LOCATION ON THE JOB SITE AT ALL TIMES.
7. ALL STORM SEWER MANHOLES FRAME & COVER SHALL BE ASTM 225.
8. CLEAN SAND SHALL CONSIST OF MATERIAL HAVING LESS THAN 5% PASSING THE #200 SIEVE.
9. ONLY CONCRETE RISER RINGS WILL BE ALLOWED TO BE PLACED FOR STORM MANHOLES. ALL RISER RINGS SHALL BE SEALED TO THE STRUCTURE USING WRAPID SEAL. NO MORE THAN 15" WILL BE ALLOWED.
10. STORM SEWER PIPES SHALL MEET ASTM C76 & ASTM C507.
11. ALL STORM SEWER STRUCTURE SECTIONS SHALL BE SEALED WITH WRAPID SEAL.



GENERAL NOTES

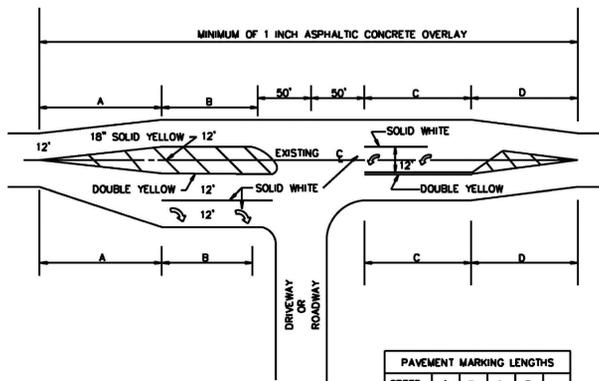
1. For traffic and pedestrian signal installation, refer to Index No. 17721 through 17890.
2. For public sidewalk curb ramps, refer to Index No. 304.
3. For pavement marking and sign installation refer to Index No. 95.35 through 17356.
4. Crosswalk minimum widths: Intersection Crosswalk 6' Mid Block Crosswalk 10'

SPECIAL EMPHASIS CROSSWALK SIGNALIZED OR STOP SIGN CONTROLLED INTERSECTION
N.T.S.



Cost of filter fabric jacket to be included in cost of pipe culverts.
FOR ALL PIPE TYPES - CONCRETE PIPE SHOWN

FILTER FABRIC JACKET
N.T.S.

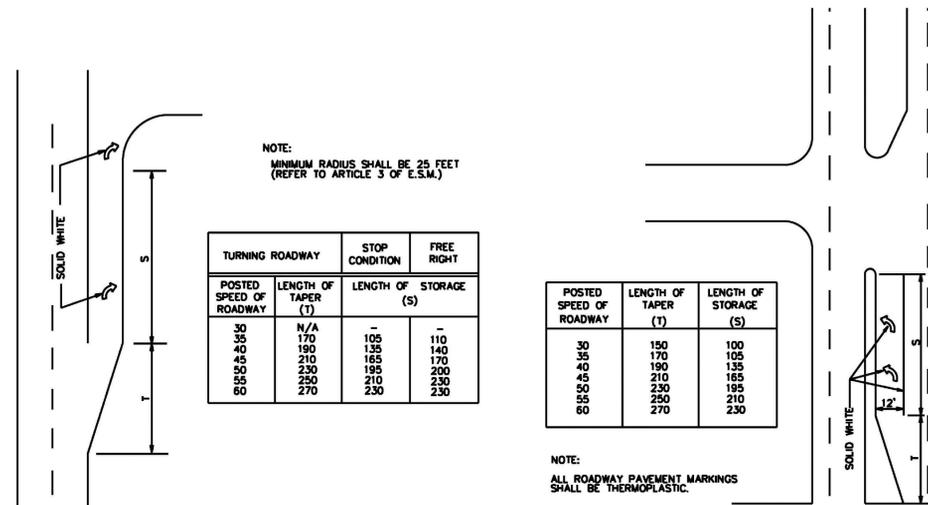


NOTES:

- 1) STRIPING ACCORDING TO F.D.O.T. STANDARD INDEX #17346B.
- 2) LANE WIDTHS TO MATCH EXISTING LANE WIDTHS.
- 3) MINIMUM RADIUS SHALL BE 25 FEET (REFER TO ARTICLE 3 OF E.S.M.)
- 4) ALL ROADWAY PAVEMENT MARKING SHALL BE THERMOPLASTIC.

TYPICAL INTERSECTION
N.T.S.

PAVEMENT MARKING LENGTHS				
SPEED	A	B	C	D
40 MPH	190'	110'	135'	190'
45 MPH	210'	140'	165'	210'
50 MPH	230'	170'	195'	230'
55 MPH	250'	200'	210'	250'
60 MPH	270'	230'	230'	270'

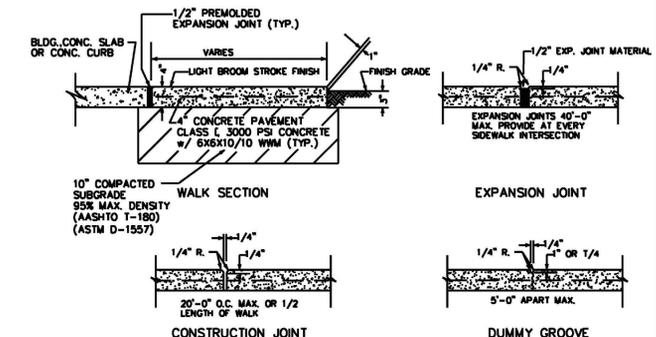


RIGHT TURN DECELERATION LANE
N.T.S.

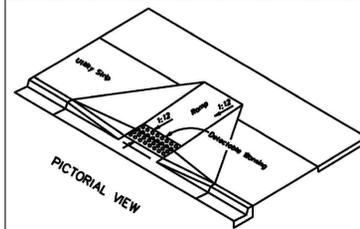
POSTED SPEED OF ROADWAY	LENGTH OF TAPER (T)	LENGTH OF STORAGE (S)
30	150	100
35	170	105
40	190	135
45	210	165
50	230	195
55	250	210
60	270	230

NOTE:
ALL ROADWAY PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.

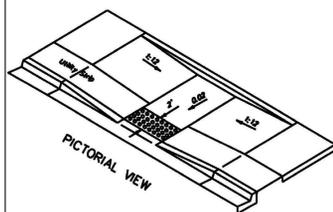
LEFT TURN STORAGE LANE (DIVIDED HIGHWAY)
N.T.S.



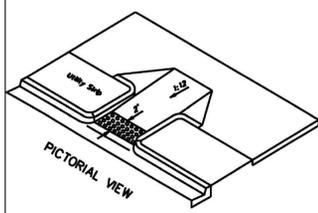
SIDEWALK DETAILS
N.T.S.



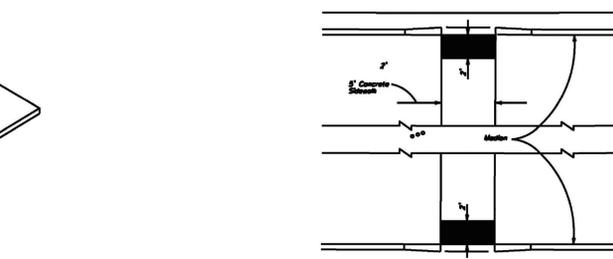
PICTORIAL VIEW



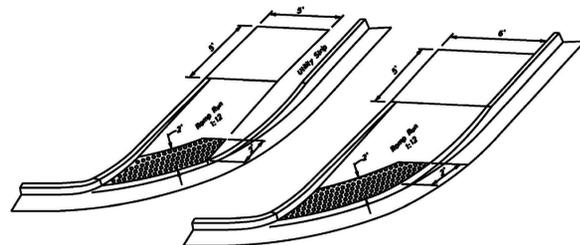
PICTORIAL VIEW



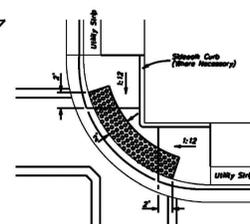
PICTORIAL VIEW



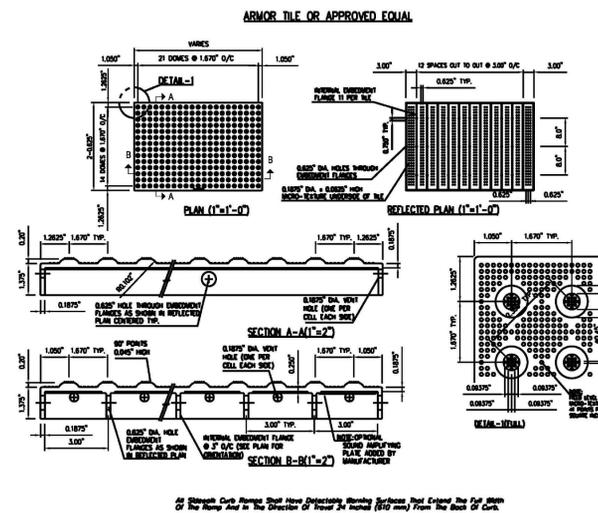
PLAN



PICTORIAL VIEWS



PLAN



NOTE:
1. CURB RAMP DETECTABLE WARNING TILE SHALL BE ARMOR TILE OR EQUAL.

CURB RAMP DETECTABLE WARNING DETAIL
N.T.S.

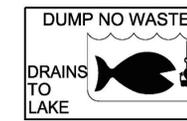


PLATE SHALL BE ADDED TO STORMWATER INLETS AS REQUIRED BY THE CITY.



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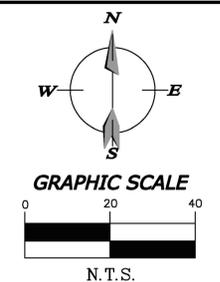
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Details 4 City Road 1

Revisions:

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Office - 407-217-5487
Brian@DenhamENG.com
www.DenhamENG.com

Owner:
30 N. Park, LLC
525 W. Plant St.,
Winter Garden, FL 34787

Project:
30 N. Park Town Homes at Winter Garden

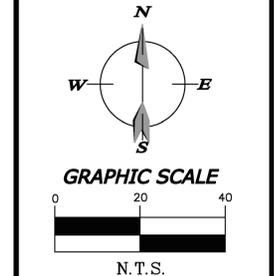
Plan Set:
Construction Plans

Sheet:
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City Road 2

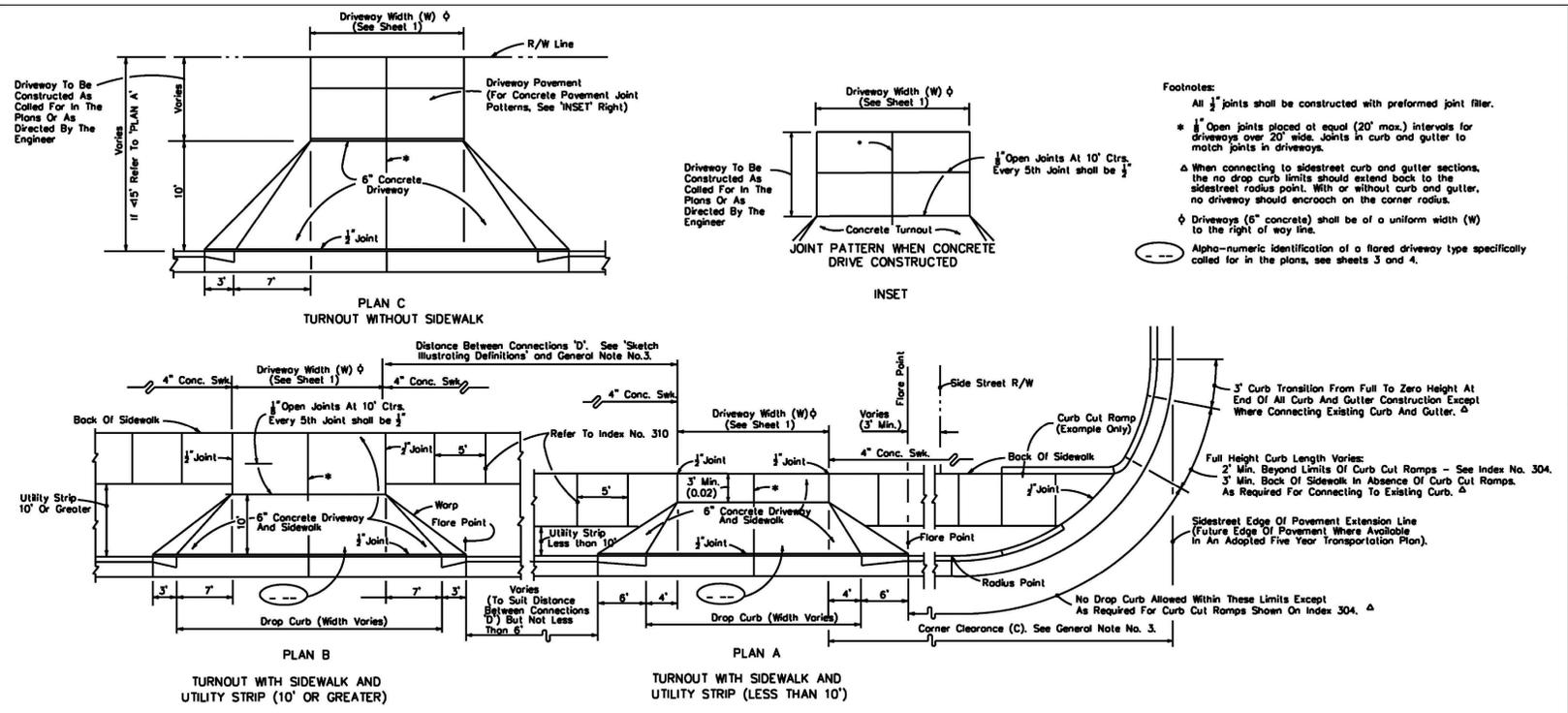
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J. Brian Denham, P.E.
Date: 04-30-20
FL Registration #58008
Certificate of Authorization #29666

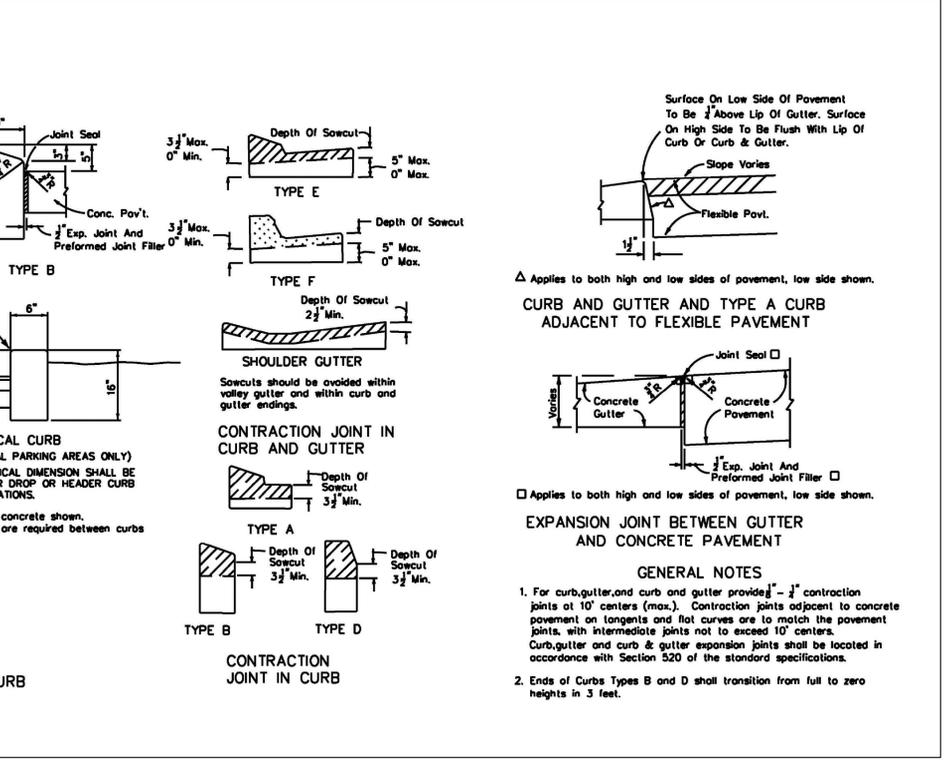
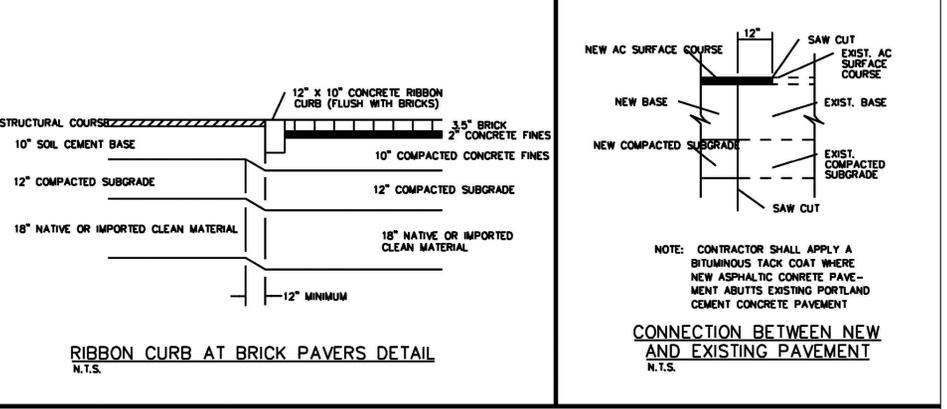
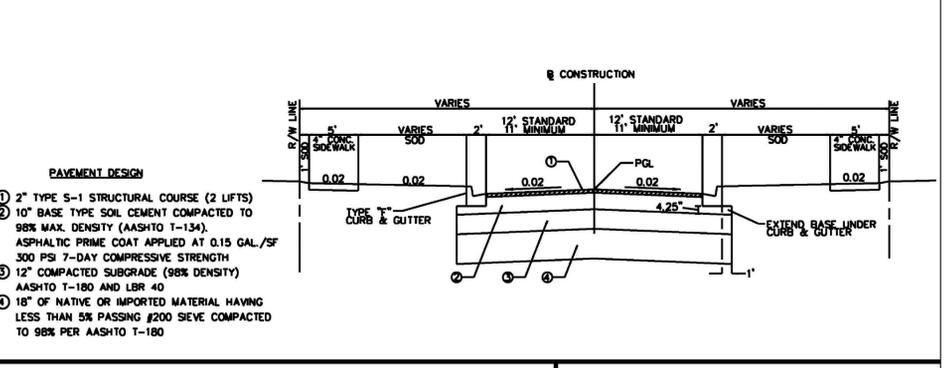
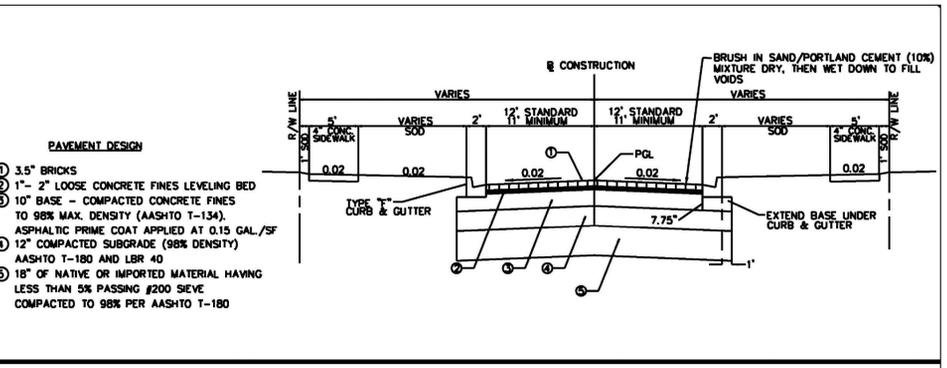
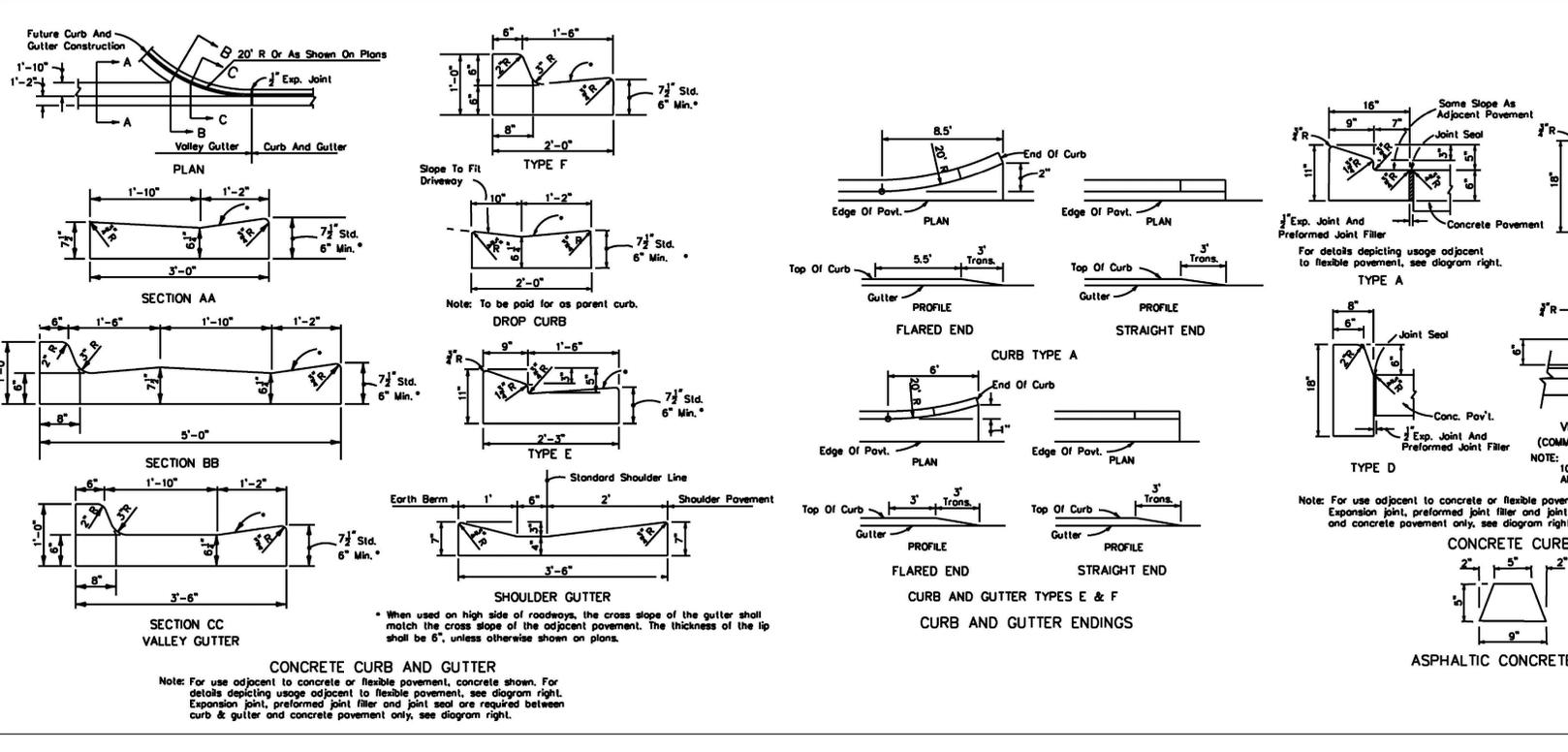


Sheet Number
C708



SPECIAL NOTES FOR URBAN FLARED TURNOUTS
1. Driveway 6" concrete pavement and drop curb shall meet the material and construction requirements of Sections 522 and 520 respectively of the FDOT Standard Specifications.
2. For details of drop curb and curb cut ramps refer to indexes Nos. 300 and 304 respectively.
3. Where turnouts are constructed within existing curb and gutter, the existing curb and gutter shall be removed either to the nearest joint beyond the flare point or to the extent that no remaining section is less than 5 feet long; and, drop curb constructed in accordance with Notes Nos. 1 and 2.
4. Cost for preformed joint filler shall be included in the cost for the concrete pavement (concrete sidewalk, 6" thick).
5. For turnouts with radial returns see the requirements under the "Summary Of Geometric Requirements For Turnouts", the "General Notes", the details of "Rural Turnout Construction" and the detail of "Limits Of Clearing & Grubbing, Stabilization And Base At Intersections".
6. Department maintenance of pavement shall extend out to the right of way or 2 feet back of sidewalk, whichever distance is less.
7. The maintenance and operation of highway lighting, traffic signals, associated equipment, and other necessary devices shall be the responsibility of a public agency.
8. All pavement markings on the State highways, including acceleration and deceleration lane markings, and signing installed for the operation of the State highway shall be maintained by the Department.
9. All signing and marking installed for the operation of the connection (such as stop bars and stop signs for the connection) shall be the responsibility of the permittee.
10. Turnouts will be paid for under the contract unit price for Sidewalk Concrete (6" Thick), SY.

DESIGN NOTES FOR URBAN FLARED TURNOUTS
1. Driveways indicated as "Adverse Applications" are those with slopes that can cause overhang drag for representative standard passenger vehicles under fully loaded conditions; or, those with slopes that can cause drivers who are leaving the roadway to slow or pause to the extent that traffic demand volumes will be impacted.
2. The standard flared driveways on this index may not accommodate vehicles with low beds, low undercarriage or low appendage features. Where such vehicles are design vehicle driveways are to have site specific flare designs or Category designs.
3. When specific flare type driveways are to be constructed, the type shall be designated in the plans using the assigned alpha-numeric designation.
Driveways indicated as "Marginal Applications" are those with slopes that can cause overhang drag for representative standard passenger vehicles under fully loaded conditions when the driveway is located on the low side of fully superelevated roadways.
Driveways indicated as "General Applications" are those with slopes that can readily accommodate representative standard trucks, vans, busses and recreational vehicles operating under normal crown and superelevation conditions.
Note: See sheet 1 for 'GENERAL NOTES'





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Plan Set:
**Construction
Plans**

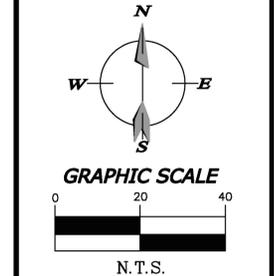
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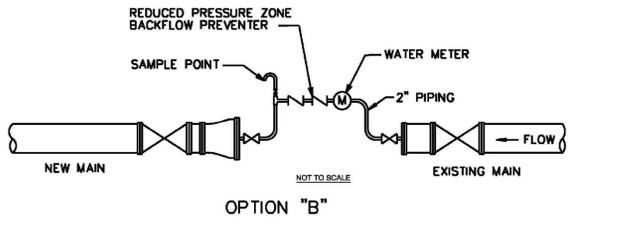
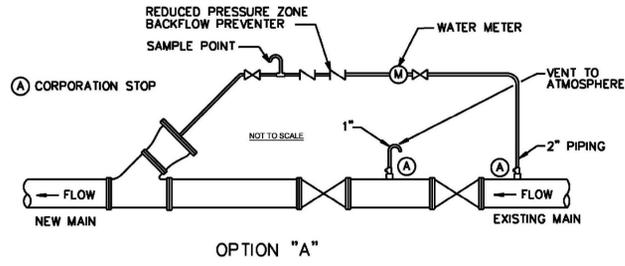
NO.	DATE	DESCRIPTION
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2	07-17-20	City of Winter Garden Submittal
3	08-28-20	Per city comments
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Sheet Number
C709

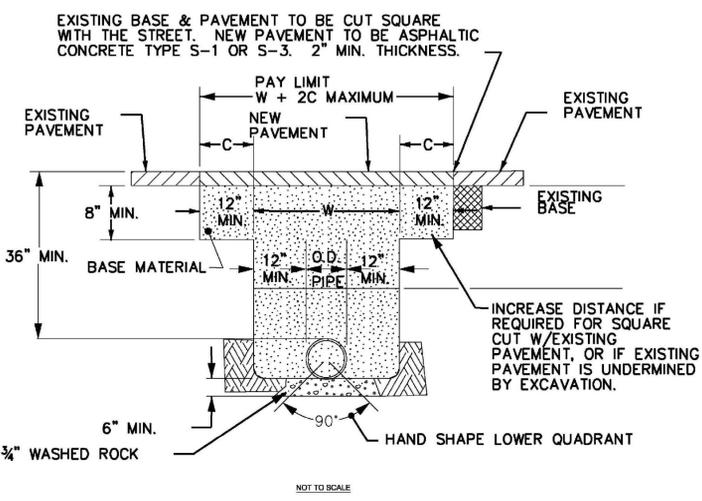


EXCEPT AS INDICATED BELOW FOR SHORT LENGTHS, EACH SECTION OF PIPELINE SHALL BE THOROUGHLY CLEANED WITH ONE POLYURETHANE FOAM PIG EACH TIME.
A CITY REPRESENTATIVE SHALL BE PRESENT AT THE TIME OF INSERTION AND EXIT OF THE PIGS. LINES SHALL BE PIGGED AND/OR FLUSHED UNTIL THE WATER RUNS CLEAN AND IS APPROVED BY THE CITY REPRESENTATIVE. THE CITY REPRESENTATIVE SHALL BE GIVEN 48 HOURS MINIMUM NOTICE PRIOR TO PIGGING OR FLUSHING.

ON SHORT LENGTHS OF PIPELINE (100' MAX) CLEANING MAY BE ACCOMPLISHED BY FLUSHING WITH WATER AT A MINIMUM VELOCITY OF 2.5 FEET PER SECOND. WATER REQUIRED FOR TESTING AND CLEANING SHALL BE SUPPLIED BY THE CITY AT THE CONTRACTOR'S EXPENSE. WATER SHALL BE FROM A POTABLE SOURCE SATISFACTORY TO THE CITY.

- NOTES:**
- REDUCER TO BE NEW MAIN SIZE PLUS 2" LARGER.
 - WYE TO BE PLUGGED AND RESTRAINED AT THE END OF PIGGING.
 - AT THE END OF THE PROJECT, ALL CORPORATIONS TO BE REMOVED AND CORPORATION PLUGS TO BE INSTALLED.
 - SAMPLE POINT TO BE LOCATED AFTER BACKFLOW PREVENTER.
 - ALL MATERIALS, PIPE, AND FITTINGS SHALL CONFORM TO THE CITY OF WINTER GARDEN STANDARDS.
 - INSTALL REDUCER WITH PIG INSIDE. ONLY ONE PIG WILL BE ALLOWED TO BE RUN THROUGH THE MAIN AT A TIME. PIPE EXTENSION CAP MAY BE REQUIRED.
 - PIGGING PROCEDURE TO BE PERFORMED AT LEAST TWICE.

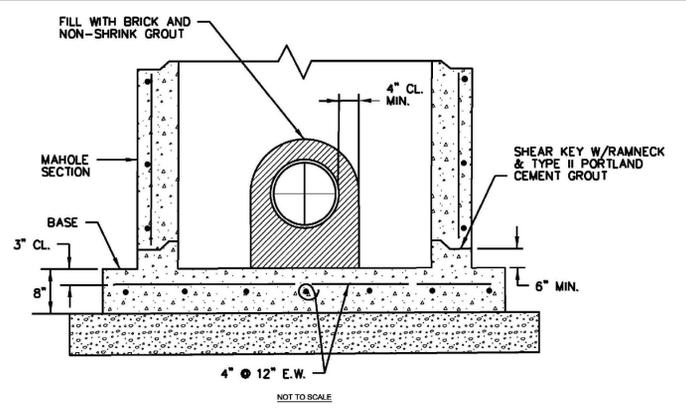
PIPE PIGGING DETAIL



W = O.D. OF PIPE + 12" MIN AT BOTH SIDES OF PIPE.
C = VARIES W/SOIL TYPE (CONTACT ENGINEER OF RECORD FOR DETERMINATION IN FIELD).

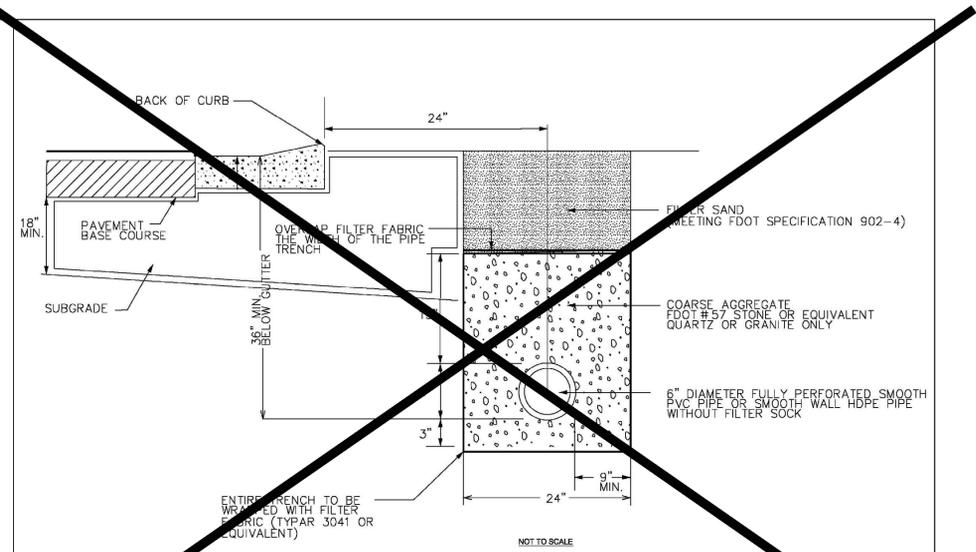
ALL BACKFILL COMPACTION SHALL BE 98% OF MAXIMUM DENSITY.

PAVEMENT RESTORATION DETAIL

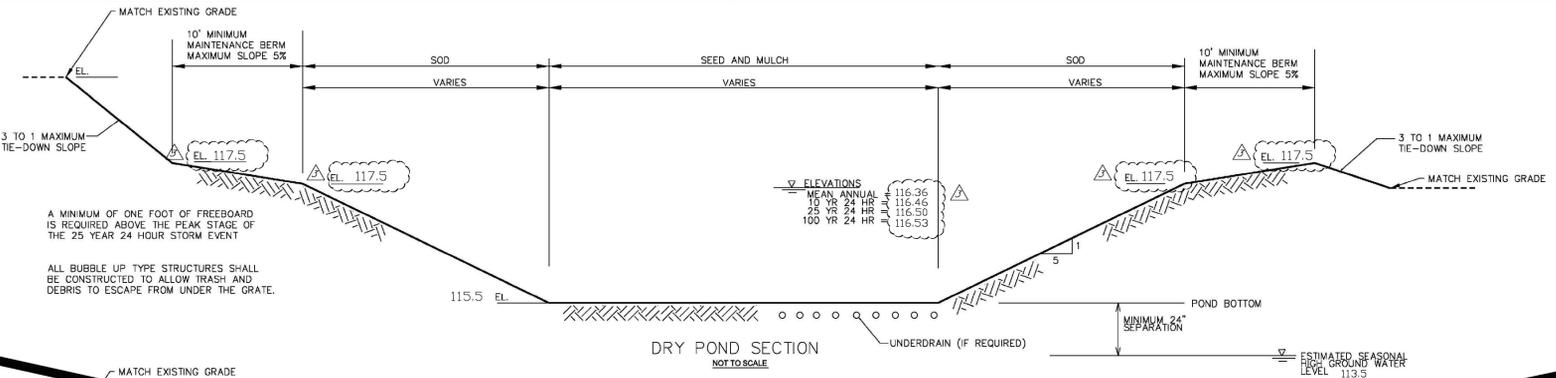


- TO CONSTRUCT NEW MANHOLE OVER EXISTING SEWER, SLIDE BASE UNDER PIPE AND SET MANHOLE SECTION ON TOP.
- FOR ADDITIONAL DETAILS NOT SHOWN, SEE "GRAVITY SEWER MANHOLE STANDARD".
- AT THE END OF THE PROJECT, ALL CORPORATIONS TO BE REMOVED AND CORPORATION PLUGS TO BE INSTALLED. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPORT OF EXISTING SEWER DURING INSTALLATION OF MANHOLE.

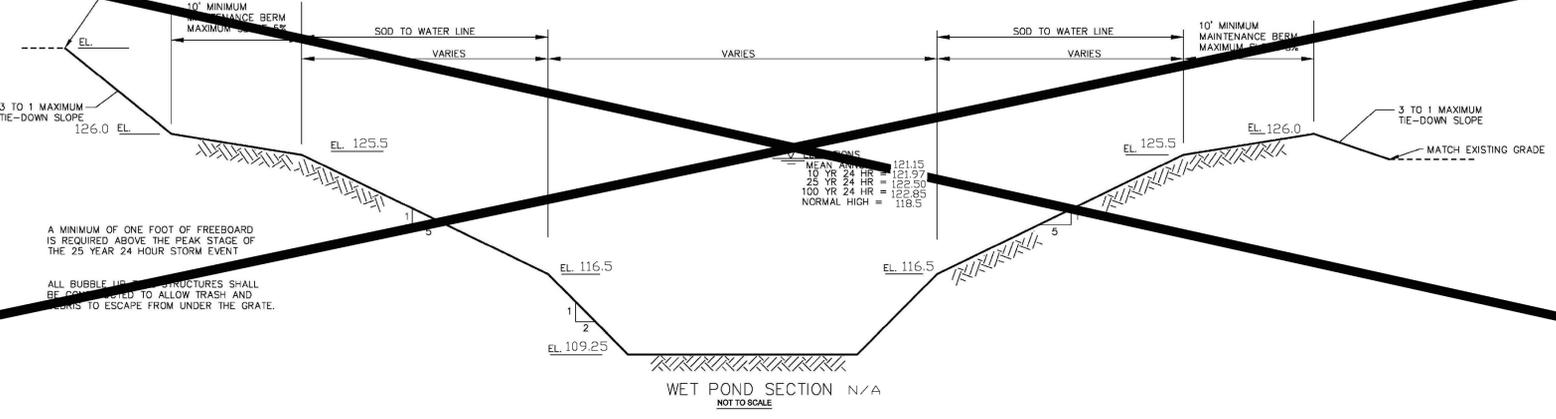
GRAVITY SEWER DOGHOUSE MANHOLE



UNDERDRAIN DETAIL



DRY POND SECTION



WET POND SECTION

POND SECTIONS



STREET SIGN BLADE DETAIL

THE BACKGROUND COLOR SHALL BE RETROREFLECTIVE GREEN AND THE LETTERING AND BORDER SHALL BE RETROREFLECTIVE WHITE.

Not for Construction

Ephesians 6:11-17



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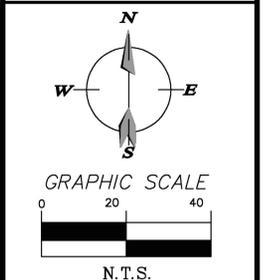
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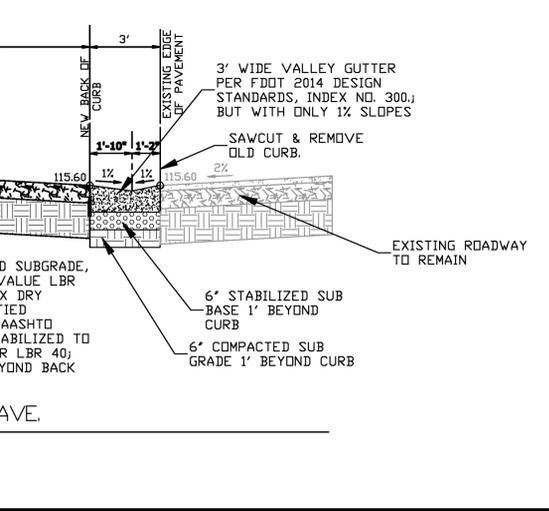
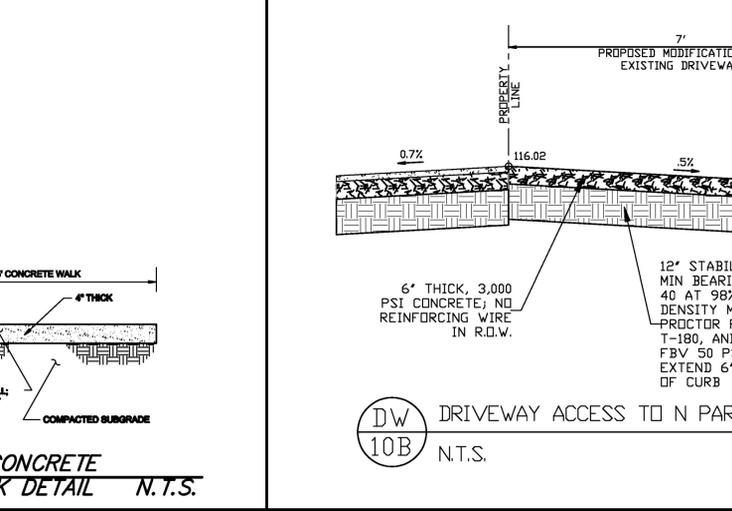
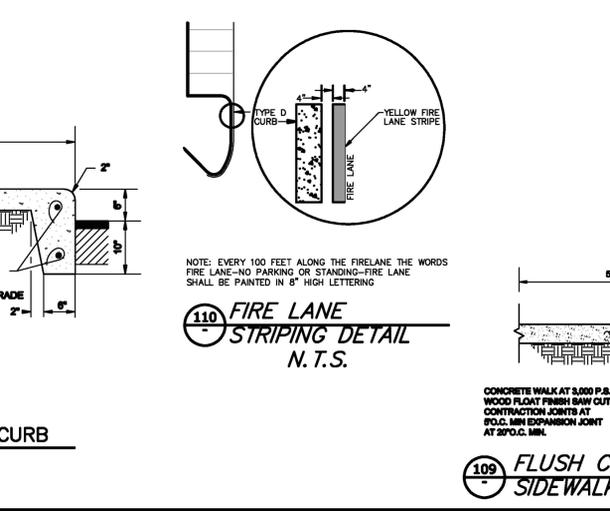
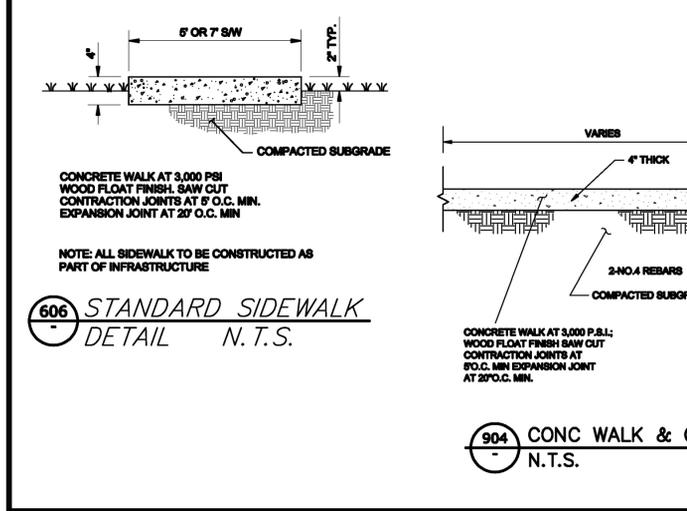
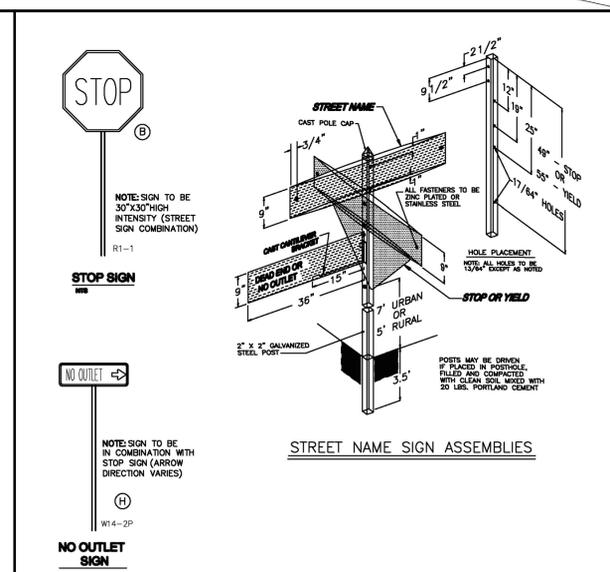
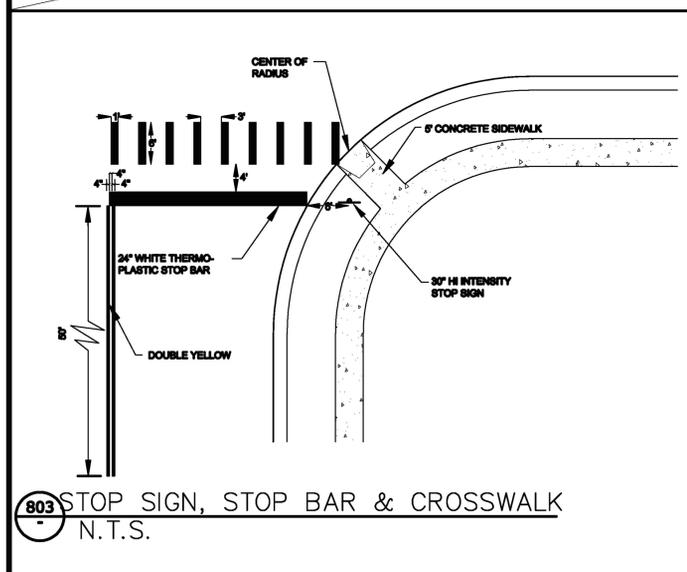
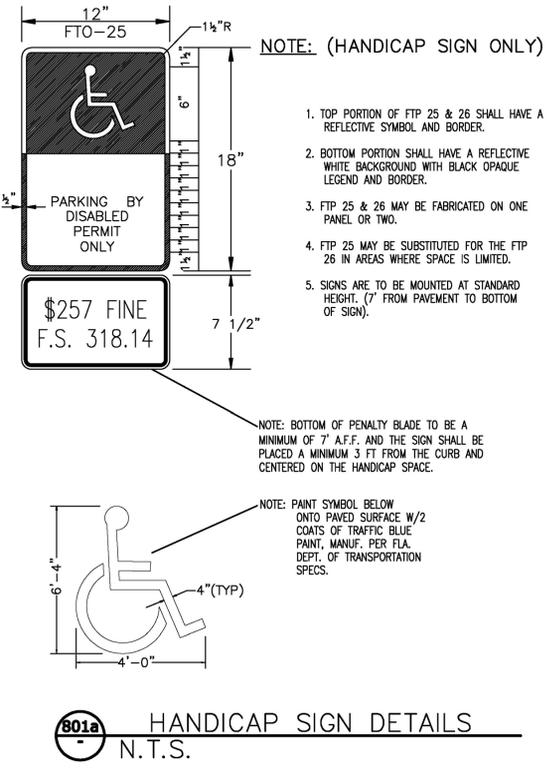
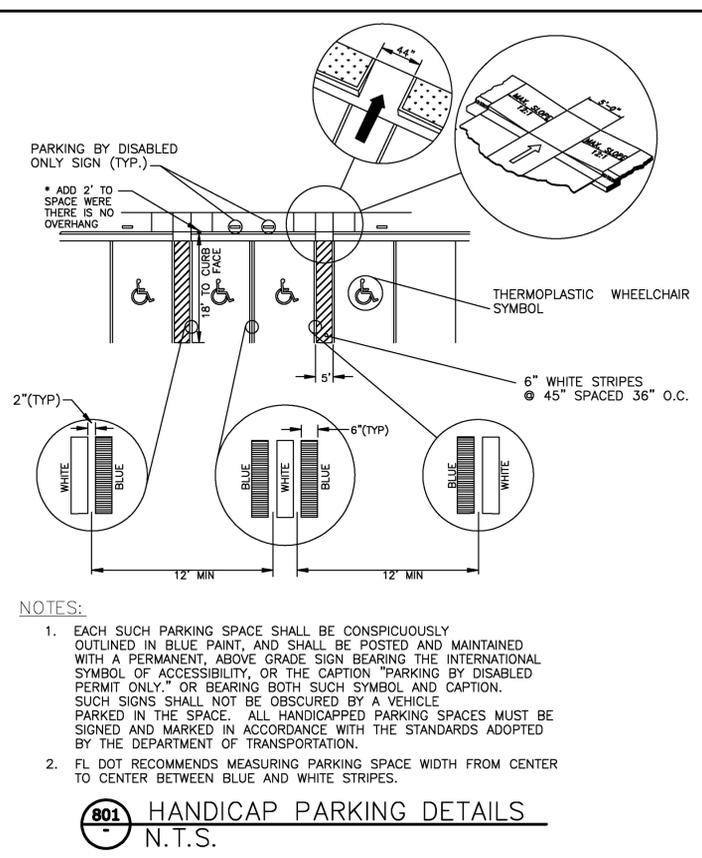
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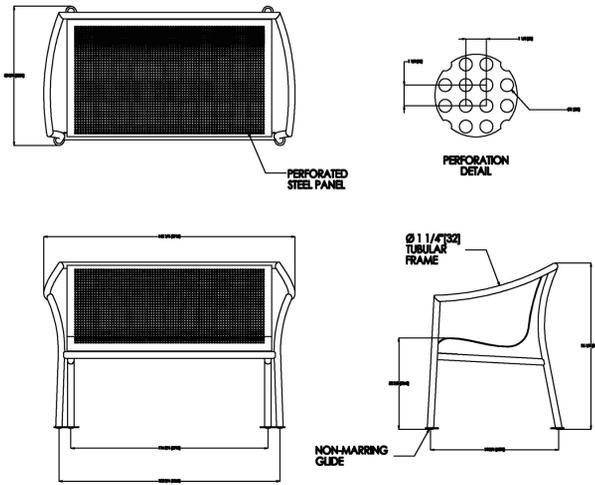
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Sheet Number
C710



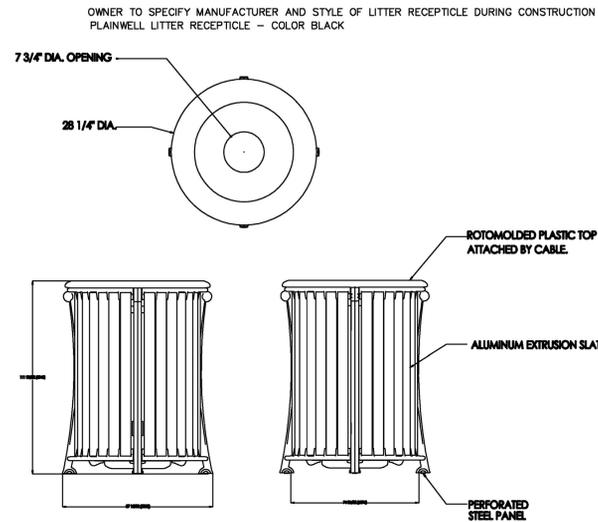


OWNER TO SPECIFY MANUFACTURER AND STYLE OF BENCH DURING CONSTRUCTION

TOWNE SQUARE - BACKED BENCH, 49" LENGTH, PERFORATED STEEL SEAT - COLOR BLACK
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BENCH DETAIL

N.T.S.

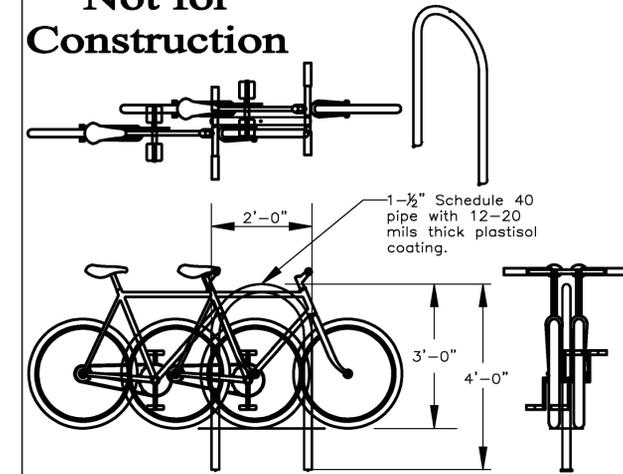


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LITTER RECEPTICLE

N.T.S.

**Not for
Construction**



U-2 BIKE RACK

Ephesians 6:11-17



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**Construction
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Sheet:
**Details
 Site 2**

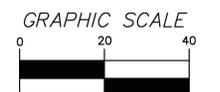
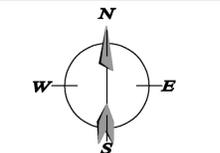
Revisions:

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N.T.S.

Sheet Number
C711

IRRIGATION NOTES:

ALL IRRIGATION EQUIPMENTS SHALL BE OPERATED IN ACCORDANCE WITH THE INDIVIDUAL SYSTEM GUIDELINES AND MAINTAINED IN GOOD WORKING ORDER TO PREVENT LEAKS AND WASTEFUL OR UNNECESSARY USE OF WATER AND TO INSURE PLANT SURVIVABILITY

IRRIGATION RUNOFF AND OVER SPRAY SHALL BE MINIMIZED. IRRIGATION SHALL PROVIDE UNIFORM AND ADEQUATE COVERAGE REUSE WATER SHALL BE USED IF APPLICABLE. IRRIGATION AND IRRIGATION PARTS TO BE INSTALLED AT INDUSTRY STANDARD MAINLINE TO BE SLEEVED AT THE EDGES, UNDER ALL WALKS, DRIVES, CONCRETE, ASPHALT, PAVERS

ALL IRRIGATION PIPE, VALVES, WATER DISTRIBUTORS, PARTS MUST HAVE PROPER ADAPTORS FOR LATERALS AND DRIP LINES

CONTRACTOR TO INSTALL PROPER DRIP TUBING AND EMITTERS TO EACH INDIVIDUAL PLANT

DRIPLINES ARE NOT TO BE BURIED IN BEDS THEY ARE TO BE COVERED WITH 3" OF MULCH AS PRESCRIBED

FOR PLANTS ON THE PLANTING PLAN DRIPLINES ARE TO BE STAKED DOWN EVERY THREE FEET

FLUSH VALVES TO BE INSTALLED AT END OF EVERY LATERAL LINE BACK FLOW, PRESSURE REGULATOR AND RAIN SENSOR TO BE INSTALLED

CONTRACTOR TO PROGRAM AND SET CONTROLLER SCHEDULE VALVES AND PIPES AND SLEEVES ARE DRAWN AND INDICATED FOR GRAPHIC CLARITY. LOCATE AS APPROPRIATE.

MAIN AND LATERALS TO BE CI 200 PVC PIPE PIPES AND OR WTRES TO SHARE SAME TRENCH WERE APPLICABLE AND POSSIBLE

THIS PLAN IS FOR A PERMANENT IRRIGATION SYSTEM RAIN SENSOR DEVICE TO BE PLACED IN AN UNOBSTRUCTED LOCATION TO CAPTURE RAINWATER FROM THE SKY

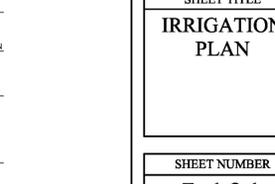
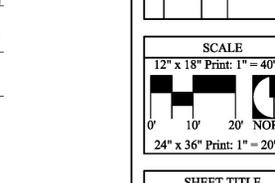
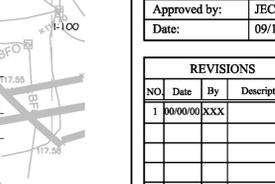
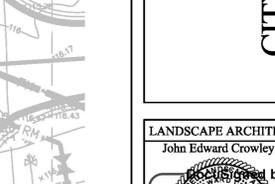
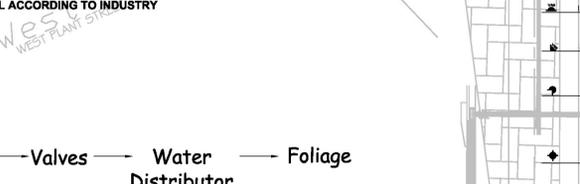
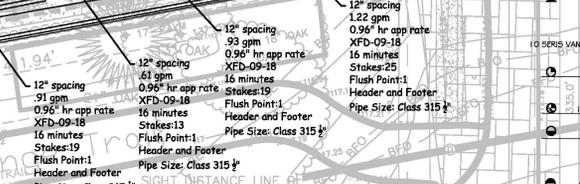
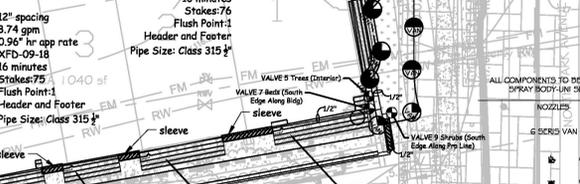
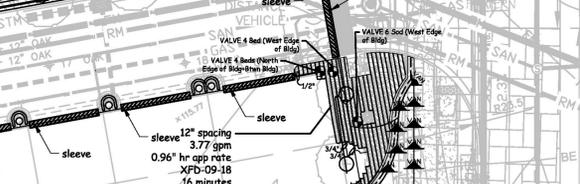
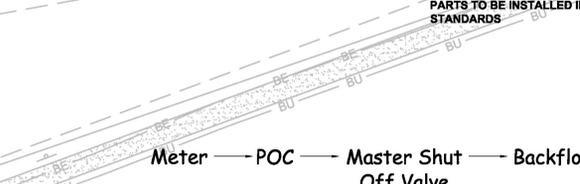
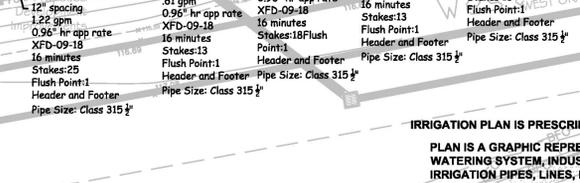
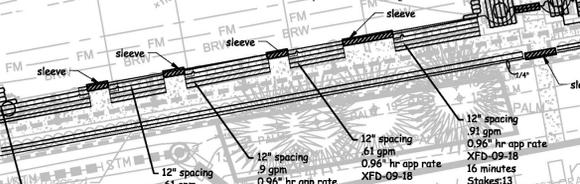
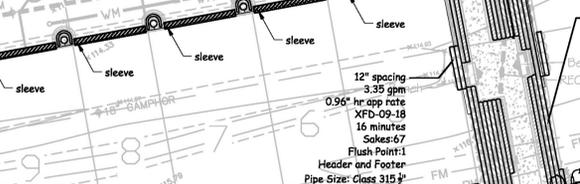
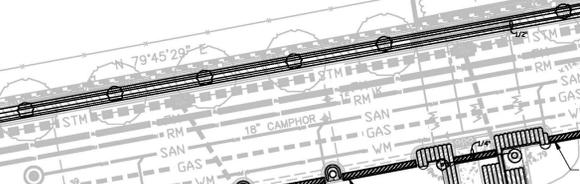
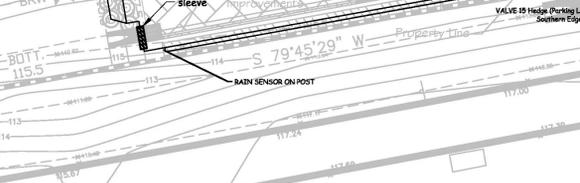
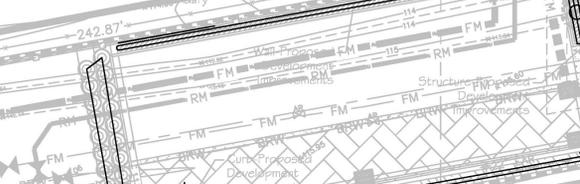
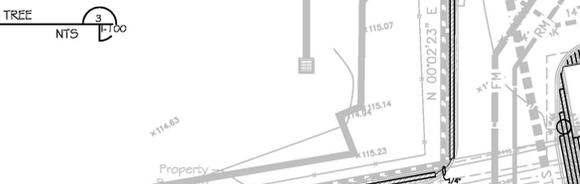
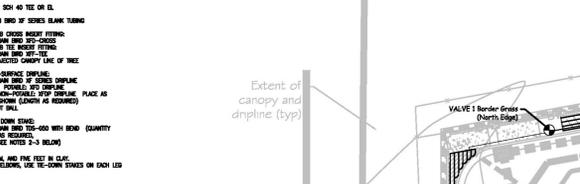
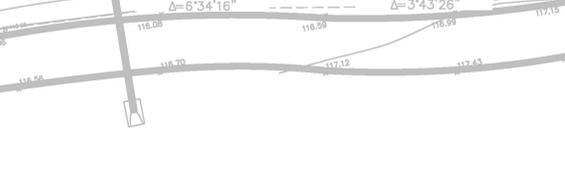
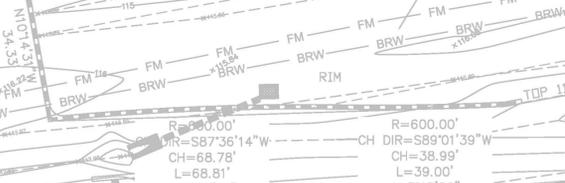
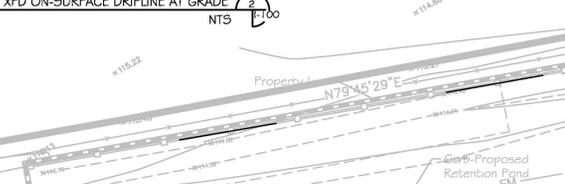
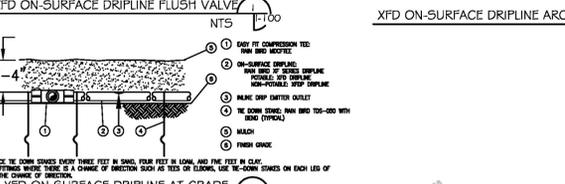
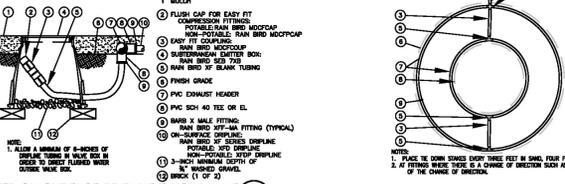
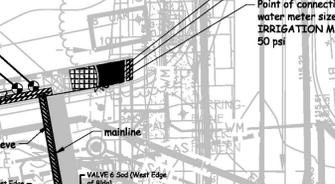
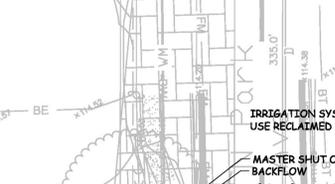
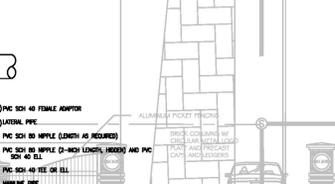
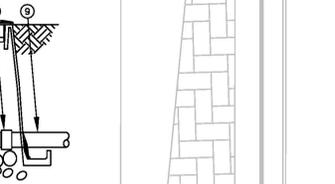
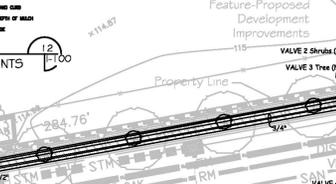
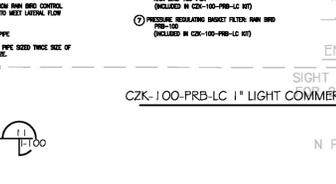
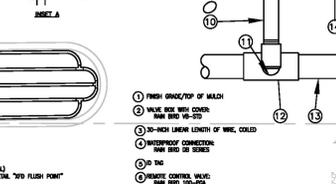
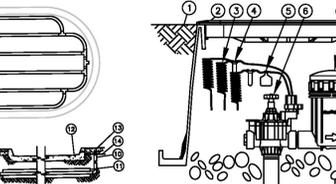
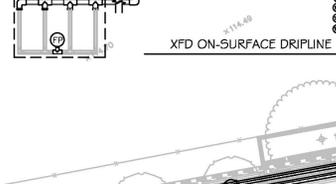
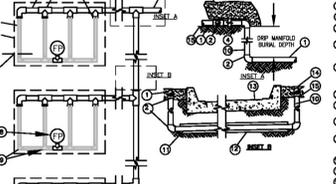
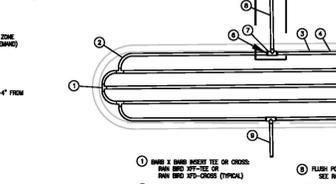
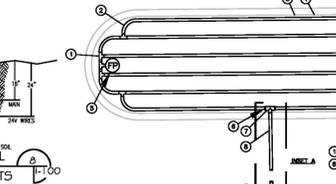
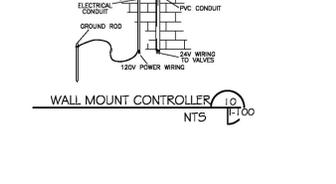
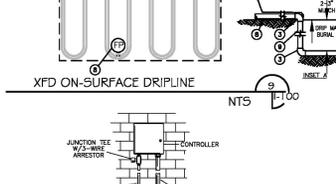
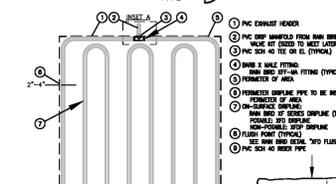
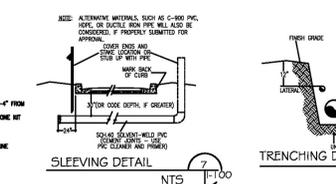
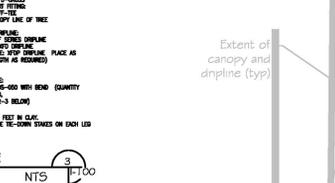
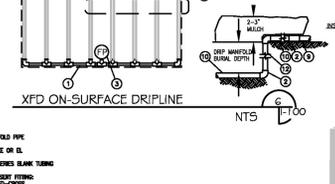
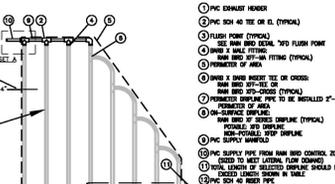
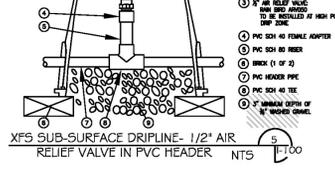
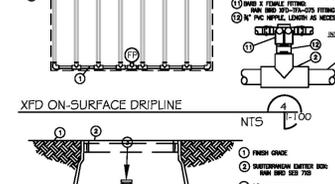
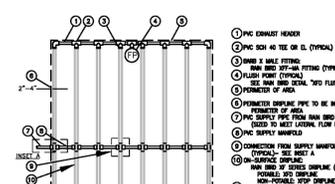
When Daylight Saving Time is in effect, landscape irrigation shall not occur except in accordance with the following irrigation schedule:

Nonresidential landscape irrigation may occur only on Tuesday and Friday and shall not occur between 10:00 a.m. and 4:00 p.m.

When Eastern Standard Time is in effect, landscape irrigation shall occur only in accordance with the following irrigation schedule:

Nonresidential landscape irrigation may occur only on Tuesday and shall not occur between 10:00 a.m. and 4:00 p.m.

Spring: 2 x week, 1.5"
Summer: 2 x week, 2.0"
Fall: 2 x week, 1.5"
Fall: 2 x week, 1.5"



IRRIGATION PLAN IS PRESCRIPTIVE STANDARD DESIGN ONLY
PLAN IS A GRAPHIC REPRESENTATION OF INTENDED WATERING SYSTEM. INDUSTRY STANDARDS APPLY. ALL IRRIGATION PIPES, LINES, LATERALS, HEADS, SPRINKLERS, PARTS TO BE INSTALLED IN SOIL ACCORDING TO INDUSTRY STANDARDS

Meter — POC — Master Shut Off Valve — Backflow — Valves — Water Distributor — Foliage

Sustainable Design + Consulting llc
Landscape Architecture
sustainable@sdcllc.com
352.784.0488

30 N. PARK TOWNHOMES
CITY OF WINTER GARDEN, FLORIDA

LANDSCAPE ARCHITECT
John Edward Crowley
LA 6667183
AGARDE 17444
RLA #6667183

Designed By:	JEC
Drawn By:	EC
Checked By:	JEC
Approved by:	JEC
Date:	09/11/20

REVISIONS			
NO.	Date	By	Description
1	00/00/00	XXX	

SCALE
12" x 18" Print: 1" = 40'-0"
24" x 36" Print: 1" = 20'-0"

SHEET TITLE
IRRIGATION PLAN

SHEET NUMBER
I-101

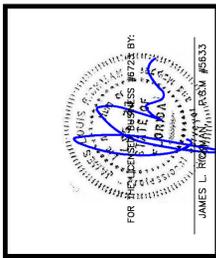
C:\Users\Edward\Desktop\CAD_30 North Park 30 North Park Sustainable Design and Consulting llc - IRRIGATION.dwg



16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654-5355

BOUNDARY and TOPOGRAPHIC SURVEY
OF
NORTHWEST CORNER OF PARK AVE. & PLANT ST.
SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST
ORANGE COUNTY, FLORIDA

FOR:



DATE	REVISIONS
7/28/20	ADD UTILITY EASEMENTS
7/29/20	ADD LUG UTILITIES
7/29/20	COMPLETE DESCRIPTIONS
5/21/19	ADD NEW LEGAL
4/22/19	ADD TREES AND INVERTS

JOB # 20180751
DATE: 2/15/2019
SCALE: 1" = 20'
CALC BY: DY/JLR
FIELD BY: CD/JS/AH
DRAWN BY: DY/JLR
CHECKED BY: JJ/JLR

SHEET 1 OF 3

LEGAL DESCRIPTION: PARCEL "A" (as provided in Title Commitment)

A parcel of land lying in Section 22, Township 22 South, Range 27 East, Orange County, Florida, being a portion of the land described in Official Records Book 5017, Pages 3567 through 3586, Public Records of Orange County Florida Being more particularly described as follows:

Commencing at the Southeast corner of the Northeast 1/4 of Section 22, Township 22 South, Range 27 East, Orange County, Florida, run North 00°02'23" East for a distance of 2,288.96 feet along the East boundary of said Northeast 1/4 to a point on the Northerly right-of-way line of the former Tavares and Gulf Railroad as described and recorded in Deed Book 104, Page 407, Public Records of Orange County, Florida for the POINT OF BEGINNING, said Point of Beginning also being on the Southerly right-of-way line of the former Orange Belt Railway Company Railroad as described and recorded in Deed Book 40, Page 275, Public Records of Orange County, thence departing aforesaid East boundary line of Section 22, run South 79°42'07" West along said Southerly right-of-way line for a distance of 315.24 feet; thence departing said Southerly right-of-way line run North 00°02'23" East, parallel to the aforesaid East line of Section 22 for a distance of 50.82 feet; thence run North 79°42'07" East for a distance of 315.24 feet to a point on the aforesaid East boundary line of Section 22; thence run South 00°02'23" West along said East boundary line for a distance of 50.82 feet to the POINT OF BEGINNING.

Less and except the East 30.00 feet thereof for right of way.

LEGAL DESCRIPTION: PARCEL "B" (as provided in Title Commitment)

Beginning at a point on the Westerly R-O-W line of Park Avenue, said point located 25 feet Northwardly, as measured at right angles, from the center line of Grantor's Tract No.6; from the P.O.B. thus described, run thence Westwardly parallel with the Center line 300 feet; thence Northwardly parallel with the said Westerly R-O-W line of Park Avenue 50 feet, more or less, to a point located 75 feet Northwardly, as measured at right angles, from the Center Line; thence Eastwardly parallel with said Center line 300 feet to the said Westerly R-O-W line of Park Avenue; thence Southwardly along the said Westerly R-O-W line of Park Avenue 50 feet, more or less to the P.O.B. Being shown on print of Grantor's Division Engineer's Drawing No. 1146-102, dated May 26, 1971, last revised December 28, 1973. Less and Except the East 30 feet thereof.

Said lands lying in Section 22, Township 22 South, Range 27 East, Orange County Florida. Also described as:

Begin at the intersection of the West Right of Way line of Park Avenue and the North Right of Way line of the former Seaboard Coast Line Railroad Right of Way, run Westerly, parallel to said Railroad Right of Way for 300 feet, thence run Northerly, parallel with the said West Right of Way line of Park Avenue 50 feet, run thence Northeasterly, parallel to said Railroad Right of Way, 300 feet, thence run Southerly along the said West Right of Way line of Park Avenue 50 feet to the Point of Beginning, lying in Section 22, Township 22 South, Range 27 East, Orange County Florida.

LESS & EXCEPT the East 30 feet thereof

SURVEYOR'S NOTES ON SCHEDULE BII OF TITLE COMMITMENTS:

Parcel "A" as prepared by First American Title Insurance, File Number 2037-3714555, Effective Date of February 22, 2017 at 8:00 A.M.

9. Easement Agreement in favor of Florida Power Corporation recorded December 19, 1995 in Book 4989, Page 2317. does not affect subject property and is shown hereon.

Parcel "B" as prepared by Manzo & Associates, P.A., Order Number 6209635, Customer Reference Number 2017023631, Effective Date of February 7, 2017 at 11:00 P.M..

6. Deed recorded in Official Records Book 4989, Page 2317. Affects subject property and is shown hereon.

7. Easement Agreement in favor of Florida Power Corporation recorded December 19, 1995 in Book 4989, Page 2317. does not affect subject property and is shown hereon.

SURVEYOR'S NOTES:

- Bearings shown hereon are based on the West right-of-way line of N. Park Ave. as being N00°02'23"E. (an assumed bearing for angular designation only)
- There may be easements and restrictions of record and/or private agreements not furnished to this surveyor or shown on this boundary survey that may affect property rights and/or land use rights of the subject property.
- This Survey was performed with the benefit of Insurance Title Commitments. Parcel "A" as prepared by First American Title Insurance, File Number 2037-3714555, Effective Date of February 22, 2017 at 8:00 A.M. and Parcel "B" as prepared by Manzo & Associates, P.A., Order Number 6209635, Customer Reference Number 2017023631, Effective Date of February 7, 2017 at 11:00 P.M..
- There may be environmental issues and/or other matters regulated by various Departments of Federal, State or Local Governments affecting the subject property not shown on this survey.
- This Survey was performed for the sole and exclusive benefit of the entities listed hereon and shall not be relied upon by any other entity or individual whomsoever.
- This Survey is not valid without the signature and original raised seal of a Florida licensed surveyor and mapper.
- Underground utilities and improvements were not located, unless shown hereon.
- Underground utilities shown hereon were located and marked by the individual utility companies. This surveyor only shows these above ground markings as field located and is not responsible for inaccurate and/or possible utilities not shown.
- Subject property shown hereon is in Zone X, area determined to be outside the 0.2% annual chance floodplain, according to Flood Insurance Rate Map panel number 12095C0205F, map date 9/25/2009.
- Last date in field: February 24, 2017.



VICINITY MAP NOT TO SCALE

LEGAL DESCRIPTION: (OVERALL PARCEL) (description prepared by this firm)

A parcel of land lying in Section 22, Township 22 South, Range 27 East, Orange County, Florida, being a portion of the land described in Official Records Book 5017, Pages 3567 through 3586, Public Records of Orange County Florida Being more particularly described as follows:

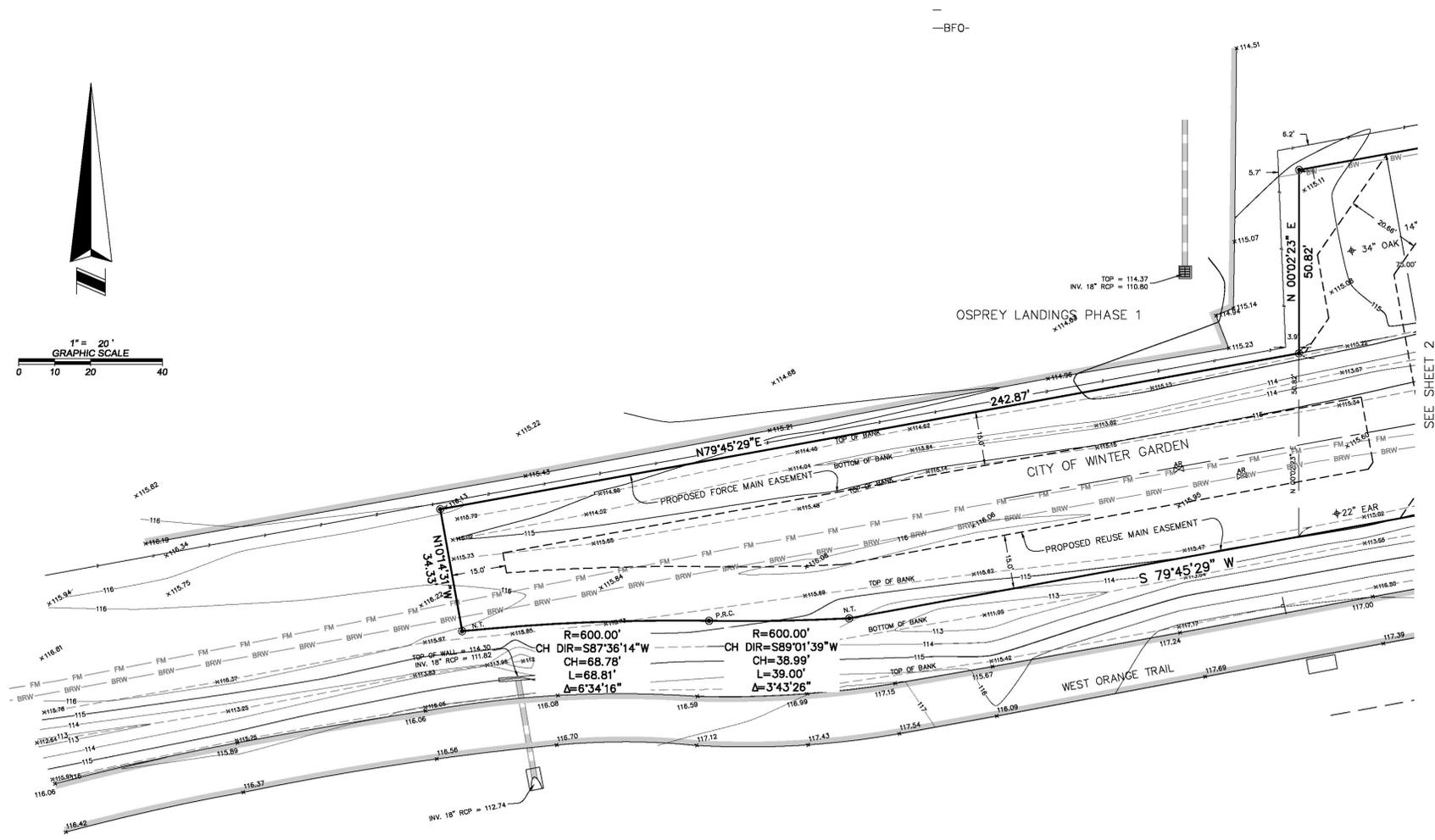
Commencing at the Southeast corner of the Northeast 1/4 of Section 22, Township 22 South, Range 27 East, Orange County, Florida, run North 00°02'23" East for a distance of 2,288.96 feet along the East boundary of said Northeast 1/4 to a point on the Northerly right-of-way line of the former Tavares and Gulf Railroad as described and recorded in Deed Book 104, Page 407, Public Records of Orange County, Florida for the said point also being on the Southerly right-of-way line of the former Orange Belt Railway Company Railroad as described and recorded in Deed Book 40, Page 275, Public Records of Orange County, thence departing aforesaid East boundary line of Section 22, run South 79°45'29" West along said Southerly right-of-way line for a distance of 30.49 feet to a point on the West right of way line of North Park Avenue and the POINT OF BEGINNING; thence continue South 79°45'29" West along aforesaid Southerly right of way for a distance of 411.94 feet to the point on a non tangent curve, concave Northerly having a radius of 600.00 feet, with a chord bearing of South 89°01'39" West, and a chord distance of 38.99 feet, thence run Westerly through a central angle of 03°43'26" along the arc of said curve for a distance of 39.00 feet to a point of reverse curvature of a curve; concave Southerly having a radius of 600.00 feet and a central angle of 06°34'16" with a chord bearing of South 87°36'14" West, and a chord distance of 68.78 feet, thence run Westerly along the arc of said curve for a distance of 68.81 feet to a point on a non tangent line; thence run North 101°4'31" West for a distance of 34.33 feet; thence run North 79°45'29" East for a distance of 242.87 feet; thence run North 00°02'23" East for a distance of 50.82 feet; thence run North 79°45'29" East a distance of 284.76 feet to a point on the West right of way line of aforesaid North Park Avenue; thence run South 00°02'23" West along said West right of way line for a distance of 101.63 feet to the POINT OF BEGINNING.

Containing 39486.81 square feet or 0.91 acres, more or less.



16 EAST PLANT STREET
 WINTER GARDEN, FLORIDA 34787
 (407) 654-5355

BOUNDARY and TOPOGRAPHIC SURVEY
 OF
 NORTHWEST CORNER OF PARK AVE. & PLANT ST.
 SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST
 ORANGE COUNTY, FLORIDA



L:\Data\20180751\Map\20180751 boundary and topo 7-08-20

FOR:

NO.	DATE	REVISIONS

JOB # 20180751
 DATE: 2/15/2019
 SCALE: 1" = 20'
 CALC BY: DY/JLR
 FIELD BY: CD/JS/AH
 DRAWN BY: DY/JLR
 CHECKED BY: JJ/JLR

CITY OF WINTER GARDEN

DEVELOPMENT REVIEW COMMITTEE

300 West Plant Street - Winter Garden, Florida 34787-3011
(407) 656-4111

MEMORANDUM

TO: STEVE PASH, COMMUNITY DEVELOPMENT DIRECTOR
FROM: DEVELOPMENT REVIEW COMMITTEE
DATE: OCTOBER 19, 2020
SUBJECT: 30 NORTH PARK (CYNERGREEN DEVELOPMENT)
CONSTRUCTION PLAN SET APPROVAL

We recommend approval subject to the following conditions and comments:

ENGINEERING

Any underlined comments shall be addressed prior to final plan stamping and pre-con:

1. Per City Code, all review fees for legal, engineering, or surveying shall be paid prior to issuance of building permits or certificates of completion or certificates of occupancy.
2. General Requirements:
 - a. All gravity sanitary pipe and fittings shall be SDR 26.
 - b. All compaction shall be 98% of the modified proctor maximum density (AASHTO T-180).
 - c. As-built record drawings shall comply with City of Winter Garden requirements available on-line.
 - d. All Storm ($\geq 12''$) and Sanitary lines ($\geq 6''$) shall be inspected by CCTV prior to completion.
 - e. If specified, the use of thermoplastic pipe shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe, laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).
3. Sheet C301 – Dimension Plan:
 - a. Access Drive Section: Base thickness shall be 10" per City Standard (soil cement or crushed concrete as shown).
 - b. The sidewalk connection to the West Orange Trail, and any other work in its right-of-way, will require approval from Orange County Parks & Rec and possibly FDEP and shall be provided prior to final plan approval.
4. Sheet C401 – Drainage Plan:
 - a. Informational: The Purchase & Sale Agreement for the City's property contains deadlines for both design approval and completion of construction and shall govern all approvals of this project.
 - b. Work is shown within the West Orange Trail right-of-way (fill in existing swale; storm pipe; etc.) which will require approval from Orange County Parks & Rec and possibly FDEP as noted above.
 - c. Storm Structure 15 is called out as a "Dry Bottom Storm Vault" with design and building permit obtained "by others". Design and building permit shall be completed and approved prior to final plan approval and construction.
 - d. The minimum width for an easement within the City of Winter Garden is 30', per Code, with the facility centered within the easement. Easements having more than one pipe shall

adhere to Section 110-203 of the City Code requiring easement widths based on the following: Minimum Easement Width = (2) x (Depth of Pipe) + (Pipe Diameter + 7').
Final easement widths/alignment will be reviewed and approved with final plat.

- e. RCP is shown. If Thermoplastic pipe is used it shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe (**not HDPE or N-12**), laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).
5. Sheet C601 – Utility Plan:
- a. Fire & Building Departments will need to review for fire protection, fire hydrants, etc. Fire sprinklers may be required as shown.
 - b. Water/sewer impact fees will be required. All costs associated with relocating the 18" force main and 12" reuse main shall be the responsibility of the developer pursuant to the Purchase & Sale Agreement.
 - c. The gravity sanitary line proposed for the property shall be owned and maintained by the City, as well as the 8" water main, and the relocated 18" force main & 12" reclaim water main. The required utility easement on the north side of the buildings shall be at least ± 33 feet in width to accommodate all proposed improvements (including storm, gas, cable, etc.) as noted in the previous response.
6. All utilities shall conform to Chapter 78 of the City Code. Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all required water, irrigation and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.
- a. Any new water, sewer, or irrigation connections are required to pay utility impact fees, to be paid prior to issuance of site or building permits or execution of FDEP permits. According to the plans there will be (9) 3/4" potable meter and (1) 1" irrigation meter. Based on the above, the utility impact fees are as follows (**payment has been confirmed by the Building Department**):
- | | | | |
|---------------------------|--------------------|---|--------------------|
| 3/4" Potable Meter | 9 ea. @ \$1,086.00 | = | \$9,774.00 |
| Wastewater for 3/4" meter | 9 ea. @ \$1,767.00 | = | \$15,903.00 |
| 1" Irrigation meter | 1 ea. @ \$2,715.00 | = | \$2,715.00 |
| | TOTAL | = | \$28,392.00 |
- (does not include connection/installation fee)
7. Options for solid waste pick-up were discussed at the 7/03/19 DRC meeting. Final resolution shall be coordinated with Public Services, Solid Waste Division.
 8. Minimum 5' wide concrete sidewalks shall be constructed along all street frontages pursuant to Code. Any damaged, broken or cracked sections (including existing curbs and pavement) shall be replaced prior to issuance of certificate of occupancy or certificate of completion.
 9. Landscaping shall not encroach on required sight lines at intersections or driveways. Design Engineer has provided certification that sight distance requirements are being met.
 10. All irrigation on the site shall be designed to be supplied by reclaimed water when available and shall be served by a jumper to potable water until that time.
 11. A separate tree removal permit is required to remove any trees. Coordinate with Building Department (Steve Pash).
 12. No trees may be planted over or within 5 feet of any utility lines. Only sod or shrubs may be

planted over utility lines.

13. Permit from SJRWMD (or FDEP 10-2 certification) is required as well as permits or exemptions from FDEP for water, wastewater and NPDES.
14. Streetlighting, both internally and on all street frontages, is required pursuant to City Code – dark skies lighting is required. A photometric plan has been submitted for review by the Planning Department. Streetlights shall match the City’s “downtown” decorative streetlights at the Developer’s expense.
15. Use City Standard Detail Sheets for utilities and public works. All on-site utilities shall be privately owned and maintained.
16. Fire sprinkler systems will be required on all buildings over 6,000 s.f. with Point of Service (POS), backflow prevention, etc. shown. All work downstream of the POS shall be performed by a licensed fire sprinkler contractor. Fire protection shall be reviewed and approved by the Fire & Building Departments.
17. Any screen walls or retaining walls shall require a separate permit from the Building Department.
18. All underdrain pipe, if used, shall be double wall HDPE pipe or PVC pipe.
19. Internal sidewalks shall connect to the public sidewalks in the right-of-way per ADA.

PLANNING

20. Architectural Elevations: Per the PUD, maximum height of the building shall be 45’.
21. The required off-site mitigation of 17 canopy trees shall be addressed via payment into the City’s tree fund at time of Final Plat review. A copy of the contract with the landscape contractor is needed to determine the price of the canopy trees. The price to purchase 17 of canopy trees will be the amount required to be paid to the City as mitigation.
22. Note: The street light fixtures shall be consistent with the other downtown pole lights. Illumination levels may not exceed 1.0 fc at the property lines. Street lighting is excluded from this requirement.
23. Note: Recreation mitigation fees may be required for any required recreation areas that are not able to be located on site. This fee is based on the fair market price of the land that would otherwise be dedicated to recreation.
 - a. The developer is required to pay **\$12,269.94** to mitigate for the recreation area deficit of 942 square feet.

STANDARD GENERAL CONDITIONS

24. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
25. All work shall conform to City of Winter Garden standards and specifications.
26. Fencing, if used, shall meet all City requirements for height, type, etc. Chain link fencing shall be vinyl coated per Code.
27. Planning Department shall review and provide comments on the proposed use, setbacks, buffering, lighting, signage, landscaping, etc.
28. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds, landscaping, walls, or on-site utilities.

29. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
30. Prior to issuance of a certificate of completion or certificate of occupancy, all fees owed to the City shall be paid, including Legal fees and Engineering plan review and inspection fees.
31. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
32. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements, including landscape & irrigation, shall be paid prior to issuance of the building permit (minimum site inspection fee is \$500.00).
33. Additional comments may be generated at subsequent reviews

Please review this information and contact our office if you have any questions. Thank you.

END OF MEMORANDUM

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: October 13, 2020 **Meeting Date:** October 22, 2020

Subject: Approval of Agreement for Consultant Services with PaleoWest

Issue: The City of Winter Garden, in partnership with the Winter Garden Heritage Foundation, recently advertised a Request for Qualifications from firms qualified to prepare an architectural survey of structures within the City's historic downtown district. The City received six responses to the RFQ advertisement. After negotiations with the highest ranked submitter fell through, Staff negotiated an Agreement for Consulting Services contract with the second highest ranking submitter, PaleoWest.

The contract is attached, which includes the consulting fees required to conduct a historical resources survey update for Historic Downtown in the amount of \$65,000, which includes a \$20,000 grant award from the Florida Division of Historical Resources.

Recommended Action:

Staff recommends approving the Agreement for Consulting Services contract with PaleoWest.

Attachment(s)/References:

Agreement for Consulting Services contract

AGREEMENT FOR CONSULTING SERVICES

This Agreement is made and entered into by and between the City of Winter Garden ("City"), a Florida municipal corporation, with its principal office located at 300 West Plant Street, Winter Garden, Florida 34787, and PaleoWest, LLC ("Consultant"), a Florida Limited Liability Company, with its principal office located at 916 East Park Avenue, Tallahassee, Florida 32301.

RECITALS

WHEREAS, the City of Winter Garden entered into a grant agreement with the State of Florida, Department of State, (the "Grant Contract") under which the state agreed to provide a small matching grant to the City for the Project known as the "Downtown Winter Garden Historic Survey Update;"

WHEREAS, having secured the Grant Contract with the state, the City of Winter Garden issued a Request for Qualifications for the Survey of the Downtown Historic District of the City of Winter Garden, Florida, to solicit a qualified Consultant to conduct a survey of the City's downtown historic district;

WHEREAS, the Consultant was selected on the basis of its expertise and experience in the subject matter of this Agreement; and

WHEREAS, the parties desire to enter into this Agreement to provide the requisite survey of the City's downtown historic district.

NOW, THEREFORE, in consideration of the foregoing recitals, which are incorporated herein by reference, and other specific consideration set forth in this Agreement, the receipt and sufficiency of which is acknowledged by the City and the Consultant, the parties hereto agree and stipulate as follows:

1. **COMPENSATION.** The City agrees to pay the Consultant an amount not to exceed \$65,000, payable as on a fixed-fee basis upon submittal of the draft report, as identified in the Scope of Work and Cost Estimate, which is attached hereto and incorporated herein as **Exhibit A**.

2. **TERM.** The term of this Agreement shall be from the date this Agreement becomes fully executed through June 30, 2021, unless otherwise earlier terminated.

3. **SERVICES.** The Consultant shall provide the Work and Deliverables as set forth generally in **Exhibit A**, and as requested in the City's Request for Qualifications, which is incorporated herein by reference. All such services shall comply with the requirements set forth in the Grant Contract, which is attached hereto and incorporated herein as **Exhibit B**, so as to ensure that the Work and Deliverables provided by the Consultant are eligible for grant funding. The Work and Deliverables identified herein shall be completed in accordance with the following timeline and milestones:

- (i) The Consultant shall complete the first 5 Florida Master Site File (“FMSF”) forms by Monday, February 21, 2021;
- (ii) The Consultant shall complete the draft survey report by Monday, March 21, 2021; and
- (iii) The Consultant shall have completed a minimum of 200 FMSF forms and the Final Survey Report by Monday, May 31, 2020.

4. **INVOICING.** Regardless of anything set forth in this Agreement or any Exhibit or addendum to the contrary, all invoicing, payment terms, payment applications, and disputes will be governed by the applicable terms and conditions of Part VII of Chapter 218, Florida Statutes (the Local Government Prompt Payment Act).

5. **TERMINATION.** This Agreement may be terminated by the City for convenience upon 30 days written notice at no consequence or penalty to the City.

6. **CONFLICTS OF INTEREST.** Both parties agree that the Consultant may not contract for or accept employment for the performance of any work or service with any individual, business corporation, or governmental unit that would create a conflict of interest in the performance of its obligations under this Agreement, unless any such conflict is expressly waived by the City and such waiver is permitted by applicable law. Consultant is obligated to disclose to the City in writing any potential conflicts that may arise with regard to other projects or subject matter assigned to the Consultant by the City. Consultant shall neither take any action nor engage in any conduct that would cause any violations of the applicable provisions of Chapter 112, Florida Statutes, relating to ethics in government.

7. **INDEMNIFICATION.** Consultant shall, at its own expense, indemnify, defend, and hold harmless the City, including its elected and non-elected officers, employees, agents, attorneys, and volunteers from and against all claims of every kind and nature (including losses incurred or suffered as a result of bodily injury to a person or damage to property and attorney’s fees and costs), to the extent arising out of or resulting from the acts or omissions of the Consultant, including the Consultant’s officers, members, employees, agents, volunteers, contractors, subcontractors, or anyone for whose acts the Consultant may be liable, in connection with this Agreement.

8. **INSURANCE.** Consistent with the Consultant’s indemnification obligations herein and throughout the term of this Agreement, including any extensions thereof, Consultant agrees to obtain and maintain, at its own expense, those insurance policies and coverages as set forth below and further agrees to include the City as an additional insured on all liability policies required hereunder (excluding professional liability insurance policies a/k/a errors & omissions).

All policies (excluding professional liability insurance policies a/k/a errors & omissions) must be occurrence based. Furthermore, all insurance policies provided

pursuant to this Agreement must include one or more endorsements (i) making the policies primary and non-contributory with any valid and collectible insurance available to the City and (ii) waiving subrogation in favor of the City. Consultant shall acquire and maintain the following types and amounts of insurance with limits no less than those shown below, subject to such conditions as identified below, and in the form and from companies satisfactory to the City. Such limits are minimum insurance limits and may not be construed or otherwise interpreted to limit or restrict the Consultant's indemnification obligations pursuant to paragraph 7. INDEMNIFICATION or preclude the Consultant from carrying insurance policies with amounts in excess of those minimum limits identified herein. Failure to maintain the minimum insurance coverages and limits under the terms and conditions of this Agreement constitutes a material breach of this Agreement authorizing the City to terminate this Agreement immediately at no consequence or penalty to the City.

<u>SCHEDULE</u>	<u>LIMITS</u>
Workers' Compensation	Florida Statutory Coverage
Commercial General Liability*	\$1,000,000 Each Occurrence \$1,000,000 General Aggregate \$1,000,000 Products/Comp. Ops Agg. \$1,000,000 Personal/Adv Injury
Automobile Liability (Any Auto)**±	\$1,000,000 Combined Single Limit
Professional Liability^ (Errors & Omissions)	\$1,000,000 Each Occurrence \$2,000,000 General Aggregate \$1,000,000 Bodily Injury \$1,000,000 Personal/Adv Injury
Owner's Protective Liability Insurance#	\$1,000,000 Each Occurrence \$2,000,000 General Aggregate

* Consultant must add the City as an additional insured to the policy.

± If the Automobile Liability Policy is not endorsed for "any auto," Consultant shall, as a condition of being authorized to perform services pursuant to this Agreement, carry an appropriate policy for the vehicles that will be used and shall be prohibited from using any types of vehicles (e.g., owned autos, scheduled autos, hired autos, and/or non-owned autos, etc.) that are not covered by such policy. The Automobile Liability Policy must protect the Consultant from claims for damage for personal injury, including accidental death, as well as claims for property damages that may arise from activities carried out in connection with this Agreement, whether such activities be by

the Consultant or by anyone directly or indirectly employed by the Consultant.

- ^ All Professional Liability (Errors & Omissions) policies written on a Claims Made basis must maintain a retroactive date prior to or equal to the effective date of the Agreement. The Consultant shall purchase a Supplemental Extended Reporting Period ("SERP") with a minimum reporting period of not less than three (3) years if the policy is canceled, not renewed, switched to occurrence form, or any other event that requires the purchase of a SERP to cover a gap in insurance for claims that may arise under or related to this Agreement. The Consultant's purchase of the SERP may not relieve the Consultant of the obligation to provide replacement coverage. Consultant shall require the carrier to immediately or as soon as feasible to inform the City of any contractual obligations that may alter the Consultant's professional liability coverage under this Agreement. The obligation to maintain the SERP for the minimum reporting period required herein shall survive termination of this Agreement.
- # The Consultant must name the City of Winter Garden as a named insured under the Owner's Protective Liability Insurance Policy.

In addition to the foregoing, the Consultant must furnish a Certificate of Insurance Form showing the foregoing coverages in the amounts specified and meeting the conditions imposed by this Agreement. This form(s) must be completed by the authorized resident agent of the Consultant and returned to the office of the buyer. The certificate(s) must be dated and show: (i) the name of the insured Consultant, the specific job by name and job number, the name of the insurer, the number of the policy, its effective date, and its termination date; and (ii) a statement that the insurer shall mail notice to the City at least thirty (30) days prior to any material changes in provisions or cancellation of the policy.

9. **SOVEREIGN IMMUNITY.** The City expressly retains all rights, benefits, and immunities of sovereign immunity in accordance with Section 768.28, Florida Statutes. Regardless of anything set forth in any section of this Agreement, Exhibits, or addenda to the contrary, nothing in this Agreement may be deemed as a waiver of immunity or limits of liability of the City beyond any statutory limited waiver of immunity or limits of liability which may have been or may be adopted by the Florida Legislature, and the cap on the amount and liability of the City for damages, regardless of the number or nature of claims in tort, equity, contract, or other theory of recovery, may not exceed the dollar amount set by the legislature for tort. Nothing in this Agreement may inure to the benefit of any third party for the purpose of allowing any claim against the City, which claim would otherwise be barred under the doctrine of sovereign immunity or by operation of law.

10. **PUBLIC RECORDS LAW.** Pursuant to section 119.0701(2)(a), Florida Statutes, the City is required to provide the Consultant with this statement and establish

the following requirements as contractual obligations pursuant to the Agreement:

IF THE CONSULTANT HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO THE CONSULTANT'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS AGREEMENT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS AT 407-656-4111, EXT. 2297, agrimage@cwgdn.com, OR BY MAIL, CITY CLERK, ATTN: ANGELA GRIMMAGE, 300 WEST PLANT STREET, WINTER GARDEN, FLORIDA 34787.

By entering into the Agreement, Consultant acknowledges and agrees that any records maintained, generated, received, or kept in connection with, or related to the performance of services provided under, this Agreement are public records subject to the public records disclosure requirements of § 119.07(1), Florida Statutes, and Article I, section 24 of the Florida Constitution. Pursuant to § 119.0701, Florida Statutes, any Consultant entering into a contract for services with the City is required to:

- A. Keep and maintain public records required by the City to perform the services and work provided pursuant to this Agreement.
- B. Upon request from the City's custodian of public records, provide the City with a copy of the requested records or allow the records to be inspected or copied within a reasonable time at a cost that does not exceed the cost provided in Chapter 119, Florida Statutes, or as otherwise provided by law.
- C. Ensure that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law for the duration of the Agreement term and following completion or termination of the Agreement if the Agreement does not transfer the records to the City.
- D. Upon completion or termination of the Agreement, transfer, at no cost, to the City all public records in the possession of the Consultant or keep and maintain public records required by the City to perform the service. If the Consultant transfers all public records to the City upon completion or termination of the Agreement, the Consultant shall destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. If the Consultant keeps and maintains public records upon completion or termination of the Agreement, the Consultant shall meet all applicable requirements for retaining public records as set forth in the applicable retention schedule for State and Local Government Agencies, which schedule is published and maintained by the Florida Department of State, Division of Library and Information Services. All public records stored electronically must be provided to the City, upon request from the

City's custodian of public records, in a format that is compatible with the information technology systems of the City.

Requests to inspect or copy public records relating to the Agreement must be made directly to the City. If Consultant receives any such request, Consultant shall instruct the requestor to contact the City. If the City does not possess the public records requested, the City shall immediately notify the Consultant of such request, and the Consultant, if in possession of such records, must provide the records to the City or otherwise allow the records to be inspected or copied within a reasonable time.

Consultant acknowledges that failure to provide the public records to the City within a reasonable time may be subject to penalties under § 119.10, Florida Statutes. Consultant further agrees not to release any records that are statutorily confidential or otherwise exempt from disclosure without first receiving prior written authorization from the City. Consultant shall indemnify, defend, and hold the City harmless from and against any and all claims, damage awards, penalties, sanctions, and causes of action arising from the Consultant's failure to comply with the public records disclosure requirements of section 119.07(1), Florida Statutes, or by the Consultant's failure to maintain public records that are exempt or confidential and exempt from the public records disclosure requirements, including, but not limited to, any third party claims or awards for attorney's fees and costs arising therefrom. Consultant authorizes the City to seek declaratory, injunctive, or other appropriate relief against the Consultant from a Circuit Court in Orange County on an expedited basis to enforce the requirements of this section.

11. AMERICANS WITH DISABILITIES ACT / NON-DISCRIMINATION. Consultant shall not unlawfully discriminate against any person in the provision of deliverables or services pursuant to this Agreement. Consultant agrees it shall affirmatively comply with all applicable provisions of the Americans with Disabilities Act (ADA) in the course of providing all services and deliverables pursuant to the ADA, including Titles I, II and III of the ADA (regarding nondiscrimination on the basis of disability) as applicable, and all applicable regulations, guidelines, and standards promulgated by the federal government and its various departments and agencies pursuant to the ADA. If the City, in its sole discretion, determines that the Consultant has violated or otherwise failed to comply with the ADA in the Consultant's provision of services, programs, or deliverables pursuant to this Agreement, the City shall provide written notice of such non-compliance to the Consultant, and the Consultant shall immediately remedy such violation and bring itself or its services, programs, or deliverables, as applicable, into compliance with the ADA at no additional cost or expense to the City. For the purposes of determining ADA compliance with regard to any web-based, digital, or internet services or deliverables provided to the City, Consultant agrees that any such services and deliverables must comply with the Web Content Accessibility Guidelines (WCAG) 2.0 AA, as published by the Web Accessibility Initiative of the World Wide Web Consortium. Consultant further agrees to indemnify, defend, and hold harmless the City from and against any claims, sanctions, or penalties, including attorney's fees and costs, assessed against the City as a result of the Consultant's failure to comply with the ADA or the requirements of this paragraph with regard to services and

deliverables. In performing under this Agreement, Consultant agrees that it will not commit an unfair employment practice in violation of any state or federal law and that it shall not discriminate against any member of the public, employee or applicant for employment for work under this Agreement because of race, color, religion, gender, sexual orientation, age, national origin, political affiliation, or disability and will take affirmative steps to ensure that applicants are employed and employees are treated during employment without regard to race, color, religion, gender, sexual orientation, age, national origin, political affiliation, or disability.

12. **GOVERNING LAW, VENUE, AND ATTORNEYS' FEES AND COSTS.** This Agreement is governed by the laws of the State of Florida. Venue for and jurisdiction over any litigation between the parties arising from this Agreement will, if in state court, be in Orange County, Florida, or, if in federal court, the Middle District of Florida, Orlando Division. Regardless of anything set forth in the Agreement to the contrary, each party agrees to bear its own costs and attorneys' fees relating to any dispute arising under this Agreement, except that the City does not waive any statutory right that it has to attorney's fees for Consultant's failure to provide access to public records as required by Section 9 of this Agreement and Chapter 119, Florida Statutes, or any rights the City may have to recover attorneys' fees and costs pursuant to the Consultant's indemnification obligations set forth in sections 7 and 10 of this Agreement.

13. **SURVIVAL.** This paragraph and any portions of this Agreement contemplating the continuing relationship of the parties after expiration or termination of this Agreement, including, but not limited to, Consultant's obligations pursuant to paragraphs 7. INDEMNIFICATION, 9. SOVEREIGN IMMUNITY, 10. PUBLIC RECORDS LAW, and 12. GOVERNING LAW, VENUE, AND ATTORNEY'S FEES AND COSTS, survive termination or expiration of this Agreement.

14. **SEVERABILITY.** If this Agreement or a portion thereof is found by a court of competent jurisdiction to be invalid, the remaining provisions will continue to remain in effect.

15. **ENTIRE AGREEMENT / CONFLICT.** This Agreement, including **Exhibit A** attached hereto, contain the entirety of the agreement between the parties and supersedes all prior oral and written agreements. Consultant acknowledges that it has not relied upon any statement, representation, prior or contemporaneous written or oral promises, agreements, or warranties, except such as expressed herein. If a conflict arises between this Agreement and **Exhibit A**, this Agreement controls to the extent any such conflict exists.

IN WITNESS WHEREOF, the parties have executed this Agreement for Consulting Services simultaneously with the terms and conditions of the Agreement as of the date written below.

ATTEST:

By: _____
ANGEER GRIMMAGE, CITY CLERK

Print Name: _____
Witness #1

Print Name: _____
Witness #2

**CITY
(CITY OF WINTER GARDEN, FLORIDA)**

By: _____
JOHN REES, MAYOR

**CONSULTANT
(PALEOWEST, LLC)**

By: _____
Print: _____
Title: _____

EXHIBIT 'A'



M: 678.360.6243
T: 850.296.3669
info@paleowest.com

TALLAHASSEE, FLORIDA
916 East Park Avenue
Tallahassee, FL 32301

September 24, 2020

Scope of Work and Cost Estimate

Prepared for:
Kelly Carson
Planning and Zoning Division
Winter Garden
kcarson@wintergarden-fl.gov

PaleoWest Archaeology (PaleoWest) is pleased to submit a revised scope of work and cost estimate for the Survey of the Downtown Historic District of Winter Garden.

Scope

The scope of work proposed herein by PaleoWest Archaeology is for completing the following:

- (1) FMSF forms for between 200 and 209 structures in the Historic Downtown District with maps and photographs conforming to Chapter 1A-46 Florida Administrative Code;
- (2) A survey report that conforms to Chapter 1A-46 Florida Administrative Code;
- (3) Attend two public meetings, help with grant administration, and conduct any research required to complete the above tasks.

Cost

The professional fee for completing the tasks described above is **\$65,000**, payable on a fixed-fee basis upon submittal of the draft report. The deliverables will exceed deadlines for the Florida Division of Historical Resources grant requirements.

Kevin Gidusko | Project Manager
PaleoWest
kgidusko@paleowest.com
321.501.7671
www.paleowest.com

Tallahassee Office
916 E. Park Ave.
Tallahassee, Florida 32301

EXHIBIT 'B'

City of Winter Garden

21.h.sm.200.056

This Amendment is between the State of Florida, Department of State, Division Historical Resources hereinafter referred to as the “Division” and City of Winter Garden, hereinafter referred to as the “Grantee”.

The parties entered into a grant agreement for the implementation of a Small Matching grant, for Downtown Winter Garden Historic Survey Update. The parties now mutually desire to amend certain terms and conditions of the grant agreement.

In consideration of the covenants contained herein, it is agreed:

All section of the original grant agreement not specifically amended by this or a prior written amendment and all prior written amendments are hereby reaffirmed.

The following sections are hereby revised as follows:

Original Scope Of Work

Grant funds will be used to hire a professional historic preservation consultant to conduct a historical resources survey of Winter Garden, including preparing a survey report conforming to Chapter 1A-46, Florida Administrative Code; and a minimum of three hundred (300) new/updated Florida Master Site File (FMSF) forms. Grant funds will also be used for project and grant administration.

Amended Scope Of Work

Grant funds will be used to hire a professional historic preservation consultant to conduct a historical resources survey of Winter Garden, including preparing a survey report conforming to Chapter 1A-46, Florida Administrative Code; and a minimum of two hundred (200) new/updated Florida Master Site File (FMSF) forms. Grant funds will also be used for project and grant administration.

Original Deliverables

#	Payment Type	Deliverable Description	Documentation	Payment Amount
1	Fixed Price	Submit a copy of the professional historic preservation consultant's credentials and the survey timeline to the Division for review and approval.	One (1) copy of the professional historic preservation consultant's credentials; One (1) copy of the survey timeline	\$5,000
2	Fixed Price	Complete and submit five (5) FMSF forms, including maps and photographs, to the Division for review and approval.	Five (5) completed FMSF forms, including maps and photographs	\$5,000
3	Fixed Price	Complete and submit a draft survey report conforming to Chapter 1A-46, Florida Administrative Code, to the Division for review and approval.	One (1) electronic copy of the draft survey report conforming to Chapter 1A-46, Florida Administrative Code	\$5,000

4	Fixed Price	Complete and submit a minimum of three hundred (300) FMSF forms, including photographs and maps, and a final survey report, conforming to Chapter 1A-46, Florida Administrative Code, to the Division for review and approval. In addition, a Single Audit Form shall be completed by the Grantee and submitted along with the Final Progress Report prior to final payment.	One (1) electronic and one (1) hard copy of the minimum of three hundred (300) FMSF forms, including photographs and maps; One (1) electronic and one (1) hard copy of the final survey report, conforming to Chapter 1A-46, Florida Administrative Code; Single Audit Form; Final Progress Report	\$5,000
Totals				\$20,000

Amended Deliverables

#	Payment Type	Deliverable Description	Documentation	Payment Amount
1	Fixed Price	Submit a copy of the professional historic preservation consultant's credentials and the survey timeline to the Division for review and approval.	One (1) copy of the professional historic preservation consultant's credentials; One (1) copy of the survey timeline	\$5,000
2	Fixed Price	Complete and submit five (5) FMSF forms, including maps and photographs, to the Division for review and approval.	Five (5) completed FMSF forms, including maps and photographs	\$5,000
3	Fixed Price	Complete and submit a draft survey report conforming to Chapter 1A-46, Florida Administrative Code, to the Division for review and approval.	One (1) electronic copy of the draft survey report conforming to Chapter 1A-46, Florida Administrative Code	\$5,000
4	Fixed Price	Complete and submit a minimum of two hundred (200) FMSF forms, including photographs and maps, and a final survey report, conforming to Chapter 1A-46, Florida Administrative Code, to the Division for review and approval. In addition, a Single Audit Form shall be completed by the Grantee and submitted along with the Final Progress Report prior to final payment.	One (1) electronic and one (1) hard copy of the minimum of two hundred (200) FMSF forms, including photographs and maps; One (1) electronic and one (1) hard copy of the final survey report, conforming to Chapter 1A-46, Florida Administrative Code; Single Audit Form; Final Progress Report	\$5,000
Totals				\$20,000

AUTHORIZATION



MICHAEL BOLHOEFER
Authorized official for the Grantee
9-23-20

Timothy A. Parsons
Authorized official for the Division

Authorized official Signature

Date



Division Authorized official Signature

9.25.2020
Date

AGREEMENT BETWEEN
THE STATE OF FLORIDA, DEPARTMENT OF STATE
AND
City of Winter Garden
21.h.sm.200.056

This Agreement is by and between the State of Florida, Department of State, Division of Historical Resources hereinafter referred to as the "Division," and the City of Winter Garden hereinafter referred to as the "Grantee."

The Grantee has been awarded a Small Matching Grant by the Division, grant number 21.h.sm.200.056 for the Project "Downtown Winter Garden Historic Survey Update," in the amount of \$20,000 ("Grant Award Amount"). The Division enters into this Agreement pursuant to Line Item 3148, contained in the 2021 General Appropriations Act, HB 5001, Laws of Florida. The Division has the authority to administer this grant in accordance with Section 267.0617, *Florida Statutes*.

In consideration of the mutual covenants and promises contained herein, the parties agree as follows:

1. **Grant Purpose.** This grant shall be used exclusively for the "Downtown Winter Garden Historic Survey Update," the public purpose for which these funds were appropriated.

a) The Grantee shall perform the following **Scope of Work**:

Grant funds will be used to hire a professional historic preservation consultant to conduct a historical resources survey of Winter Garden, including preparing a survey report conforming to Chapter 1A-46, Florida Administrative Code; and a minimum of three hundred (300) new/updated Florida Master Site File (FMSF) forms. Grant funds will also be used for project and grant administration.

All tasks associated with the Project shall meet the requirements set forth in this agreement.

b) The Grantee agrees to provide the following **Deliverables** and **Performance Measures** related to the Scope of Work for payments to be awarded.

#	Payment Type	Deliverable Description	Documentation	Payment Amount
1	Fixed Price	Submit a copy of the professional historic preservation consultant's credentials and the survey timeline to the Division for review and approval.	One (1) copy of the professional historic preservation consultant's credentials; One (1) copy of the survey timeline	\$5,000
2	Fixed Price	Complete and submit five (5) FMSF forms, including maps and photographs, to the Division for review and approval.	Five (5) completed FMSF forms, including maps and photographs	\$5,000

3	Fixed Price	Complete and submit a draft survey report conforming to Chapter 1A-46, Florida Administrative Code, to the Division for review and approval.	One (1) electronic copy of the draft survey report conforming to Chapter 1A-46, Florida Administrative Code	\$5,000
4	Fixed Price	Complete and submit a minimum of three hundred (300) FMSF forms, including photographs and maps, and a final survey report, conforming to Chapter 1A-46, Florida Administrative Code, to the Division for review and approval. In addition, a Single Audit Form shall be completed by the Grantee and submitted along with the Final Progress Report prior to final payment.	One (1) electronic and one (1) hard copy of the minimum of three hundred (300) FMSF forms, including photographs and maps; One (1) electronic and one (1) hard copy of the final survey report, conforming to Chapter 1A-46, Florida Administrative Code; Single Audit Form; Final Progress Report	\$5,000
Totals				\$20,000

c) The Grantee has provided an Estimated Project Budget based upon reasonable expenditures projected to accomplish the Grantee's Scope of Work and Deliverables outlined in the Agreement. The Budget provides details of how grant and match funds will be spent. All expenditures shall be in accordance with this budget (which is incorporated as part of this Agreement and entitled Attachment A) and must be incurred during the term of this Agreement, as stated in Section 2 of this Agreement.

2. **Length of Agreement.** This Agreement shall begin on 07/01/20, and shall end 06/30/21, unless terminated in accordance with the provisions of Section 33 of this Agreement. Contract extensions will not be granted unless Grantee is able to provide substantial written justification and the Division approves such extension. The Grantee's written request for such extension must be submitted to the Division no later than thirty (30) days prior to the termination date of this Agreement and no amendment will be valid until a written amendment is signed by both parties as required in Section 7 and Section 15 of this Agreement.

3. **Contract Administration.** The parties are legally bound by the requirements of this Agreement. Each party's contract manager, named below, will be responsible for monitoring its performance under this Agreement, and will be the official contact for each party. Any notice(s) or other communications in regard to this agreement shall be directed to or delivered to the other party's contract manager by utilizing the information below. Any change in the contact information below shall be submitted in writing to the contract manager within 10 days of the change.

For the Division of Historical Resources:

Laura Bright Houston
Florida Department of State
R.A. Gray Building
500 South Bronough Street
Tallahassee, FL 32399

Phone: 850.245.6355

Email: laura.brightthouston@dos.myflorida.com

For the Grantee:

Contact: Tanja Gerhartz

Address: 300 West Plant Street Winter Garden Florida 34787

Phone: 407.947.1720

Email:tgerhartz@cwgd.com

4. **Grant Payments.** All grant payments are requested online via www.dosgrants.com by submitting a payment request with documentation that the deliverable has been completed and documentation evidencing all expenses incurred in achieving the completion of the deliverable. The total grant award shall not exceed the Grant Award Amount, which shall be paid by the Division in consideration for the Grantee's minimum performance as set forth by the terms and conditions of this Agreement. The grant payment schedule is outlined below:
 - a) All payments will be made in the amounts identified with the Deliverables in Section 1 of this agreement.
 - b) All payments will be made in accordance with the completion of those Deliverables.

5. **Electronic Payments.** The Grantee can choose to use electronic funds transfer (EFT) to receive grant payments. All grantees wishing to receive their award through electronic funds transfer must submit a Direct Deposit Authorization form to the Florida Department of Financial Services. If EFT has already been set up for the organization, the Grantee does not need to submit another authorization form unless the organization has changed bank accounts. The authorization form is accessible at <http://www.myfloridacfo.com/Division/AA/Forms/DFS-A1-26E.pdf> where information pertaining to payment status is also available.

6. **Florida Substitute Form W-9.** A completed Substitute Form W-9 is required from any entity that receives a payment from the State of Florida that may be subject to 1099 reporting. The Department of Financial Services (DFS) must have the correct Taxpayer Identification Number (TIN) and other related information in order to report accurate tax information to the Internal Revenue Service (IRS). To register or access a Florida Substitute Form W-9 visit <https://flvendor.myfloridacfo.com/> . **A copy of the Grantee's Florida Substitute Form W-9 must be submitted to the Division, as required, in advance of or with the executed Agreement.**

7. **Amendment to Agreement.** Either party may request modification of the provisions of this Agreement by contacting the Division to request an Amendment to the Contract. **Changes which are agreed upon shall be valid only when in writing, signed by each of the parties, and attached to the original of this Agreement.** If changes are implemented without the Division's written approval, the organization is subject to noncompliance, and the grant award is subject to reduction, partial, or complete refund to the State of Florida and termination of this agreement.

8. **Financial Consequences.** The Department shall apply the following financial consequences for failure to perform the minimum level of services required by this Agreement in accordance with Sections 215.971 and 287.058, *Florida Statutes*.
 - a) Any advanced funds will be returned to the State of Florida if unexpended within the first 3 months of

disbursement.

- b) Payments will be withheld for failure to complete services as identified in the Scope of Work and Deliverables, provide documentation that the deliverable has been completed, or demonstrate the appropriate use of state funds.
- c) If the grantee has spent less than the Grant Award Amount in state funds to complete the Scope of Work, the final payment will be reduced by an amount equal to the difference between spent state dollars and the Grant Award Amount.
- d) The Division may reduce individual payments by 10% if the completed Deliverable does not meet the Secretary of the Interior's Standards and Guidelines or other industry standards applicable to the project.

The Division shall reduce total grant funding for the Project in direct proportion to match contributions not met by the end of the grant period. This reduction shall be calculated by dividing the actual match amount by the required match amount indicated in the Agreement and multiplying the product by the Grant Award Amount indicated in the Agreement. Pursuant to Section 17, Grantee shall refund to the Division any excess funds paid out prior to a reduction of total grant funding.

9. Additional Special Conditions.

Survey Projects.

- a) The Grantee shall submit survey project contracts to the Division for review and approval prior to execution.
- b) A 1A-32 permit must be obtained from the Bureau of Archaeological Research prior to the beginning of fieldwork conducted in state lands and a copy submitted to the Division, if applicable.
- c) For historical structure and archaeological survey projects, the Grantee shall follow the historic structure and archaeological survey standards and guidelines as outlined in Chapter 1A-46, Florida Administrative Code, available online at <https://dos.myflorida.com/historical/grants/small-matching-grants/>. The survey report shall conform to Chapter 1A-46, Florida Administrative Code.
- d) Copyright and Royalties: When publications, brochures, films, or similar materials are developed, directly or indirectly, from a program, project or activity supported by grant funds, any copyright resulting therefrom shall be held by the Florida Department of State, Division of Historical Resources. The author may arrange for copyright of such materials only after approval from the Department. Any copyright arranged for by the author shall include acknowledgment of grant assistance. As a condition of grant assistance, the grantee agrees to, and awards to the Department and, if applicable, to the Federal Government, and to its officers, agents, and employees acting within their official duties, a royalty-free, nonexclusive, and irrevocable license throughout the world for official purposes, to publish, translate, reproduce, and use all subject data or copyrightable material based on such data covered by the copyright.

10. Credit Line(s) to Acknowledge Grant Funding. Pursuant to Section 286.25, *Florida Statutes*, in publicizing, advertising, or describing the sponsorship of the program the Grantee shall include the following

statement:

- a) "This project is sponsored in part by the Department of State, Division of Historical Resources and the State of Florida." Any variation in this language must receive prior approval in writing by the Division.
- b) All site-specific projects must include a Project identification sign, with the aforementioned language, that must be placed on site. The cost of preparation and erection of the Project identification sign are allowable project costs. Routine maintenance costs of Project signs are not allowable project costs. A photograph of the aforementioned sign must be submitted to the Division as soon as it is erected.

11. Encumbrance of Funds. The Grantee shall execute a binding contract for at least a part of the Scope of Work by September 30, except as allowed below.

- a) **Extension of Encumbrance Deadline:** The encumbrance deadline indicated above may be extended by written approval of the Division. To be eligible for this extension, the Grantee must demonstrate to the Division that encumbrance of grant funding and the required match by binding contract(s) is achievable by the end of the requested extended encumbrance period. The Grantee's written request for extension of the encumbrance deadline must be submitted to the Department no later than fifteen (15) days prior to the encumbrance deadline indicated above.
- b) **Encumbrance Deadline Exception:** For projects not involving contract services the Grantee and the Department shall consult on a case-by-case basis to develop an acceptable encumbrance schedule.

12. Grant Reporting Requirements. The Grantee must submit the following reports to the Division. All reports shall document the completion of any deliverables/tasks, expenses and activities that occurred during that reporting period. All reports on grant progress will be submitted online via www.dosgrants.com.

- a) **First Project Progress Report** is due by October 31, for the period ending September 30.
- b) **Second Project Progress Report** is due by January 31, for the period ending December 31.
- c) **Third Project Progress Report** is due by April 30, for the period ending March 31.
- d) **Final Report.** The Grantee must submit a Final Report to the Division within one month of the Grant Period End Date set forth in Section 2 above.

13. Matching Funds. The Grantee is required to provide a 100% match of the Grant Award Amount. Of the required match, a minimum of 25% must be cash on hand. The remaining match may include in-kind services, volunteer labor, donated materials, and additional cash. For projects located in Rural Economic Development Initiative (REDI) counties or communities that have been designated in accordance with Sections 288.0656 and 288.06561, *Florida Statutes*, Grantees may request a waiver of the match amount. Grantees that are Certified Local Government (CLG) organizations and Main Street Program organizations are not required to provide a match. The Grantee must submit documentation that the minimum match requirements have been met and provide to the Division documentation evidencing expenses incurred to comply with this requirement.

14. Grant Completion Deadline. The grant completion deadline is the end date of this Agreement set forth in Section 2 above. The Grant Completion Deadline is the date when all grant and matching funds have been paid

out or incurred in accordance with the work described in the Scope of Work, detailed in the Estimated Project Budget. If the Grantee finds it necessary to request an extension of the Grant Completion Deadline, an Amendment to the Agreement must be executed as per Section 7, and the stipulations in Section 15 must be met.

- 15. Extension of the Grant Completion Deadline.** An extension of the completion date must be requested at least thirty (30) days prior to the end of the Grant Period and may not exceed 30 days, unless the Grantee can clearly demonstrate extenuating circumstances. An extenuating circumstance is one that is beyond the control of the Grantee, and one that prevents timely completion of the Project such as a natural disaster, death or serious illness of the individual responsible for the completion of the Project, litigation related to the Project, or failure of the contractor or architect to provide the services for which they were contracted to provide. An extenuating circumstance does not include failure to read or understand the administrative requirements of a grant or failure to raise sufficient matching funds. Changes to the original completion deadline shall be valid only when requested in writing, approved by the Division, and an Amendment to the Agreement has been executed by both parties and attached to the original of this Agreement. The Grantee must provide documentation that a portion of the grant funds and match contributions are encumbered and demonstrate to the satisfaction of the Division that project work is progressing at a rate such that completion is achievable within the extended Grant Period.
- 16. Non-allowable Grant Expenditures.** The Grantee agrees to expend all grant funds received under this agreement solely for the purposes for which they were authorized and appropriated. Expenditures shall be in compliance with the state guidelines for allowable Project costs as outlined in the Department of Financial Services' Reference Guide for State Expenditures (revised 11/1/2019), which are incorporated by reference and are available online at <https://www.myfloridacfo.com/Division/AA/Manuals/documents/ReferenceGuideforStateExpenditures.pdf>. The following categories of expenditures are non-allowable for expenditure of grant funds and as contributions to required match:
- a) Expenditures for work not included in the Scope of Work of the executed Grant Award Agreement;
 - b) Costs of goods and services not procured in accordance with procurement procedures set forth in the Grant Award Agreement and Chapter 287 of the *Florida Statutes*;
 - c) Expenses incurred or obligated prior to or after the Grant Period, as indicated in the Grant Award Agreement;
 - d) Expenses associated with lobbying or attempting to influence Federal, State, or local legislation, the judicial branch, or any state agency;
 - e) Expenditures for work not consistent with the applicable historic preservation standards as outlined in the Secretary of the Interior's Guidelines available at www.nps.gov/tps/standards/treatment-guidelines-2017.pdf, standards available at <http://www.nps.gov/tps/standards.htm> and [nps.gov/history/local-law/arch_stnds_0.htm](http://www.nps.gov/history/local-law/arch_stnds_0.htm) or applicable industry standards;
 - f) Costs for projects having as their primary purpose the fulfillment of Federal or State historic preservation regulatory requirements, specifically, costs of consultation and mitigation measures required under Section 106 of the *National Historic Preservation Act of 1966*, as amended, or under Section 267.031,

F.S.;

- g) Projects directed at activities or Historic Properties that are restricted to private or exclusive participation or access, which shall include restricting access on the basis of sex, race, color, religion, national origin, disability, age, pregnancy, handicap, or marital status;
- h) Entertainment, food, beverages, plaques, awards, or gifts;
- i) Costs or value of donations or In-kind Contributions not documented in accordance with the provisions of the Grant Award Agreement;
- j) Indirect costs including Grantee overhead, management expenses, general operating costs and other costs that are not readily identifiable as expenditures for the materials and services required to complete the work identified in the Scope of Work in the Grant Award Agreement. Examples of indirect costs include: rent/mortgage, utilities, janitorial services, insurance, accounting, internet service, monthly expenses associated to security systems, non-grant related administrative and clerical staffing, marketing, and fundraising activities;
- k) Administrative expenditures such as expenditures that are directly attributable to management of the grant-assisted Project and meeting the reporting and associated requirements of the Grant Award Agreement, whether grant expenditures or match contributions, which in aggregate exceed 5% of the grant award amount;
- l) Grantee operational support (i.e., organization salaries not directly related to grant activities; travel expenditures; per diem; or supplies);
- m) Insurance costs;
- n) Capital improvements to property;
- o) Furniture and Equipment. (a) Expenditures for furniture and equipment including but not limited to: desks, tables, seating, rugs and mats, artwork and decorations, window treatments, computers, cameras, printers, scanners, appliances, case goods (including cabinets, countertops, or bookshelves), new or replacement casework, systems' furniture, portable lighting fixtures, portable sound or projection systems, specialty fixtures and equipment, visual display units, total stations, movable partitions, and acoustical treatments and components, unless specific prior approval has been granted by the Division. (b) If special equipment is required for completion of the Project, it shall be rented for the grant term unless it can be shown that acquiring the equipment is cheaper than renting the equipment and approval has been provided by the Division as part of the documentation presented at the time of application. If the value of special equipment is to be used as a match contribution, the value of the match contribution shall be limited to the cost of rental for the Grant Period at the market rate for such rental in the region;
- p) Costs associated with attending or hosting conferences, summits, workshops, or presentations; and
- q) Travel expenditures, including those of personnel responsible for items of work approved by the Division, administrative personnel, contracted or subcontracted employees, either for purposes of work on-site or research off-site.

17. **Unobligated and Unearned Funds and Allowable Costs.** In accordance with Section 215.971, *Florida Statutes*, the Grantee shall refund to the State of Florida any balance of unobligated funds which has been advanced or paid to the Grantee. In addition, funds paid in excess of the amount to which the recipient is entitled under the terms and conditions of the agreement must be refunded to the state agency. Further, the recipient may expend funds only for allowable costs resulting from obligations incurred during the specified agreement period. Expenditures of state financial assistance must be in compliance with the laws, rules, and regulations applicable to expenditures of State funds, including, but not limited to, the *Reference Guide for State Expenditures*.
18. **Repayment.** All refunds or repayments to be made to the Department under this Agreement are to be made payable to the order of the "Department of State" and mailed directly to the following address: Florida Department of State, Attention: Grants Program Supervisor, Division of Historical Resources, 500 South Bronough Street Tallahassee, FL 32399. In accordance with Section 215.34(2), *Florida Statutes*, if a check or other draft is returned to the Department for collection, Grantee shall pay to the Department a service fee of \$15.00 or five percent (5%) of the face amount of the returned check or draft, whichever is greater.
19. **Single Audit Act.** Each Grantee, other than a Grantee that is a State agency, shall submit to an audit pursuant to Section 215.97, *Florida Statutes*. See Attachment B for additional information regarding this requirement.
20. **Retention of Accounting Records.** Financial records, supporting documents, statistical records, and all other records including electronic storage media pertinent to the Project shall be retained for a period of five (5) years after the close out of the grant. If any litigation or audit is initiated, or claim made, before the expiration of the five-year period, the records shall be retained until the litigation, audit, or claim has been resolved.
21. **Obligation to Provide State Access to Grant Records.** The Grantee must make all grant records of expenditures, copies of reports, books, and related documentation available to the Division or a duly authorized representative of the State of Florida for inspection at reasonable times for the purpose of making audits, examinations, excerpts, and transcripts.
22. **Obligation to Provide Public Access to Grant Records.** The Division reserves the right to unilaterally cancel this Agreement in the event that the Grantee refuses public access to all documents or other materials made or received by the Grantee that are subject to the provisions of Chapter 119, *Florida Statutes*, known as the *Florida Public Records Act*. The Grantee must immediately contact the Division's Contract Manager for assistance if it receives a public records request related to this Agreement.
23. **Investment of Funds Received But Not Paid Out.** The Grantee may temporarily invest any or all grant funds received but not expended, in an interest bearing account pursuant to Section 216.181(16)(b), *Florida Statutes*. Interest earned on such investments should be returned to the Division quarterly, except that interest accrued less than \$100 within any quarter may be held until the next quarter when the accrued interest totals more than \$100. All interest accrued and not paid to the Division, regardless of amount, must be submitted with the Grantee's final Progress Report at the end of the Grant Period.
24. **Noncompliance with Grant Requirements.** Any Grantee that has not submitted required reports or satisfied other administrative requirements for this grant or other Division of Historical Resources grants or grants from

any other Florida Department of State (DOS) Division will be in noncompliance status and subject to the DOS Grants Compliance Procedure. Grant compliance issues must be resolved before a grant award agreement may be executed, and before grant payments for any DOS grant may be released.

- 25. Accounting Requirements.** The Grantee must maintain an accounting system that provides a complete record of the use of all grant funds as follows:
- a) The accounting system must be able to specifically identify and provide audit trails that trace the receipt, maintenance, and expenditure of state funds;
 - b) Accounting records must adequately identify the sources and application of funds for all grant activities and must classify and identify grant funds by using the same budget categories that were approved in the grant application. If Grantee's accounting system accumulates data in a different format than the one in the grant application, subsidiary records must document and reconcile the amounts shown in the Grantee's accounting records to those amounts reported to the Division.
 - c) An interest-bearing checking account or accounts in a state or federally chartered institution may be used for revenues and expenses described in the Scope of Work and detailed in the Estimated Project Budget.
 - d) The name of the account(s) must include the grant award number;
 - e) The Grantee's accounting records must have effective control over and accountability for all funds, property, and other assets; and
 - f) Accounting records must be supported by source documentation and be in sufficient detail to allow for a proper pre-audit and post-audit (such as invoices, bills, and canceled checks).
- 26. Availability of State Funds.** The State of Florida's performance and obligation to pay under this Agreement are contingent upon an annual appropriation by the Florida Legislature, or the United States Congress in the case of a federally funded grant. In the event that the state or federal funds upon which this Agreement is dependent are withdrawn, this Agreement will be automatically terminated and the Division shall have no further liability to the Grantee, beyond those amounts already released prior to the termination date. Such termination will not affect the responsibility of the Grantee under this Agreement as to those funds previously distributed. In the event of a state revenue shortfall, the total grant may be reduced accordingly.
- 27. Independent Contractor Status of Grantee.** The Grantee, if not a state agency, agrees that its officers, agents and employees, in performance of this Agreement, shall act in the capacity of independent contractors and not as officers, agents, or employees of the state. The Grantee is not entitled to accrue any benefits of state employment, including retirement benefits and any other rights or privileges connected with employment by the State of Florida.
- 28. Grantee's Subcontractors.** The Grantee shall be responsible for all work performed and all expenses incurred in connection with this Agreement. The Grantee may subcontract, as necessary, to perform the services and to provide commodities required by this Agreement. The Division shall not be liable to any subcontractor(s) for any expenses or liabilities incurred under the Grantee's subcontract(s), and the Grantee shall be solely liable to its subcontractor(s) for all expenses and liabilities incurred under its subcontract(s). The

Grantee must take the necessary steps to ensure that each of its subcontractors will be deemed to be “independent contractors” and will not be considered or permitted to be agents, servants, joint ventures, or partners of the Division.

- 29. Liability.** The Division will not assume any liability for the acts, omissions to act, or negligence of, the Grantee, its agents, servants, or employees; nor may the Grantee exclude liability for its own acts, omissions to act, or negligence, to the Division.
- a) The Grantee shall be responsible for claims of any nature, including but not limited to injury, death, and property damage arising out of activities related to this Agreement by the Grantee, its agents, servants, employees, and subcontractors. The Grantee, other than a Grantee which is the State or the State’s agencies or subdivisions, as defined in Section 768.28, *Florida Statutes*, shall indemnify and hold the Division harmless from any and all claims of any nature and shall investigate all such claims at its own expense. If the Grantee is governed by Section 768.28, *Florida Statutes*, it shall only be obligated in accordance with that Section.
 - b) Neither the state nor any agency or subdivision of the state waives any defense of sovereign immunity, or increases the limits of its liability, by entering into this Agreement.
 - c) The Division shall not be liable for attorney fees, interest, late charges or service fees, or cost of collection related to this Agreement.
 - d) The Grantee shall be responsible for all work performed and all expenses incurred in connection with the Project. The Grantee may subcontract as necessary to perform the services set forth in this Agreement, including entering into subcontracts with vendors for services and commodities; and provided that it is understood by the Grantee that the Division shall not be liable to the subcontractor for any expenses or liabilities incurred under the subcontract and that the Grantee shall be solely liable to the subcontractor for all expenses and liabilities incurred under the subcontract.
- 30. Strict Compliance with Laws.** The Grantee shall perform all acts required by this Agreement in strict conformity with all applicable laws and regulations of the local, state and federal law.
- 31. No Discrimination.** The Grantee may not discriminate against any employee employed under this Agreement, or against any applicant for employment because of race, color, religion, gender, national origin, age, pregnancy, handicap or marital status. The Grantee shall insert a similar provision in all of its subcontracts for services under this Agreement.
- 32. Breach of Agreement.** The Division will demand the return of grant funds already received, will withhold subsequent payments, and/or will terminate this agreement if the Grantee improperly expends and manages grant funds, fails to prepare, preserve or surrender records required by this Agreement, or otherwise violates this Agreement.
- 33. Termination of Agreement.**
- a) Termination by the Division. The Division will terminate or end this Agreement if the Grantee fails to fulfill its obligations herein. In such event, the Division will provide the Grantee a notice of its violation

by letter, and shall give the Grantee fifteen (15) calendar days from the date of receipt to cure its violation. If the violation is not cured within the stated period, the Division will terminate this Agreement. The notice of violation letter shall be delivered to the Grantee's Contract Manager, personally, or mailed to his/her specified address by a method that provides proof of receipt. In the event that the Division terminates this Agreement, the Grantee will be compensated for any work completed in accordance with this Agreement, prior to the notification of termination, if the Division deems this reasonable under the circumstances. Grant funds previously advanced and not expended on work completed in accordance with this Agreement shall be returned to the Division, with interest, within thirty (30) days after termination of this Agreement. The Division does not waive any of its rights to additional damages, if grant funds are returned under this Section.

- b) Termination for convenience. The Division or the Grantee may terminate the grant in whole or in part when both parties agree that the continuation of the Project would not produce beneficial results commensurate with the further expenditure of funds. The two parties will agree upon the termination conditions, including the effective date, and in the case of partial terminations, the portion to be terminated.
- c) Termination by Grantee. The Grantee may unilaterally cancel the grant at any time prior to the first payment on the grant although the Department must be notified in writing prior to cancellation. After the initial payment, the Project may be terminated, modified, or amended by the Grantee only by mutual agreement of the Grantee and the Division. Request for termination prior to completion must fully detail the reasons for the action and the proposed disposition of the uncompleted work.

34. Preservation of Remedies. No delay or omission to exercise any right, power, or remedy accruing to either party upon breach or violation by either party under this Agreement, shall impair any such right, power or remedy of either party; nor shall such delay or omission be construed as a waiver of any such breach or default, or any similar breach or default.

35. Non-Assignment of Agreement. The Grantee may not assign, sublicense nor otherwise transfer its rights, duties or obligations under this Agreement without the prior written consent of the Division, which consent shall not unreasonably be withheld. The agreement transferee must demonstrate compliance with the requirements of the Project. If the Division approves a transfer of the Grantee's obligations, the Grantee shall remain liable for all work performed and all expenses incurred in connection with this Agreement. In the event the Legislature transfers the rights, duties, and obligations of the Division to another governmental entity pursuant to Section 20.06, *Florida Statutes*, or otherwise, the rights, duties, and obligations under this Agreement shall be transferred to the successor governmental agency as if it was the original party to this Agreement.

36. Required Procurement Procedures for Obtaining Goods and Services. The Grantee shall provide maximum open competition when procuring goods and services related to the grant-assisted project in accordance with Section 287.057, *Florida Statutes*.

37. Conflicts of Interest. The Grantee hereby certifies that it is cognizant of the prohibition of conflicts of interest described in Sections 112.311 through 112.326, *Florida Statutes*, and affirms that it will not enter into or maintain a business or other relationship with any employee of the Department of State that would violate those provisions. In addition, no Grantee official, employee, or consultant who is authorized in his or her official capacity to negotiate, make, accept, approve, or take part in decisions regarding a contract, subcontract, or

other agreement in connection with a grant assisted project shall take part in any decision relating to such contract, subcontract or other agreement in which he or she has any financial or other interest, or in which his or her spouse, child, parent, or partner, or any organization in which he or she is serving as an officer, director, trustee, partner, or employee of which he or she has or is negotiating any arrangement concerning employment has such interest. Grantees shall avoid circumstances presenting the appearance of such conflict. Furthermore, the spouse, child, parent, or partner of an officer, director, trustee, partner, or employee of the grantee shall not receive grant funds, unless specifically authorized in writing by the General Counsel for the Department of State to avoid a potential violation of those statutes.

38. **Binding of Successors.** This Agreement shall bind the successors, assigns and legal representatives of the Grantee and of any legal entity that succeeds to the obligations of the Division of Historical Resources.
39. **No Employment of Unauthorized Aliens.** The employment of unauthorized aliens by the Grantee is considered a violation of Section 274A (a) of the Immigration and Nationality Act. If the Grantee knowingly employs unauthorized aliens, such violation shall be cause for unilateral cancellation of this Agreement.
40. **Severability.** If any term or provision of the Agreement is found to be illegal and unenforceable, the remainder will remain in full force and effect, and such term or provision shall be deemed stricken.
41. **Americans with Disabilities Act.** All programs and facilities related to this Agreement must meet the standards of Sections 553.501-553.513, *Florida Statutes*, and the Americans with Disabilities Act of 1990 as amended (42 U.S.C. 12101, *et seq.*), which is incorporated herein by reference.
42. **Governing Law.** This Agreement shall be construed, performed, and enforced in all respects in accordance with the laws and rules of Florida. Venue or location for any legal action arising under this Agreement will be in Leon County, Florida.
43. **Entire Agreement.** The entire Agreement of the parties consists of the following documents:
 - a) This Agreement
 - b) Estimated Project Budget (Attachment A)
 - c) Single Audit Act Requirements and Exhibit I (Attachment B)

In acknowledgment of this grant, provided from funds appropriated in the 2021 General Appropriation Act, I hereby certify that I have read this entire Agreement, and will comply with all of its requirements.

Department of State:

By:



Dr. Timothy Parsons, Division
Director

7.29.2020

Date

Grantee:

By:

Authorizing Official for the Grantee

Michael Bollhoefer
Typed name and title City Manager

7-28-20

Date

ATTACHMENT A
Estimated Project Budget

Description	Grant Funds	Cash Match	In Kind Match
Project and Grant Administration	\$500	\$500	\$0
Historic Resources Survey	\$3,875	\$3,875	\$0
FMSF Forms	\$10,125	\$10,125	\$0
Survey Report	\$5,500	\$5,500	\$0
Totals	\$20,000	\$20,000	\$0

ATTACHMENT B

FLORIDA SINGLE AUDIT ACT REQUIREMENTS

AUDIT REQUIREMENTS

The administration of resources awarded by the Department of State to the Grantee may be subject to audits and/or monitoring by the Department of State as described in this Addendum to the Grant Award Agreement.

MONITORING

In addition to reviews of audits conducted in accordance with 2 CFR 200, Subpart F - Audit Requirements, and section 215.97, Florida Statutes (F.S.), as revised (see AUDITS below), monitoring procedures may include, but not be limited to, on-site visits by Department of State staff, limited scope audits as defined by 2 CFR §200.425, or other procedures. By entering into this agreement, the recipient agrees to comply and cooperate with any monitoring procedures or processes deemed appropriate by the Department of State. In the event the Department of State determines that a limited scope audit of the recipient is appropriate, the recipient agrees to comply with any additional instructions provided by Department of State staff to the recipient regarding such audit. The recipient further agrees to comply and cooperate with any inspections, reviews, investigations, or audits deemed necessary by the Chief Financial Officer (CFO) or Auditor General.

AUDITS

Part I: Federally Funded

This part is applicable if the recipient is a state or local government or a nonprofit organization as defined in 2 CFR §200.90, §200.64, and §200.70.

1. A recipient that expends \$750,000 or more in federal awards in its fiscal year must have a single or program-specific audit conducted in accordance with the provisions of 2 CFR 200, Subpart F - Audit Requirements. EXHIBIT 1 to this agreement lists the federal resources awarded through the Department of State by this agreement. In determining the federal awards expended in its fiscal year, the recipient shall consider all sources of federal awards, including federal resources received from the Department of State. The determination of amounts of federal awards expended should be in accordance with the guidelines established in 2 CFR §§200.502-503. An audit of the recipient conducted by the Auditor General in accordance with the provisions of 2 CFR §200.514 will meet the requirements of this Part.
2. For the audit requirements addressed in Part I, paragraph 1, the recipient shall fulfill the requirements relative to auditee responsibilities as provided in 2 CFR §§200.508-512.
3. A recipient that expends less than \$750,000 in federal awards in its fiscal year is not required to have an audit conducted in accordance with the provisions of 2 CFR 200, Subpart F - Audit Requirements. If the recipient expends less than \$750,000 in federal awards in its fiscal year and elects to have an audit conducted in accordance with the provisions of 2 CFR 200, Subpart F - Audit Requirements, the cost of the audit must be paid from non-federal resources (i.e., the cost of such an audit must be paid from recipient resources obtained

from other than federal entities).

The Internet web addresses listed below will assist recipients in locating documents referenced in the text of this agreement and the interpretation of compliance issues.

U.S. Government Printing Office www.ecfr.gov

Part II: State Funded

This part is applicable if the recipient is a nonstate entity as defined by section 215.97(2), F.S.

1. In the event that the recipient expends a total amount of state financial assistance equal to or in excess of \$750,000 in any fiscal year of such recipient (for fiscal years ending June 30, 2017, and thereafter), the recipient must have a state single or project-specific audit for such fiscal year in accordance with section 215.97, F.S.; Rule Chapter 69I-5, F.A.C., State Financial Assistance; and Chapters 10.550 (local governmental entities) and 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General. EXHIBIT 1 to this agreement lists the state financial assistance awarded through the Department of State by this agreement. In determining the state financial assistance expended in its fiscal year, the recipient shall consider all sources of state financial assistance, including state financial assistance received from the Department of State, other state agencies, and other nonstate entities. State financial assistance does not include federal direct or pass-through awards and resources received by a nonstate entity for federal program matching requirements.
2. For the audit requirements addressed in Part II, paragraph 1, the recipient shall ensure that the audit complies with the requirements of section 215.97(8), F.S. This includes submission of a financial reporting package as defined by section 215.97(2), F.S., and Chapters 10.550 (local governmental entities) and 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General.
3. If the recipient expends less than \$750,000 in state financial assistance in its fiscal year (for fiscal years ending June 30, 2017, and thereafter), an audit conducted in accordance with the provisions of section 215.97, F.S., is not required. If the recipient expends less than \$750,000 in state financial assistance in its fiscal and elects to have an audit conducted in accordance with the provisions of section 215.97, F.S., the cost of the audit must be paid from the nonstate entity's resources (i.e., the cost of such an audit must be paid from the recipient's resources obtained from other than state entities).

The Internet web addresses listed below will assist recipients in locating documents referenced in the text of this agreement and the interpretation of compliance issues.

State of Florida Department Financial Services (Chief Financial Officer)
<http://www.myfloridacfo.com/>

State of Florida Legislature (Statutes, Legislation relating to the Florida Single Audit Act)
<http://www.leg.state.fl.us/>

Part III: Report Submission

1. Copies of reporting packages for audits conducted in accordance with 2 CFR 200, Subpart F - Audit Requirements, and required by Part I of this agreement shall be submitted, when required by 2 CFR §200.512, by or on behalf of the recipient directly to each of the following:

1. The Department of State at each of the following addresses:

Office of Inspector General
Florida Department of State
R. A. Gray Building
500 South Bronough St.
Tallahassee, FL 32399-0250

2. The Federal Audit Clearinghouse (FAC) as provided in 2 CFR §200.36 and §200.512.

The FAC's website provides a data entry system and required forms for submitting the single audit reporting package. Updates to the location of the FAC and data entry system may be found at the OMB website.

2. Copies of financial reporting packages required by Part II of this agreement shall be submitted by or on behalf of the recipient directly to each of the following:

1. The Department of State at each of the following addresses:

Office of Inspector General
Florida Department of State
R. A. Gray Building
500 South Bronough St.
Tallahassee, FL 32399-0250

2. The Auditor General's Office at the following address:

Auditor General
Local Government Audits/342
Claude Pepper Building, Room 401
111 West Madison Street
Tallahassee, Florida 32399-1450

The Auditor General's website (<https://flauditor.gov/>) provides instructions for filing an electronic copy of a financial reporting package.

3. Any reports, management letters, or other information required to be submitted to the Department of State pursuant to this agreement shall be submitted timely in accordance with 2 CFR §200.512, section 215.97, F.S., and Chapters 10.550 (local governmental entities) and 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General, as applicable.
4. Recipients, when submitting financial reporting packages to the Department of State for audits done in accordance with 2 CFR 200, Subpart F - Audit Requirements, or Chapters 10.550 (local governmental entities) and 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General, should indicate the date that the reporting package was delivered to the recipient in correspondence accompanying the reporting package.

Part IV: Record Retention

The recipient shall retain sufficient records demonstrating its compliance with the terms of the award(s) and this

agreement for a period of five years from the date the audit report is issued, and shall allow the Department of State, or its designee, the CFO, or Auditor General access to such records upon request. The recipient shall ensure that audit working papers are made available to the Department of State, or its designee, the CFO, or Auditor General upon request for a period of at least three years from the date the audit report is issued, unless extended in writing by the Department of State.

EXHIBIT 1

**FEDERAL RESOURCES AWARDED TO THE RECIPIENT PURSUANT TO THIS AGREEMENT
CONSIST OF THE FOLLOWING:**

Not applicable.

**COMPLIANCE REQUIREMENTS APPLICABLE TO THE FEDERAL RESOURCES AWARDED
PURSUANT TO THIS AGREEMENT ARE AS FOLLOWS:**

Not applicable.

**STATE RESOURCES AWARDED TO THE RECIPIENT PURSUANT TO THIS AGREEMENT
CONSIST OF THE FOLLOWING:**

MATCHING RESOURCES FOR FEDERAL PROGRAMS:

Not applicable.

SUBJECT TO SECTION 215.97, FLORIDA STATUTES:

Florida Department of State Historic Preservation Grants; CSFA Number 45.031. Award Amount: \$20,000

**COMPLIANCE REQUIREMENTS APPLICABLE TO STATE RESOURCES AWARDED PURSUANT
TO THIS AGREEMENT ARE AS FOLLOWS:**

The compliance requirements of this state project may be found in Part Four (State Project Compliance Requirements) of the State Projects Compliance Supplement located at <https://apps.fldfs.com/fsaa/>.



State of Florida

Chief Financial Officer
Department of Financial Services
Bureau of Accounting
200 East Gaines Street
Tallahassee, FL 32399-0354
Telephone: (850) 413-5519 Fax:(850) 413-5550

Substitute Form W-9

In order to comply with Internal Revenue Service (IRS) regulations, we require Taxpayer Identification information that will be used to determine whether you will receive a Form 1099 for payment(s) made to you by an agency of the State of Florida, and whether payments are subject to Federal withholding. The information provided below must match the information that you provide to the IRS for income tax reporting. Federal law requires the State of Florida to take backup withholding from certain future payments if you fail to provide the information requested.

Taxpayer Identification Number (FEIN): 59-6000452
IRS Name: CITY OF WINTER GARDEN

Address: 300 W. PLANT ST.
WINTER GARDEN, FL
34787-3009

Business Designation: Government Entity

Certification Statement:

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer information **AND**
2. **I am not** subject to backup withholding because:
 - (a) I am exempt from backup withholding **or**
 - (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of failure to report all interest or dividends, **or**
 - (c) the IRS has notified me that I am no longer subject to backup withholding **AND**
3. I am a U.S. citizen or other U.S. person (including U.S. resident alien)

Preparer's Name: VIKI TAYLOR
Preparer's Title: CONTROLLER
Phone: 407-656-4111 Ext: 2282
Email: vtaylor@cwgd.com

Date Submitted: 05/31/2019

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Graham, Police Chief

Via: City Manager Mike Bollhoefer

Date: October 15, 2020

Meeting Date: October 22, 2020

Subject: Memorandum of Understanding with the Orange County Sheriff's Office for Cross Swearing of law enforcement officers assigned to the West Orange Narcotics Task Force.

Issue: The Orange County Sheriff's Office is requesting a Memorandum of Understanding to Cross Swear Winter Garden Police Officers assigned to the West Orange Narcotics Task Force. This will provide these officers with jurisdiction in the unincorporated areas.

Recommended action: Authorize the Mayor and the Police Chief to execute the Memorandum of Understanding with the Orange County Sheriff's Office.

Attachment: Copy of MOU to be executed.

WEST ORANGE NARCOTICS TASK FORCE AGREEMENT

This West Orange Narcotics Task Force Agreement (hereinafter “AGREEMENT”) is entered into by and between the City of Winter Garden (hereinafter “WINTER GARDEN”), City of Apopka (hereinafter “APOPKA”) and John W. Mina, as Sheriff of Orange County, Florida (hereinafter “SHERIFF”)(hereinafter collectively the “PARTIES”).

WHEREAS, the PARTIES desire to implement and operate a joint task force (West Orange Narcotics Task Force (hereinafter “WONTF”)) to combat illegal narcotics and related criminal activity in or near WINTER GARDEN, APOPKA, and the unincorporated areas of Orange County;

WHEREAS, WINTER GARDEN and APOPKA wish to provide sworn law enforcement officers to staff WONTF and the PARTIES will benefit from joint efforts to combat illegal narcotics and related criminal activities, which often cross jurisdictional lines; and

WHEREAS, participation in WONTF may require assigned WINTER GARDEN and APOPKA law enforcement officers to take law enforcement action outside their jurisdictional limits; and

WHEREAS, WINTER GARDEN and APOPKA each have an Operational Assistance and Voluntary Cooperation Agreement with the SHERIFF, which requires requests for Mutual Aid to be in writing for specific events unless certain circumstances present themselves; and

WHEREAS, the parties wish to allow for broader authority when WINTER GARDEN and APOPKA law enforcement task force officers are conducting approved WONTF operations; and

NOW THEREFORE, in consideration of the mutual promises, covenants, and conditions hereinafter contained, the PARTIES agree as follows:

Task Force Resources:

1. WINTER GARDEN shall designate two (2) full time sworn law enforcement officers from the Winter Garden Police Department to participate in WONTF.
2. APOPKA shall designate up to two (2) full time sworn law enforcement officers from the Apopka Police Department to participate in WONTF.
3. SHERIFF shall designate two (2) full time deputy sheriffs, comprised of one (1) sergeant and one (1) corporal, to assist and supervise the day-to-day operations of WONTF.

4. WONTF shall be housed within SHERIFF'S facilities.

Task Force Responsibilities:

5. WONTF operations shall be primarily focused on the section of Orange County that encompasses APOPKA, WINTER GARDEN, and the unincorporated area west of North Apopka Vineland Road that is bounded on the north and south by the Orange County line.
6. SHERIFF'S supervisory personnel assigned to WONTF shall generate monthly reports on WONTF activities for SHERIFF and the Chiefs of Police for WINTER GARDEN and APOPKA.

Cross Swearing:

7. Pursuant to §30.07, Fla.Stat., SHERIFF will swear in as Deputy Sheriffs those officers assigned by WINTER GARDEN and APOPKA to WONTF with the following limitations:
 - a. The time limits of the deputization shall be from the time the officer is officially sworn in as a Deputy Sheriff of Orange County until revoked or rescinded.
 - b. The powers given to the officer shall be solely to aid SHERIFF in the performance of his duties as the elected Sheriff of Orange County.
 - c. SHERIFF expressly reserves the right to revoke the officer's authority as an Orange County Deputy Sheriff at any time with or without cause.
 - d. This deputization shall automatically rescind upon the officer's termination, suspension, retirement or resignation from the employing agency, or having their credentials suspended or revoked by the Criminal Justice Standards and Training Commission.
 - e. This deputization shall automatically rescind upon the officer's reassignment of duties from WONTF.
 - f. This deputization does not create any employment or contractual rights for the assigned officer(s).
8. Assigned officers from WINTER GARDEN and APOPKA shall comply with their respective agency's policies and procedures as well as SHERIFF'S policies and procedures. In case of a conflict between SHERIFF'S policy or direction from a SHERIFF'S supervisor and the assigned officer's agency policy, the assigned officer shall immediately refer the issue to the appropriate manager at his or her

agency for resolution. During the pendency of such a conflict referral, the SHERIFF'S order(s) at issue shall be suspended.

9. Before an assigned officer may exercise any power, other than those related to WONTF investigations, in the name of SHERIFF, except in case of an emergency where his/her action is needed to prevent the loss of life or great damage to property, the officer must receive the specific authority to do so from SHERIFF or his designee. Any arrests made in the name of SHERIFF by the officer shall be immediately reported on whatever forms are required by the Orange County Sheriff's Office.
10. Under no circumstances will the officer exercise his/her powers as a Deputy Sheriff of Orange County to initiate or further an investigation, not related to WONTF investigations, beyond authorization of SHERIFF or his designee.
11. The powers given to the officer as a Deputy Sheriff of Orange County are strictly limited to the time he/she is working (actual hours) in WONTF. The officer will not have Deputy Sheriff power outside the actual time assigned to WONTF, except as otherwise provided.
12. The officer shall not use his/her powers as a Deputy Sheriff of Orange County to work off-duty employment.
13. The officer shall actively participate in WONTF operations. Failure to comply with this requirement may result in the revocation of his/her deputization.
14. WINTER GARDEN and APOPKA shall bear any liability arising from acts undertaken or omissions by their assigned officer(s) while assigned to WONTF. WINTER GARDEN and APOPKA shall also bear the risk of loss or damage to any equipment provided to their assigned officer(s). WINTER GARDEN and APOPKA are responsible for providing compensation and benefits to their respective officers and employees assigned to WONTF, including, but not limited to, salary, overtime, health insurance, disability insurance, life insurance, liability insurance, workers compensation, pension/retirement, vacation time, sick leave, and any amounts due for personal injury or death. Notwithstanding anything in this AGREEMENT to the contrary, the PARTIES do not waive their respective sovereign immunity protections, and each entity expressly reserves such rights.

Forfeitures:

15. The proposed seizure of any vessel, motor vehicle, aircraft, or other property pursuant to the Florida Contraband Forfeiture Act during the performance of this AGREEMENT shall be referred to SHERIFF'S Legal Services Section. The referring officer shall specifically identify it from the start as a WONTF case. An attorney with SHERIFF'S Legal Services Section shall determine if a forfeiture action is appropriate in accordance with applicable law and SHERIFF'S policy.

SHERIFF'S Legal Services Section shall have the exclusive right to control, and responsibility to maintain, the proceedings in accordance with the Florida Contraband Forfeiture Act, including but not limited to complete discretion to bring a lawsuit, dismiss the case, or settle the case. Upon the conclusion of a WONTF forfeiture action, SHERIFF shall equitably share the net proceeds of any forfeiture(s) initiated by WONTF based upon the percentage of total officers assigned and working in WONTF by the participating agency. The net proceeds is the value of the seized asset less any liens, filing fees, and litigation costs incurred by SHERIFF in perfecting title to the seized asset.

16. If SHERIFF'S Legal Section declines to pursue a forfeiture of any property presented as a WONTF case which could be lawfully seized in accordance with the Florida Contraband Forfeiture Act, WINTER GARDEN or APOPKA may pursue a forfeiture action on its own or jointly with the other. The city bringing the forfeiture action hereunder shall be solely responsible for all costs and liabilities associated with it. Any proceeds of such forfeiture action will be divided between the parties who sought such action. SHERIFF, his deputies, employees, and agents, shall not be held accountable for any costs or liabilities associated with said action, including but not limited to storage fees, filing fees, court reporter fees, attorney's fees, or judgments.

Term, Termination, and Venue:

17. The term of this AGREEMENT is from the last day of all signatories below to December 31, 2022. This AGREEMENT may be extended by written agreement of all the PARTIES.
18. Any one of the PARTIES may terminate this AGREEMENT upon delivery of written notice to the other PARTIES. If any one of the PARTIES terminates, the AGREEMENT ends; it will have no force and effect as to the other PARTIES. In the event of a termination, any and all property or equipment provided to WONTF shall be immediately returned to the providing agency. The provisions of paragraphs 14 and 15 of this AGREEMENT shall survive any termination or expiration of the AGREEMENT.
19. This AGREEMENT contains the entire understanding between the parties and shall not be modified or renewed except in writing. This AGREEMENT shall supersede all previous such agreements.
20. Nothing in this AGREEMENT shall be construed as transfer of, or contracting away, the powers or functions of one party hereto to another.
21. This AGREEMENT shall in no event confer upon any person, corporation, partnership, or other entity, including the parties hereto, the right to damages or any other form of relief against any party to this AGREEMENT for operations or omissions hereunder.

22. This AGREEMENT shall be construed in accordance with Florida law. The venue of any litigation arising hereunder shall be Orange County, Florida.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by the undersigned persons as duly authorized.

Remainder of page intentionally left blank

SHERIFF OF ORANGE COUNTY

John W. Mina
as Sheriff of Orange County, Florida

Date: _____

FOR USE AND RELIANCE ONLY BY THE
SHERIFF OF ORANGE COUNTY, FLORIDA.
APPROVED AS TO FORM AND LEGALITY
THIS ___ DAY OF _____, 2020.

Assistant General Counsel

CITY OF WINTER GARDEN

Steve Graham
Chief of Police, Winter Garden

Date: _____

APPROVED:
CITY OF WINTER GARDEN, FLORIDA

ATTEST: _____

City Clerk

John Rees
Mayor

APPROVED BY THE CITY
COMMISSION OF THE CITY OF
WINTER GARDEN, FLORIDA, AT A
MEETING HELD ON

UNDER AGENDA NO. _____

FOR USE AND RELIANCE ONLY
BY THE CITY OF WINTER GARDEN,
FLORIDA. APPROVED AS TO
FORM AND LEGALITY THIS
_____ DAY OF _____,

City Attorney

CITY OF APOPKA

Michael L. McKinley
Chief of Police, Apopka

Date: _____

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Angee Grimmage, City Clerk

Via: City Manager Mike Bollhoefer

Date: October 5, 2020

Meeting Date: October 22, 2020

Subject: Board Appointment – Winter Garden Police & Firefighters’ Pension Board

Issue: **(2) Expiring 2-year Terms of Board Trustees**
Erik Halluska and Bruce D. Schobel

Discussion: (2) board appointments are required to fill expiring 2-year terms ending November 30, 2020 for Winter Garden Police & Firefighters’ Pension Board. These seats are currently held by trustees Erik Halluska and Bruce D. Schobel. As noted in letters provided by the plan’s administrator, Mr. Halluska and Mr. Schobel have expressed interest in remaining on this board for an additional 2-year term.

Recommended Action:

Motion to appoint (2) board member for the Winter Garden Police & Firefighters’ Pension Board for a 2-year term.

Attachments/References:



**City of Winter Garden
Police Officers' & Firefighters'
Pension Board of Trustees**

**Susy Pita, Plan Administrator
22233 Drawbridge Dr. ♦ Leesburg, FL 34748
Office: 352-787-9795 ♦ Fax: 352-787-2699**



VIA EMAIL

October 5, 2020

Ms. Angela Grimmage
City Clerk – City of Winter Garden

Re: City Commission Trustee Appointment – Erik Halluska

Dear Angela:

The Commission Appointed trustee position currently held by Mr. Erik Halluska will expire at the end of November. Mr. Halluska has expressed his desire to serve another two-year term which, if successfully re-appointed, will not expire until November 30, 2022.

We respectfully request that this matter be placed on an upcoming agenda for the City Commission's re-appointment and approval.

If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,

/Susy Pita/

Susy Pita
Plan Administrator

cc:
Pension Board of Trustees
Scott Christensen, Plan Counsel
File



**City of Winter Garden
Police Officers' & Firefighters'
Pension Board of Trustees**

**Susy Pita, Plan Administrator
22233 Drawbridge Dr. ♦ Leesburg, FL 34748
Office: 352-787-9795 ♦ Fax: 352-787-2699**



VIA EMAIL

October 5, 2020

Ms. Angela Grimmage
City Clerk – City of Winter Garden

Re: City Commission Trustee Appointment – Bruce Schobel

Dear Angela:

The Commission Appointed trustee position currently held by Mr. Bruce Schobel will expire at the end of November. Mr. Schobel has expressed his desire to serve a full two-year term which, if successfully re-appointed, will not expire until November 30, 2022.

We respectfully request that this matter be placed on an upcoming agenda for the City Commission's re-appointment and approval.

If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,

/Susy Pita/

Susy Pita
Plan Administrator

cc:
Pension Board of Trustees
Scott Christensen, Plan Counsel
File